

# **A G E N D A**

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, July 14, 2020 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members:      Rick Keeler, Chairman  
   Melissa Ballard, Vice Chairman  
   Betty Square Coleman  
   Bonney Ramsey  
   Jim Phillips  
   David Hudgins  
   Erik Test

1.      Call to Order
2.      Invocation
3.      ***Public Comments:*** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.

4.      ***Consent Agenda***

All matters listed under Item 4, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a.      Minutes of the regular Planning & Zoning Commission meeting of June 23, 2020

5.      ***Consider*** request by Darren Renfro for a Plat of Renfro Subdivision for 2 residential lots being 5.33 acres situated in the J. Sterrett Survey, Abstract 1026 (Property ID 191268) in the Extra Territorial Jurisdiction – Owner: Darren and Jana Renfro (SUB-74-2020)
6.      ***Consider*** request by Justice Voorheis for a Plat of Voorheis Addition for 4 residential lots being 16.721 acres situated in the the John C. Paxton Survey, Abstract 854 (Property ID 189417) in the Extra Territorial Jurisdiction – Owner: Carla Voorheis (SUB-76-2020)
7.      ***Continue Public Hearing*** on a request by Josh Millsap, KFM Engineering & Design, for a detailed Site Plan review for a proposed **Subdivision** development, Dove Hollow, within a Planned Development zoning district, located adjacent to and south of Grove Creek Rd (Property ID 192636, 192643, 192639, 192645) – Owner: CEH 212 LP (SP-75-2020)
8.      ***Consider*** recommendation of Zoning Change No. SP-75-2020

9. **Public Hearing** on a request by Jeff Crannell, CCM Engineering, for a Zoning Change from a Planned Development-34-Multiple Family-1/General Retail, Single Family-3, and Multiple Family-1 zoning district to Planned Development-Single Family-3, with Concept Plan, located at the NW corner of Peters Street at Graham Street (Property ID 193944) – Owner: Waxahachie ISD (ZDC-83-2020)
10. **Consider** recommendation of Zoning Change No. ZDC-83-2020
11. **Public Hearing** on a request by Amanda Mata, Peloton Land Solutions, for a Planned Development Amendment (PD-MF2), with Concept Plan, located at Conquest Boulevard and US Highway 287 (Property ID 191628) - Owner: DWBI INVESTMENTS, LLC (ZDC-84-2020)
12. **Consider** recommendation of Zoning Change No. ZDC-84-2020
13. Adjourn

**The P&Z reserves the right to go into Executive Session on any posted item.**

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

***Notice of Potential Quorum***

***One or more members of the Waxahachie City Council may be present at this meeting.  
No action will be taken by the City Council at this meeting.***

(4a)

Planning and Zoning Commission  
June 23, 2020

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, June 23, 2020 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

- Members Present: Rick Keeler, Chairman  
Melissa Ballard, Vice Chairman  
Betty Square Coleman  
Bonney Ramsey  
Jim Phillips  
Erik Test
- Member Absent: David Hudgins
- Others Present: Shon Brooks, Director of Planning  
Chris Webb, Planner  
Macey Martinez, Graduate Engineer  
Tommy Ludwig, Assistant City Manager  
Amber Villarreal, Assistant City Secretary  
Mary Lou Shipley, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Public Comments**

None

4. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of June 9, 2020
- b. Minutes of the Planning & Zoning Commission briefing of June 9, 2020

**Action:**

*Vice Chairman Melissa Ballard moved to approve items a. and b. on the Consent Agenda. Ms. Bonney Ramsey seconded, All Ayes.*

5. **Continue Public Hearing on a request by Josh Millsap, KFM Engineering & Design, for a detailed Site Plan review for a proposed Subdivision development, Dove Hollow, within a Planned Development zoning district, located adjacent to and south of Grove Creek Rd (Property ID 192636, 192643, 192639, 192645) – Owner: CEH 212 LP (SP-75-2020)**

Chairman Keeler continued the Public Hearing and announced the applicant requested to continue SP-75-2020 to the July 14, 2020 Planning & Zoning Commission meeting.

6. **Consider recommendation of Zoning Change No. SP-75-2020**

(40)

**Action:**

*Ms. Bonney Ramsey moved to continue the Public Hearing on a request by Josh Millsap, KFM Engineering & Design, for a detailed Site Plan review for a proposed Subdivision development, Dove Hollow, within a Planned Development zoning district, located adjacent to and south of Grove Creek Rd (Property ID 192636, 192643, 192639, 192645) – Owner: CEH 212 LP (SP-75-2020) to the July 14, 2020 Planning & Zoning Commission meeting. Mr. Erik Test seconded, All Ayes.*

7. **Public Hearing on a request by Ryan Combs, Gardner Capital, for a Zoning Change from a Single Family-3 zoning district to Planned Development-Multiple Family-2, with Concept Plan, located at the Southeast corner of Parks School House Road and East Main Street (Property ID 138271) - Owner: STARPEACH TEXAS LP (ZDC-77-2020)**

Chairman Keeler opened the Public Hearing and announced the applicant requested to continue ZDC-77-2020 to the July 28, 2020 Planning & Zoning Commission meeting.

8. **Consider recommendation of Zoning Change No. ZDC-77-2020**

**Action:**

*Vice Chairman Melissa Ballard moved to continue the Public Hearing on a request by Ryan Combs, Gardner Capital, for a Zoning Change from a Single Family-3 zoning district to Planned Development-Multiple Family-2, with Concept Plan, located at the Southeast corner of Parks School House Road and East Main Street (Property ID 138271) - Owner: STARPEACH TEXAS LP (ZDC-77-2020) to the July 28, 2020 Planning & Zoning Commission meeting. Mr. Erik Test seconded, All Ayes.*

9. **Consider request by Robert Erisman, J & K Excavation, LLC, for a Final Plat of Cross Fence at Oak Vista for 175 lots, being 248.575 acres situated in S.B. Orton Survey, Abstract 813, J. Fifer Survey, Abstract 352, D.M. McNeil Survey, Abstract 717 (Property ID 183375 and 188040) in the Extra Territorial Jurisdiction – Owner: Cross Fence Development, LLC (SUB-78-2020)**

Planner Chris Webb presented the case for SUB-78-2020 explaining the applicant is requesting to plat this lot into 173 residential lots and 2 open space lots and staff recommended approval as presented.

**Action:**

*Vice Chairman Melissa Ballard moved to approve a request by Robert Erisman, J & K Excavation, LLC, for a Final Plat of Cross Fence at Oak Vista for 175 lots, being 248.575 acres situated in S.B. Orton Survey, Abstract 813, J. Fifer Survey, Abstract 352, D.M. McNeil Survey, Abstract 717 (Property ID 183375 and 188040) in the Extra Territorial Jurisdiction – Owner: Cross Fence Development, LLC (SUB-78-2020) as presented. Ms. Bonney Ramsey seconded, All Ayes.*

10. **Adjourn**

There being no further business, the meeting adjourned at 7:07 p.m.

Planning and Zoning Commission  
June 23, 2020  
Page 3

(4a)

Respectfully submitted,

Amber Villarreal  
Assistant City Secretary

(5)

**Planning & Zoning Department**  
**Plat Staff Report**

**Case: SUB-74-2020**



**MEETING DATE(S)**

*Planning & Zoning Commission:* Tuesday, July 14, 2020

**CAPTION**

Consider request by Darren Renfro, for a Plat of the Renfro Subdivision for 2 residential lots being 5.33 acres situated in the J. Sterrett Survey, Abstract 1026 (Property ID 191268) in the Extra Territorial Jurisdiction – Owner: Darren and Jana Renfro (SUB-74-2020)

**APPLICANT REQUEST**

The applicant is requesting to plat the subject property into two (2) separate lots for residential use.

**CASE INFORMATION**

*Applicant:* Darren Renfro

*Property Owner(s):* Darren and Jana Renfro

*Site Acreage:* 5.33 acres

*Number of Lots:* 2 lots

*Number of Dwelling Units:* 2 units

*Park Land Dedication:* N/A (ETJ)

*Adequate Public Facilities:* Staff received a water utility endorsement from Rockett SUD stating that adequate domestic service could be provided. Adequate fire flow is not available to this site.

**SUBJECT PROPERTY**

*General Location:* 277 Buchanan Dr.

*Parcel ID Number(s):* 191268

*Current Zoning:* N/A (ETJ)

*Existing Use:* Residential

*Platting History:* Situated in the J. Sterrett Survey Abstract 1026

(5)

Site Aerial:



**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
- Approval, as presented.
- Approval, per the following conditions:

**ATTACHED EXHIBITS**

1. Plat Drawing
2. Water Letter

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.

**CITY REQUIREMENTS FOR PLAT RECORDING AND FILING**

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Chris Webb  
Planner  
[cwebb@waxahachie.com](mailto:cwebb@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



(5)



PLANNING & ZONING DEPARTMENT  
401 South Rogers Street | Waxahachie, Texas 75168  
(469) 389-4290 | www.waxahachie.com/Departments/PlanningandZoning



**WATER UTILITY PROVIDER'S ENDORSEMENT**

Applicant Name: Darren Renfro Parcel ID #: 191268  
Subdivision Name: Starrett

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact information:

- Buena Vista-Bethel SUD (972) 937-1212
- Carroll Water Company (972) 617-0817
- Mountain Peak SUD (972) 775-3765
- Rockett SUD (972) 617-3524
- Sardis-Lone Elm WSC (972) 775-8566
- Nash Foreston WSC (972) 483-3039

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations. <i>EXISTING METER ON PROPERTY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. The water line size servicing the lots is <u>4"</u> inches.	<input type="checkbox"/>	<input type="checkbox"/>

Kay Phillips  
Print Name of General Manager of water provider or Designee

Rockett S.U.D.  
Name of water provider company

Kay Phillip  
Signature of General Manager of water provider or Designee

04-15-19  
Date

(U)

**Planning & Zoning Department  
Plat Staff Report**

**Case: SUB-76-2020**



**MEETING DATE(S)**

*Planning & Zoning Commission:* Tuesday July 14, 2020

**CAPTION**

Consider request by Justice Voorheis, for a Plat of the Voorheis Addition for 4 residential lots being 16.721 acres situated in the John C. Paxton Survey, Abstract 854 (Property ID 189417) in the Extra Territorial Jurisdiction – Owner: Carla Voorheis (SUB-76-2020)

**APPLICANT REQUEST**

The applicant is requesting to plat this property into four (4) lots for residential use.

**CASE INFORMATION**

*Applicant:* Justice Voorheis  
*Property Owner(s):* Carla Voorheis  
*Site Acreage:* 16.721 acres  
*Number of Lots:* 4 lots  
*Number of Dwelling Units:* 4 units  
*Park Land Dedication:* N/A (ETJ)  
*Adequate Public Facilities:* Staff received a letter from Buena Vista-Bethel SUD stating that adequate facilities are available for both domestic and fire flow.

**SUBJECT PROPERTY**

*General Location:* 2822 FM 1446  
*Parcel ID Number(s):* 189417  
*Current Zoning:* N/A (ETJ)  
*Existing Use:* Undeveloped  
*Platting History:* Located in the John C. Paxton Survey Abstract 854

(U)

Site Aerial:



**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
- Approval, as presented.
- Approval, per the following conditions:

**ATTACHED EXHIBITS**

1. Plat Drawing
2. Water Letter

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.

**CITY REQUIREMENTS FOR PLAT RECORDING AND FILING**

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Chris Webb  
Planner  
[cwebb@waxahachie.com](mailto:cwebb@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



STATE OF TEXAS §  
COUNTY OF ELLIS §

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS Carla Winingham Voorheis is the owner of all that parcel of land in the City of Waxahachie, ETJ, Ellis County, Texas, being a part of the John C Paxton Survey, Abstract No. 854 and being a part of that called 54.94 acre tract of land described in deed to Carla Winingham Voorheis recorded in Volume 2130, Page 1790, Deed Records Ellis County, Texas, and being further described as follows:

**BEGINNING** at a one-half inch iron pipe found at the south corner of said 54.94 acre tract of land, said point being the most southerly east corner of that called 3.711 acre tract of land described in deed to Christopher Doyal and wife, Stacy Jo Doyal recorded in Volume 2246, Page 2297, Deed Records Ellis County, Texas and said point being in the northerly right-of-way line of Farm-to-Market Highway No. 1446 (an 80' right-of-way, at that point);

**THENCE** North 31 degrees 33 minutes 21 seconds West, 803.46 feet to a one-half inch iron pipe found at the west corner of said 54.94 acre tract of land, said point being the north corner of said 3.711 acre tract of land and said point being in the southeast line of that called 41.822 acre tract of land described in deed to Terry Jeffcoat and spouse, Margie Jeffcoat recorded in Volume 2270, Page 1263, Deed Records Ellis County, Texas;

**THENCE** along the northwest line of said 54.94 acre tract of land and along the southeast line of said 41.822 acre tract of land as follows:

- North 50 degrees 48 minutes 58 seconds East, 286.98 feet to a one-half inch iron rod found for corner;
- North 32 degrees 18 minutes 16 seconds East, 232.13 feet to a one-half inch iron rod found for corner;
- North 49 degrees 11 minutes 03 seconds East, 99.64 feet to a one-half inch iron rod found for corner;
- North 75 degrees 44 minutes 29 seconds East, 350.17 feet to a one-half inch iron pipe found for corner;
- North 57 degrees 11 minutes 31 seconds East, 29.97 feet to a one-half inch iron rod with cap stamped "3B" set for corner;

**THENCE** South 12 degrees 15 minutes 14 seconds East, 964.77 feet to a one-half inch iron rod with cap stamped "3B" set in the southeast line of said 54.94 acre tract of land and being in the northerly right-of-way line of Farm-to-Market Highway No. 1446;

**THENCE** along the southeast line of said 54.94 acre tract of land and along the northerly right-of-way line of Farm-to-Market Highway No. 1446 as follows:

- Southeasterly, 333.29 feet along a non-tangent curve to the left having a central angle of 19 degrees 11 minutes 36 seconds, a radius of 994.93 feet, a tangent of 168.22 feet, and whose chord bears South 68 degrees 08 minutes 58 seconds West, 331.73 feet to a one-half inch iron rod found for corner;
- South 58 degrees 33 minutes 10 seconds West, 317.21 feet to the **POINT OF BEGINNING** and containing 729,381 square feet or 16.721 acres of land.

Basis of Bearing is derived from GPS observations relative to the Texas WDS RTK Network - Texas State Plane Coordinate System, North Central Zone (4202), NAD83.

**SURVEY CERTIFICATION**

This is to certify that I, Edward Scott Beack, a Registered Public Land Surveyor of the State of Texas, have planned the above subdivision from an actual survey on the ground and that all lot corners, angle points, and points of curve have been properly marked on the ground, and that this plat correctly represents that survey made by me.

**"Preliminary, this document shall not be used for any purpose and shall not be used as a final survey document!"**



Edward Scott Beack, R.P.L.S. No. 6248

**OWNER'S CERTIFICATE**

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT I, Carla Winingham Voorheis, acting herein by and through its duly authorized officers and agents, do hereby certify that the above described property as Lots 1, 2, 3 and 4, Voorheis Addition, in addition to the Ellis County, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. Carla Winingham Voorheis, do herein certify the following:

- The streets and alleys are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debts, liens, and/or encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
- Right-of-way easements, easements for improvement and growth shall be constructed adjacent to, over, or across the easements as shown.
- Ellis County is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Ellis County's use thereof.
- Ellis County and/or public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- Ellis County and public utilities shall at all times have the full right of right-of-way easements, easements for improvement and growth, and easements for constructing, inspecting, patrolling, maintaining, repairing, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by Ellis County.

This plat is approved subject to all plating ordinances, rules, regulations and resolutions of the Ellis County, Texas.

WITNESS, MY HAND, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

By: Carla Winingham Voorheis

Department of Development Director

Approval Date: \_\_\_\_\_

STATE OF TEXAS §

COUNTY OF ELLIS §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Carla Winingham Voorheis, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and considerations therein GIVEN under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public in and for the State of Texas

APPROVED BY: PLANNING AND ZONING COMMISSION

CITY OF WAXAHACHIE

By: \_\_\_\_\_ Date \_\_\_\_\_

Chairperson

By: \_\_\_\_\_ Date \_\_\_\_\_

Attest

STATE OF TEXAS  
COUNTY OF ELLIS

Certificate of approval by the Commissioners' Court of Ellis County, Texas: Approved this date, the \_\_\_\_ day of \_\_\_\_\_, 2020.

Todd Little, County Judge

Randy Stinson  
Commissioner, Precinct No. 1

Lane Grayson  
Commissioner, Precinct No. 2

Paul Perry  
Commissioner, Precinct No. 3

Kyle Butler  
Commissioner, Precinct No. 4

ATTEST:

Krystal Valdez, County Clerk

**ON-SITE SEWAGE FACILITY STATEMENT**

This plat is approved by the Department of Development of Ellis County, Texas for all on-site sewage treatment facilities and the minimum requirements established by TCEQ and the Ellis County Septic Order, pending any and all information as may be required by the Ellis County Department of Development.

Department of Development Director

Approval Date: \_\_\_\_\_

CASE NUMBER: SUB-76-2020  
PLAT

LOTS 1, 2, 3, AND 4  
VOORHEIS ADDITION

4 RESIDENTIAL LOTS

BEING A 16.721 ACRE RESIDENTIAL ADDITION OUT OF THE

JOHN C PAXTON SURVEY, ABSTRACT NO. 854;

CITY OF WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS

**CARLA WINNINGHAM VOORHEIS** OWNER

2822 F.M. 1446

Waxahachie, Texas 75167

Contact: Justin Voorheis

38 LAND SURVEYING, INC SURVEYOR

656 Boock Rd

Ennis, Texas 75119

Contact: Edward Scott Beack

TEPLS No. 10194480

Revised: July 07, 2020

Dated: April 27, 2020



(U)

**PLANNING & ZONING DEPARTMENT**  
 401 South Rogers Street | Waxahachie, Texas 75168  
 (469) 309-4290 | [www.waxahachie.com/Departments/PlanningandZoning](http://www.waxahachie.com/Departments/PlanningandZoning)



## WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: Dirk & Carla Voorheis Parcel ID #: \_\_\_\_\_  
 Subdivision Name: Voorheis Addition

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

*Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.*

**Contact Information:**

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3765
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

**To be completed by the water utility provider:**

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. The water line size servicing the lots is <u>6</u> inches.	<input type="checkbox"/>	<input type="checkbox"/>

Joe Buchanan  
 Print Name of General Manager of water provider or Designee

Buena Vista-Bethel S.U.O.  
 Name of water provider company

Joe Buchanan  
 Signature of General Manager of water provider or Designee

May 5, 2020  
 Date

(1+8)

## Planning & Zoning Department Zoning Staff Report

Case: SP-75-2020



### MEETING DATE(S)

*Planning & Zoning Commission:* Tuesday, July 14, 2020

*City Council:* Monday, July 20, 2020

### CAPTION

*Continue Public Hearing* on a request by Josh Millsap, KFM Engineering & Design, for a detailed Site Plan review for a proposed **Subdivision** development, Dove Hollow, within a Planned Development zoning district, located adjacent to and south of Grove Creek Rd (Property ID 192636, 192643, 192639, 192645) – Owner: CEH 212 LP (SP-75-2020)

### APPLICANT REQUEST

The applicant is requesting Planning and Zoning Commission and City Council approval of an updated site plan for the Dove Hollow Subdivision. The previously approved preliminary plat expired earlier this spring.

### CASE INFORMATION

*Applicant:* Josh Millsap, KFM Engineering & Design

*Property Owner(s):* CEH 212 LP

*Site Acreage:* 213.46 acres

*Current Zoning:* PD-SF-1, PD-SF-2, PD-SF-3, PD-MF-1, PD-GR

### SUBJECT PROPERTY

*General Location:* This property is largely located adjacent to and south of Grove Creek Rd.

*Parcel ID Number(s):* 192636, 192643, 192639, 192645

*Existing Use:* This site is currently undeveloped.

*Development History:* This site is part of the North Grove Planned Development District and falls under Ordinance No. 2733 which was signed on March 3, 2014. This site was also previously preliminarily platted as PP-17-0171. However, this plat did expire on May 7, 2018. As of the time of this report, no physical development has been made to the property.

(1+8)

**Adjoining Zoning & Uses:**

Direction	Zoning	Current Use
North	SF-1	Residential
East	SF-2	Residential
South	North Grove PD Zoning	Residential SE/Undeveloped
West	SF-2 and PD-SF-2	Residential

**Future Land Use Plan:**

Low Density Residential

**Comprehensive Plan:**

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

**Thoroughfare Plan:**

This subdivision will be accessible from Grove Creek Rd., Lacy Oak Ln, and North Grove Blvd.

**Site Image:**



**PLANNING ANALYSIS**

**Purpose of Request:**

The purpose of this request is to develop a new single family subdivision. Per the Planned Development Ordinance No. 2733, a "valid site plan shall be required prior to the approval of any plat or construction plan and permit for development within the Single-Family Residential and Mixed Use Districts."

**Proposed Use:**

The applicant is proposing to develop a new subdivision with 621 single-family homes on 213.46 acres largely located adjacent to and south of Grove Creek Rd. This subdivision will have an Amenity Center complete with a pool (with accompanying children's pool area) and playground, a Community park with a playground, and natural trails to allow for hiking within the subdivision.

(7+8)

**Table 1: Development Standards**

Standards	North Grove PD	Previously Approved Preliminary Plat	Proposed Dove Hollow Site Plan
Min. Lot Area	4,500 s.f.	6,000 s.f.	6,000 s.f.
Min. Lot Width	40'	50'	50'
Min. Lot Depth	100'	120'	120'
Min. Front Yard Setback	20'	15'	20'
Min Side Yard Setback	5'	5'	5'
Min. Street Side Yard Setback	15'	15'	15'

**Table 2: Preliminary Plat vs. Proposed Site Plan**

Lot Count by Area	Previously Approved Preliminary Plat (Lot Dimensions)	Proposed Dove Hollow Site Plan (Lot Dimensions)
- 6,000 s.f.	192 lots (50' x 120')	195 (50 x 120')
- 7,200 s.f.	90 lots (60' x 120')	368 lots (60' x 120')
- 7,440 s.f.	151 lots (62' x 120')	N/A
- 8,400 s.f.	N/A	58 lots (70' x 120')
- 8,750 s.f.	96 lots (70' x 125')	N/A
- 10,625 s.f.	114 lots (85' x 125')	N/A
Total Residential Lot Count	653 lots	621 lots
Amenity Center (Acreage)	1.4 Acres	2.1 Acres
Green Space	37.2 Acres	49.6 Acres

**Additional Note:**

The previously approved preliminary plat shows Vista View Way extending to the West and running through a piece of property owned by Star Peach Texas LP. This extension reduced the amount of connectivity within the proposed subdivision. The proposed site plan has addressed this by maintaining a more North/South direction for Vista View Way that keeps all proposed streets contained within the subdivision. The developer has also dedicated more Right-of-Way (130 ft. ROW dedication) along the north side of the subdivision. This dedication will allow for the future construction of a new Grove Creek Rd. The existing Grove Creek Rd. w be turned into a slip street. This would alleviate the traffic in front of homes fronting what is currently Grove Creek Rd. The applicant also intends to install and maintain landscaping up to the existing roadway until the city takes over.

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 70 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**PON RESPONSES**

Staff received one (1) letter of opposition for the proposed development.

**STAFF CONCERNS**

1. Staff has no outstanding concerns for the applicant.

**APPLICANT RESPONSE TO CONCERNS**

1. The applicant has addressed all staff concerns.

(7+8)

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
  1. A Developer's Agreement will be needed specifying that all open space will be maintained by the HOA.

**ATTACHED EXHIBITS**

1. Site Plan
2. Conceptual Landscape Plan/Conceptual Trail Amenity
3. Conceptual Amenity Center Plan
4. Conceptual Community Park Plan
5. North Grove PD
6. Property Owner Notification Responses

**APPLICANT REQUIREMENTS**

1. If approved by City Council, the applicant can submit civil drawings to the Public Works Department for review.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Chris Webb  
Planner  
[cwebb@waxahachie.com](mailto:cwebb@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



**CALLOUTS LEGEND:**

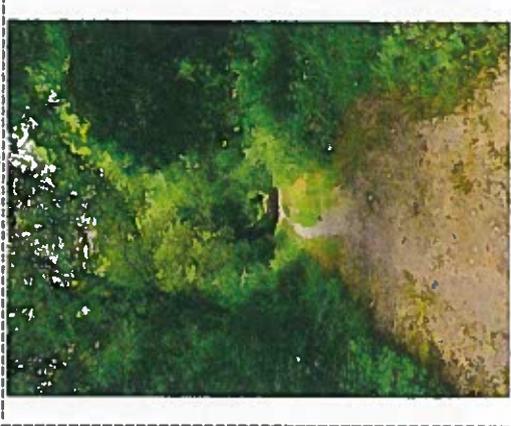
-  PROPOSED URBANITY CENTER SITE
-  PROPOSED COMMUNITY PARK SITE
-  EXCLUDED OPEN SPACE AREA
-  PROPOSED CALIFORNIA SHALB TRAIL, WHICH WILL BE RESTRICTED BY CITY STREET PAVING AND SITE ADJUSTMENTS AS SHOWN HEREIN
-  PROPOSED 6' WIDTH NATURAL TRAIL PORTION WITH 10' BUFFER FROM EXISTING AND PROPOSED PAVEMENT TRANSITIONS TO THE PUBLIC RIGHT OF WAY

**NOTE:**

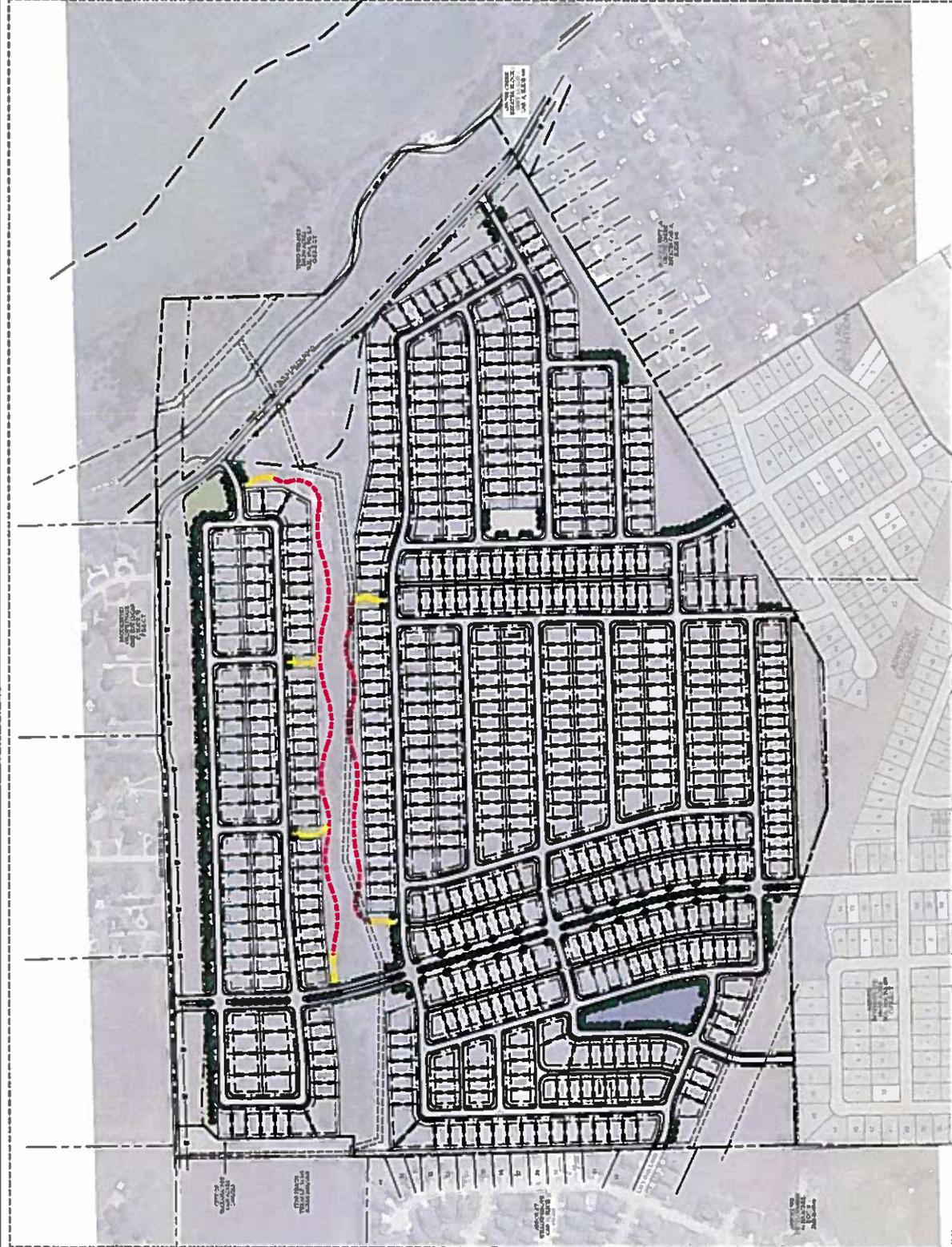
1. ALL URBAN OPEN SPACE AREAS ARE PROPOSED WITH A 10' BUFFER TO EXISTING OR PROPOSED PAVEMENT.
2. THE PROPOSED TRAIL ALIGNMENT IS CONCEPTUAL IN NATURE AND SUBJECT TO FINAL DESIGN AND FIELD VERIFICATION.



NATURAL TRAIL SCENARIO



NATURAL TRAIL SCENARIO



**DOVE HOLLOW / CONCEPTUAL LANDSCAPE PLAN**

City of Waxahatchee, Texas



- CALLOUTS LEGEND:**
- ① LAND TOP SHADE STRUCTURE
  - ② CONCRETE POOL DECK
  - ③ CONCRETE SIDEWALK
  - ④ PLAYING POOL
  - ⑤ CHILDS PLAY AREA
  - ⑥ TANNING LODGE
  - ⑦ PLAYGROUND
  - ⑧ RESTROOM FACILITY
  - ⑨ POOL EQUIPMENT ENCLOSURE
  - ⑩ SWIMMING POOL
  - ⑪ PAVED BIKE PATH
  - ⑫ CONCRETE SHADE STRUCTURE
  - ⑬ EVENT LAWN

- ⑭ 7' CANOPY SHADY TREE
- ⑮ 10' CANOPY SHADY TREE
- ⑯ 2' CANOPY UMBRELLA
- ⑰ 2' CANOPY UMBRELLA
- ⑱ 10' CANOPY UMBRELLA
- ⑲ 10' CANOPY UMBRELLA
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DOVE HOLLOW / CONCEPTUAL AMENITY CENTER PLAN

City of Wazhuachie, Texas





**CALLOUTS LEGEND:**

- ① CONCRETE STRUCTURE WITH TABLES
- ② PLAYGROUND FACILITY
- ③ CONCRETE SIDEWALK
- ④ PLAYGROUND BENCHES
- ⑤ CALIPER SHANK TREE, PINES TREE
- ⑥ CALIPER UMBRANTAL TREE, SPICES TREE



**DOVE HOLLOW / CONCEPTUAL COMMUNITY PARK PLAN**



PROJECT 1021  
City of Weslaco, Texas

City of Weslaco, Texas



(7+8)

**ORDINANCE NO. 2733**

**AN ORDINANCE CHANGING THE ZONING ON APPROXIMATELY 749 ACRES OF LAND IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, DESCRIBED IN EXHIBIT "B", FROM SINGLE FAMILY-1 (SF-1) TO A FREE STANDING PLANNED DEVELOPMENT-MIXED USE COMMUNITY, INCLUDING SINGLE FAMILY 1, 2 AND 3, MULTIPLE FAMILY-1, AND GENERAL RETAIL USES AS DESCRIBED IN EXHIBIT "A", AS A "FREE STANDING" PD DISTRICT, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:**

**WHEREAS**, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and,

**WHEREAS**, proper notification for the change of zoning has been made in accordance with the zoning ordinances in the City of Waxahachie, and same having been referred to the Planning and Zoning Commission, and said Planning and Zoning Commission has recommended the rezoning thereto from Single Family-1 (SF-1) to Planned Development-Mixed Use Community, including Single Family 1, 2, and 3, Multiple Family-1, and General Retail uses as described in the attached Exhibit "A" titled "North Grove Planned Development District Standards", attached hereto and made a part hereof, under the "Free-Standing" PD District provisions of Section 31 of the zoning ordinance; and,

**WHEREAS**, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and

**WHEREAS**, a proper hearing was held as required by law and the Council having heard all arguments for and against said rezoning from Single Family-1 (SF-1) to Planned Development-Mixed Use Community, including Single Family 1, 2, and 3, Multiple Family-1, and General Retail uses, as described in the attached Exhibit "A" titled "North Grove Planned Development District Standards", attached hereto and made a part hereof, all under the "Free-Standing" PD District provisions of Section 31 of the zoning ordinances;

**NOW, THEREFORE**, the following described properties be, and the same hereby are, rezoned as follows:

The property is described in Exhibit "B" in a tract totaling approximately 749 acres, and is rezoned to Planned Development-Mixed Use Community, including Single Family 1, 2, and 3, Multiple Family-1, and General Retail uses, as described in the attached Exhibit "A" titled "North Grove Planned Development District Standards", attached hereto and made a part hereof, all under the "Free-Standing" PD District provisions of Section 31 of the zoning ordinances.

The City of Waxahachie zoning ordinance will apply and control in any situation where the Planned Development provisions of this ordinance do not cover the subject matter clearly and fully.

The uses allowed and all other provisions are as set out in Exhibit "A", and the PD-SF1, PD-SF2, PD-SF-3, Multiple Family-1, and PD-GR uses allowed are controlled by the "Free Standing" North Grove Planned Development District standards which are attached hereto and made a part hereof.

This planned development district is passed under the "Free-Standing" PD provisions of Section 31 of the zoning ordinance.

The zoning districts are as provided in Exhibit "A" and allowable uses are as provided in Exhibit "A", attached hereto.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

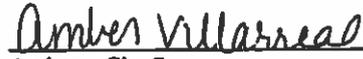
(7+8)

**PASSED, APPROVED AND ADOPTED** on this 3<sup>rd</sup> day of March, 2014.



ATTEST:

  
MAYOR

  
Assistant City Secretary

(7+8)

EXHIBIT "A"

# North Grove

Planned Development District Standards



November 13, 2013  
Revised February 25, 2014

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# Freestanding Planned Development District Standards

## SECTION I. Purpose and Intent

North Grove is a mixed-use community purposefully designed to facilitate quality development and livability. North Grove has been designed with generous common open space that has been distributed throughout the community in the form of natural areas, parks, squares, greens, circles and schoolyards. Homes and businesses are encouraged to front on these open spaces that will result in a significantly more valuable tax base, while creating a more open environment.

North Grove will offer a variety of residential products that will provide a broad range of distinctive and varied home sites. Additionally, a combination of tree-lined streets and wide sidewalks will foster a pedestrian-friendly atmosphere in North Grove.

The North Grove Development Plan delineates the general framework of boundaries for several districts and indicates general land uses, but is intended to be flexible to adapt to changing market demand. The indicated land uses herein shall follow the maximum land use acreage defined in "SECTION IV. Allocation of Land Uses" on page 5. These regulations will apply to all of the land shown on the North Grove Development Plan unless indicated otherwise. Housing mix for any particular area shall be controlled by the regulations applicable to the pertinent districts delineated on the Development Plan. All development within this district shall follow the "Exhibit C – North Grove Development Plan" unless approved by the City.

## SECTION II. Definitions

For the purposes of these regulations, the definitions and rules of construction found in Section 2200 of the City of Waxahachie's Zoning Ordinance, apply to development in North Grove. The terms defined below are specific to North Grove.

1. **Bufferyards:** means an open space area reserved for landscaping along major roads as required by the City, and preventing a lot from having double frontage.
2. **Civic:** means sites that are dedicated for buildings generally operated by not-for-profit organizations dedicated to culture, education, government, or municipal, or for a use approved by the City.
3. **Condominium:** means residential dwelling located in a multi-story building in the Mixed Use Districts that allows the individual ownership of each residence, based on a legal description of the air-space the residence actually occupies, plus an undivided interest in the ownership of the common elements, which are owned jointly with the other condominium owners.
4. **District:** means a geographic area located within the development and intended for the land use specified. A map of the proposed land uses within North Grove can be found on "Exhibit C – North Grove Development Plan" on page 27.
5. **Flag Lot:** means a generally square parcel of land that is accessible only by a long narrow strip leading from a public street.
6. **Live/Work Dwelling:** means an attached or detached dwelling unit on an individual lot that contains a commercial component on the ground floor, either office or retail, and residential use on the upper floors.

7. **Loft:** means a residential dwelling, located in a multi-story building in the Mixed Use areas of North Grove, not partitioned into rooms, except for the bathroom area.
8. **Office, Flex:** means an office that is constructed in a manner that allows for larger floor areas and may include bay doors.
9. **Porch:** means a structure attached to the front of a residential building which forms a covered entrance and has a minimum area of 60 square feet and a minimum of six (6) feet of depth.

### **SECTION III. Applicability and Rules of Development**

1. For the purposes of these regulations, the definitions and rules of all sections not discussed within this Planned Development shall follow those found in the City of Waxahachie's Zoning Ordinance, Subdivision Ordinance, and Parkland Ordinance as of the adoption date of this ordinance are otherwise grand-fathered in from any future amendments thereof, apply to development in North Grove.
2. All development on land located within the boundaries of North Grove must adhere to the rules and regulations set forth in these Planned Development District Standards. The development will be in complete accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.
3. Except as provided by these Planned Development District Standards, development within these boundaries are governed by the applicable City regulations. In the event of any conflict or inconsistency between these Planned Development District Standards and the applicable City regulations, the terms and provisions of these Planned Development District Standards shall control.

### **SECTION IV. Allocation of Land Uses**

The final land use allocation in North Grove must adhere to the following:

Land Use / Zoning Exhibit	Label	Max Area/AC	% of Total Area
Civic***	C	27.0	3.5%
Mixed Use***	MU	30.0	3.9%
Parks / Community Green**	P	104.9	13.7%
Single-Family Residential	R	567.2	74.2%

Total North Grove Acreage = +/- 764 ac. Development intent is for any increase in one land use to result in a commensurate decrease in another, within the maximum acreage limit noted above.

### **SECTION V. Zoning Districts**

#### **A. Civic District (C)**

The Civic District is intended to provide a location for not-for-profit organizations dedicated to culture, education, government, educational, or municipal, or for a use approved by the City. Civic can be located in any zoning district within the Development Plan.

## B. Mixed Use District (MU)

The Mixed Use District will serve the North Grove and is also intended for destination retail opportunities. Mixed Use District will accommodate retail, commercial, service, office and residential uses. This district should have pedestrian access to adjacent residential areas.

## C. Parks / Community Green District (P)

Area's designated on "Exhibit F – Open Space and Trails Plan" on page 34 as Parks, whether public or private, or Community Green shall be used for recreational use or preservation of open space and shall count toward the required Parkland dedication required herein.

## D. Single-Family Residential District (R)

The Single-Family Residential District is intended for all single-family residential product types shown in Section VII and X.

# SECTION VI. Permitted Uses

## A. Land Uses

Only uses listed in the Permitted Use table below are permitted in the Civic and/or Mixed Use districts in North Grove. If there is a question as to whether a use not listed below is permitted, the City Council shall make a determination whether the use is permitted or prohibited. The letter "P" in the district column opposite the listed permitted use means that the use is permitted as a use of right in that district, subject to compliance with the requirements specified in the Special Conditions section following. The letter "L" in the district column opposite the permitted use means the use is a limited use in that district, subject to compliance with the requirements specified in the Special Conditions section following. As indicated in the Permitted Use Table, all Single-Family Residential Product Types depicted in "SECTION VII. Area and Height Regulations" on page 8 shall be allowed anywhere within the Single-Family Residential District (R).

## B. Permitted Use Table

Permitted Uses	Districts	
	Civic (C)	Mixed Use (MU)
Accessory building, structure or use	L	L
Accessory dwelling unit		
Art Gallery	P	P
Artist Studio	P	P
Assisted Living Residence		P
Bakeries, retail sales on premises only		P
Banks and financial institutions without drive-through facilities		
Barber shops and beauty shops		P
Civic and public buildings	P	P

Permitted Uses	Districts	
Commercial amusement (indoor)		P
Computer programming services and software sales		P
Condominium		P
Day care centers and day nurseries	P	P
Gas Station		
General retail uses		P
General Service Uses		P
Government uses	P	P
Health club or gym	P	P
Hotel		P
Industrial		
Laundering and dry cleaning pickup shops		P
Live/Work Product		P
Loft		P
Multi-Family Residential		L
Office Flex		
Offices, professional and business		P
Oil or gas drilling		
Parks	P	P
Private recreation facility	P	P
Professional Services		P
Religious institutions	P	P
Residential Estate Product		
Residential Manor Product		
Residential Township Product		
Residential Village Product		
Residential Cottage Product		
Restaurants with drive-through facilities		
Restaurants without drive-through facilities		P
Schools	P	
Theatre	P	P
Veterinarian without outside runs		

#### Special Conditions

1 - Residential uses are allowed to have accessory buildings provided they comply with the City of Waxahachie's Zoning Ordinance. Accessory buildings over five-hundred (500) square feet in the residential districts for Single-Family Residential products are required to use the same materials, architectural style or design of the principal structure.

**Special Conditions**

2 - For all non-residential districts described herein, accessory buildings must comply with the City of Waxahachie's Zoning Ordinance, and shall be designed to match the principal structure in construction materials, architectural styling and design in all other zoning districts described herein.

3 - Drive-through facilities are limited to uses in the Mixed Use District only. Drive-through facilities must be designed to match the principal structure in architectural styling and design, and must be screened from adjacent properties and public rights-of-way. In the Mixed Use District, drive-through facilities must follow the regulations of the City of Waxahachie's Zoning Ordinance.

## SECTION VII. Area and Height Regulations

### A. Single-Family Residential Product Table

Product Types**	Lot Classification (Density)	Maximum Percentage of Total Single-Family Dwelling Units	Minimum Lot Area	Minimum Lot Width	Alley Access	Minimum Attached Garage Door	Minimum Principal Building Front Setback	Porch Zone Setback (Optional)	Minimum Side Yard Setback	Minimum Street Side Yard Setback	Minimum Side Setbacks for Attached / Detached Garage (Alley Access)	Minimum Floor Areas	Maximum Structure Height	Minimum Percentage of Total Single-Family Dwelling Units	Porch Percentage Minimum
Estate	A (Low)	NA	9,600 sf	80'	N	28'	25'	15'	7'	20'	5'	2,400 sf	35'	10%	25%
Manor	A (Low)	NA	8,400 sf	70'	N	28'	25'	20'	5'	15'	5'	2,200 sf	35'	15%	25%
Township	B (Med)	40%	7,200 sf	60'	Y	23'	20'	10'	5'	15'	5'	2,000 sf	35'	20%	25%
Cottage	C (High)	20%	5,500 sf	50'	Y	NA	20'	10'	5'	15'	5'	1,800 sf	35'	10%	35%
Bungalow	C (High)	10%	4,500 sf	40'	Y	NA	20'	10'	5'	10'	5'	1,500 sf	35'	NA	50%

\* Front access is prohibited on Multi-Family products.

\*\* All development along Farm-to-Market 813 and Grove Creek Road shall set back at least 100' from the future right of way.

\*\*\* All homes with a three (3) foot garage setback can encroach into the rear yard setback by three (3) feet

\*\*\*\* Exception to Township Lot Type: For every one (1) Manor or Estate lot which is side-loaded rather than front-loaded, the developer may build one (1) front-loaded Township lot. This condition is applicable for up to forty (40) percent of the total Township lots for that particular development tract.

## B. Other Area and Height Regulations

### A. Mixed Use Development Regulations

1. Maximum Floor Area Ratio	5.0
2. Minimum Lot Area	2.5 ac.
3. Setbacks	—
(a) Front and side	None: shall build to property line
(b) Rear	None: shall build to property line
4. Lot Coverage	Min: 55% Max: 90%
5. Building Height	Min: 1 floor Max: 4 floors

Live/Work, Lofts and Condominiums must have a minimum floor area of at least 600 square feet. Apartments must follow the floor area requirements for the **MF-2** District in the City of Waxahachie's Zoning Ordinance.

## SECTION VIII. Relationship to Subdivision Standards

Unless specifically addressed in these regulations, the Subdivision Regulations for the City of Waxahachie will govern the subdivision of land and construction of public improvements in North Grove.

## SECTION IX. General Design Standards

### A. General Single-Family Residential Planning Standards

- a. Only similar single-family residential products can face each other, unless separated by a common green.
- b. No residential lot may back up to local streets or parks unless geographic or circulation conditions prevent compliance with this requirement. Residential lots can back or side on to required buffer yards adjacent to Type-C Roadways or larger. (See "SECTION X: Single-Family Development Design Standards" on page 10 for standards).
- c. Radial and irregular shaped residential lots shall have a minimum lot frontage of forty-five (45) feet at the street right-of-way for all lot types except bungalow. Bungalows shall have a minimum of thirty-five (35) feet at the street right-of-way.

### B. General Mixed Use Planning Standards

The following standards apply to development located in the Mixed Use District.

- a. Residential uses are allowed on the ground floor in the Mixed Use Districts, up to seventy-five (75) percent of the total building footprint.
- b. By approval of these Development Standards, the City of Waxahachie recognizes that there will be encroachments onto the sidewalk in the Mixed Use Districts. The encroachments can include, but are not limited to, seating, stoops, signs, awnings, landscaping balconies, bay windows, or

lights. Any encroachment into the sidewalk must be approved by the City to minimize any conflicts. Encroachments must be located so that at least six (6) feet of sidewalk remains unobstructed.

c. Awnings, canopies, upper story balconies, planters, trees and signs can encroach over the sidewalk provided a minimum nine (9) foot vertical clearance is provided.

### **C. Public Utilities**

All public utilities in North Grove must comply with the City of Waxahachie's regulations, and any future amendments thereof. No structure shall encroach into any easement.

### **D. Transportation Network**

#### ***A. Street Connectivity***

1. For streets, block lengths shall not typically exceed 800 feet. With approval from the City Engineer, block breaks shall be determined by changes in direction, intersections, through block greenways, parks or open spaces.
2. Neighborhood access to open space must be accommodated in the design of the transportation network.
3. All sidewalks shall have a minimum width of five (5) feet, except in the Mixed Use Districts where sidewalks must have a width of at least ten (10) feet.

#### ***B. Intersections***

1. Traffic Circles are allowed with approval of location and design by the City Engineer.
2. Design elements, which may be incorporated where feasible in the specific intersection design, include wide crosswalk striping, special paving treatments, and median "refuge islands," and sidewalk bulb-outs.
3. Asymmetric intersections may not exceed 15 degrees either direction of 90 degrees, and shall account for visibility triangles at all intersections with approval from the City Engineer.

### **E. Street Types**

All public streets shall follow the standard street designs. Refer to "Exhibit E – Street Sections" on page 30.

## **SECTION X: Single-Family Development Design Standards**

### **A. Density and Intensity**

1. Preserve and incorporate natural amenities unique to the site such as topography, mature trees, water features, etc. into the project. The existing ponds, floodplain and easements will be incorporated into the development with the addition of amenities such as: hike and bike trails, playgrounds, open play fields and a mixture of homes that front, side or back to these areas.

2. Lot sizes and housing types will be varied to blend and average out densities and avoid homogeneous neighborhoods. All five lot types within the P.D. requirements will be used throughout the development and will create a variety of housing types.
3. Because of the size of the North Grove many smaller neighborhoods will be part of the entire community, within the community all neighborhoods will share all the amenities, open space and parks.
4. New development will respect the scale, proportion, and character of the surrounding areas. Avoid the physical disassociation of new neighborhoods to existing by eliminating walls and other physical separations and barriers, where appropriate on Farm-to-Market 813 and Grove Creek Road.
5. Higher densities involving mixed use will be proposed within close proximity to the core area of the property at the intersection of Brown Street and the future Type C arterial and highway 77 and intersection with Type-C Roadways or larger.
6. Lower densities, should be located toward the edge. At the edge of the community the residential street layout will make provisions to join future residential communities by making residential road connections or easements to future residential development.
7. A clear edge establishes the presence of the neighborhood, its beginning and end. Examples of good edges may be streets, open space, or creeks.
8. Open space areas will be located within approximately 1,500 feet from every dwelling in the new development. Open Space will be defined as any usable area fifty (50) feet in width.
9. The North Grove will provide a minimum of two acres of usable open space for every 100 residential lots within the development. This required open space will be located in the center of the development areas with lots fronting on all sides.

#### **B. Lot Types and Products**

1. Single family detached units will range from Bungalow Homes on small lots to Estates on larger lots.
2. Lot widths will be established based on the proposed product within the P.D., as defined in "SECTION VII. Area and Height Regulations" on page 8.
3. A mix of housing products will be used to meet different needs of owners, families, and styles. All five lot types within the P.D. requirements will be used throughout the development and will create a variety of housing types. A minimum of two (2) lot types must be used in development areas less than thirty-five (35) acres. In developments larger than thirty-five (35) acres, three (3) lot types are required.

#### **C. Setbacks**

1. Variation of building placement and lot development patterns are essential to achieve visual diversity and avoid monotony.
2. Placement of homes and garages at variable setbacks establishes different patterns of visible open spaces and creates a visually interesting streetscape.
3. Porches (non-auto related) will be allowed to be extended up to ten (10) additional feet into the front setbacks.

#### **D. Model Characteristics**

1. Each housing model will have at least three (3) characteristics which clearly and obviously distinguish it from other housing models, including different floor plans, exterior materials, and/or roof lines.
2. No building profile will be allowed on a house built on a lot that is within four (4) lots of a structure constructed with similar building elements that is located on the same side of street in-between intersecting streets.
3. A variety of decorative garage doors will be used throughout the neighborhood. Refer to "SECTION X: Single-Family Development Design Standards"/"M. Architecture" on page 17.
4. Other quality products will be proposed to include dimensional shingles instead of three tab shingles where appropriate; other tile and metal roofs suited to the home architecture; decorative columns and railings; varied patterns, style and type of materials; and architectural details (such as tile work and moldings) or accent materials integrated into the building façade.
5. No residential building will be built with similar aforementioned building elements and color pallet as one located directly across the street.

#### **E. Streets**

1. Minimum fifty-four (54) foot right-of-way with twenty-eight (28) feet of pavement is the standard residential street used throughout the city.
2. Streets will be of a minimum width to accommodate the street, median, planting strips, sidewalks, utilities and maintenance considerations
3. Street widths will be appropriate for adjacent land uses and building types, subject to approval by the City Engineer.
4. No residential development will be developed without sidewalks, pedestrian ways, neighborhood connections, trails and paths. All sidewalks in residential areas will be five (5) feet in width, with the Mixed Use all sidewalks will be ten (10) feet. The street will complement the distinctive character of the neighborhood or district while providing connections to adjoining neighborhoods.
5. Slip Roads and Mews can be used when fronting homes onto Type C roads or greater to reduce the number of drives that ingress and egress on the street while creating more depth to the front yards and separating the homes from the busy street.
6. Divided two-lane roadways with: eighty (80) foot ROW, twenty (20) foot pavement in each direction, curb-side parking will be permitted in residential neighborhoods providing a landscaped median.

#### **F. Street Pattern**

Residential streets are encouraged to be interconnected and have a "traditional grid."

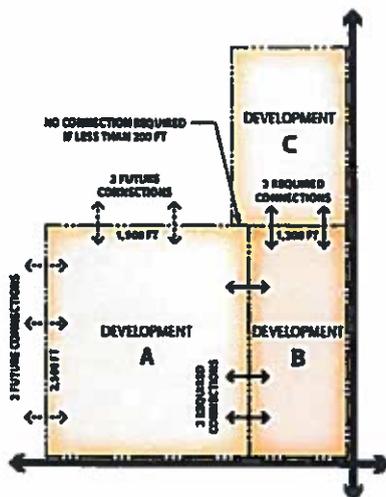


Seaside, FL



Kentlands, MD

1. Interconnected patterns are required to create walk-able neighborhoods. Development Pods must provide connections every six-hundred (600) feet based on a common property boundary.



Development Street Connection Diagram

2. Interconnected streets will be used to permit multiple routes to diffuse traffic and to shorten walking distances.

### G. Block Length

Six hundred (600) to eight hundred (800) linear feet is an appropriate block length in most developments.

1. Exceptions may be needed due to topography, environmental protection preservation of cultural resources and similar considerations.
2. Cul de sacs are disallowed unless approved by the Planning Director due to geographic constraints.

## H. Street Lighting

1. Oncor/TXU shall install and maintain neighborhood lighting. The standard pole of galvanized steel with a cobra head will not be acceptable within arterial and residential street.
2. The Philadelphia light pole supplied by Oncor will be required.

## I. Relationship of Buildings to the Street

1. Buildings will be oriented toward a public or private street
2. Create visual interest and variety, while maintaining a sense of harmony and property along street frontages and other portions of the project exposed to public view.
3. Buildings within the Mixed Use development will be placed closer to the street. All lots and sites will have pedestrian connections and the core area should be fully accessible to pedestrians.
4. Parking lots and garages shall not face the street in the Mixed Use area. Off-street parking will be located to the side or behind buildings but not in front of buildings or in such a manner as to interfere with pedestrian access in the Mixed Use area.

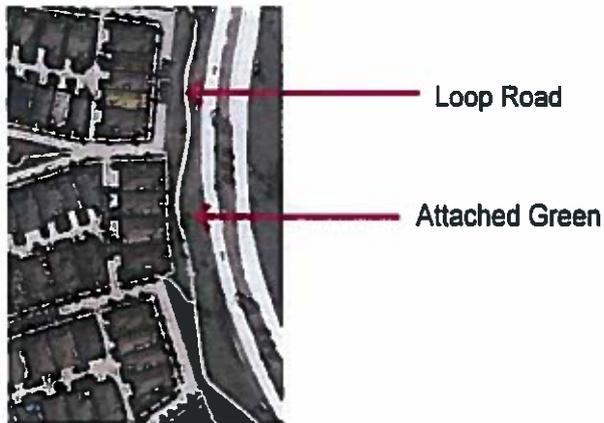
## J. Perimeter Lot and Screening Treatment along Type C and Wider Thoroughfares.

1. This development is intended to create a roadway system that does not create walled off corridors which divide communities. The relationship between Type C and larger roadways with residential development will provide the following options:
  - i) Slip Streets - are allowed along Type C roads



*Slip Street Example: Westchester of Carrier Pkwy in Grand Prairie, TX*

- ii) Loop Roads - are allowed with a collection of siding mews lots (attached greens).



*Loop Roads Example*

iii) Open Cul-de-sacs



*Cul-de-sac Example: McKinney, TX*

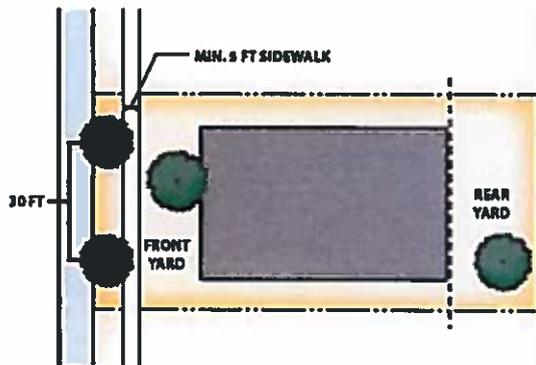
2. Wall sections greater than fifty (50) feet in length will incorporate at least two of the following design features which are proportionate to the wall length:
  - i) A minimum 2 foot change in plane for at least 10 feet.
  - ii) Use of columns at 100 foot intervals.
  - iii) A minimum 4 foot high opaque fence with 2 – 4 foot of see through materials, not chain link.
3. Gates will be provided in walls or fences to allow emergency access and to facilitate convenient pedestrian access to activity areas and adjacent uses.
4. A wall(s) may be eliminated or sited to provide additional setback areas at project entries to accommodate distinctive landscaping, ornamental gateways, signage, and street furniture.
5. Walls will be curved or angled at corner locations to accommodate appropriate visibility and add variety.
6. Masonry fencing and walls will have a design life of 30 years. Additional information may be found

in the Construction, Zoning and Subdivision Ordinances.

**K. Perimeter Walkways, Landscape and Common Area**

1. Minimum 5' sidewalks along both sides of the street are required in all residential neighborhoods. Provide 8' on thoroughfares (Type C and larger).
2. The value of trees and landscaping will be recognized as important features that strongly influence the aesthetics and environmental quality of the city. In all residential neighborhoods one 3" caliper tree will be planted every 30' between the curb and sidewalk. In addition of 3" caliper yard tree will be planted in the front and rear yard.

Trees Which May Be Planted Adjacent to Streets		
Street Trees (Between Curb and Sidewalk)		
Bald Cypress	Lace Bark elm	Chinquapin Oak
Pond Cypress	Alle Elm	Shumard Oak
Cedar Elm	Chinese Pistachio	Burr Oak
Texas Red Oak	Urbanite Ash	Highrise Live Oak
Yard Trees (Between Sidewalk and Front Facade)		
Live Oak	Bald Cypress	Shumard Oak
Sweetgum	Texas Red Oak	Burr Oak
Cedar Elm	Chinquapin Oak	



*Residential Tree Lot Diagram*

3. Establish attractive, inviting, imaginative and functional site arrangement of buildings and parking areas, and a high quality of architectural and landscape design. Two (2) rows of landscape are required in front of all homes containing shrubs, ground cover or other landscaping elements. Builder will install a fully operational irrigation system in front and back yards.
4. Community amenities, parks and open space, landscaping, and perimeter screening will be implemented per phase of development, and shall be constructed as part of the subdivision improvements before subdivision acceptance by the City.

## **L. Trail Corridors**

1. Trail Corridors will be provided throughout the development.
2. Trail Corridors must be continuous and make an overall complete connection as shown on the open space and trails plan.
3. Trail Corridors will be a minimum of twenty-five (25) feet wide.
4. All trails will be eight (8) feet in width.
5. Trail Corridors are encouraged to be placed in locations to preserve natural vegetation. If natural vegetation does not exist, three (3) inch caliper trees will be required thirty (30) feet on center.
6. Lots backing to the trail corridor will be required to install six (6) foot high black ornamental iron fence. No stockade fencing can be installed behind the ornamental iron fence within the residential yard.

## **M. Architecture**

1. To avoid standards that promote sameness and stifle individuality, no use of the same brick masonry color, duplicate building elevation (front facades) and building profile will be allowed on a house built on a lot that is within four (4) lots of a structure constructed with similar building elements that is located on the same side of street in-between intersecting streets.
2. The arrangement of structures, circulation and open spaces will recognize the particular characteristics of the site and should relate to the surrounding built environment in pattern, function, scale, character and materials.
3. The primary roof structures shall have no less than an 8:12 pitch all single-family residential products. All secondary roof structures, (e.g. porches, verandas and similar architectural attachments) may be constructed at a pitch complementary to the primary roof structure for all single-family residential products.
  - a. Permitted roof materials will be limited to tile, slate or architectural composition shingles.
4. Garage & Driveways – Proper treatment of the garage is critical to create a sense of variety and quality.
  - a. All garage doors will be recessed a minimum of three (3) feet from the front building elevation; also they must have a minimum six (6) inch recess from the frame to create a shadow line.
  - b. Variation of the garage door style is required, based on three options stated below:
    - i. Metal doors with twelve (12) inch masonry columns, separating doors. Twenty-five (25) percent required per plat.



ii. Decorative Wood or wood-like doors



iii. Painted Metal doors to compliment house trim color with windows and custom metal straps, handles or pull. Paint colors or stains will be natural in color.



*Garage Pulls*



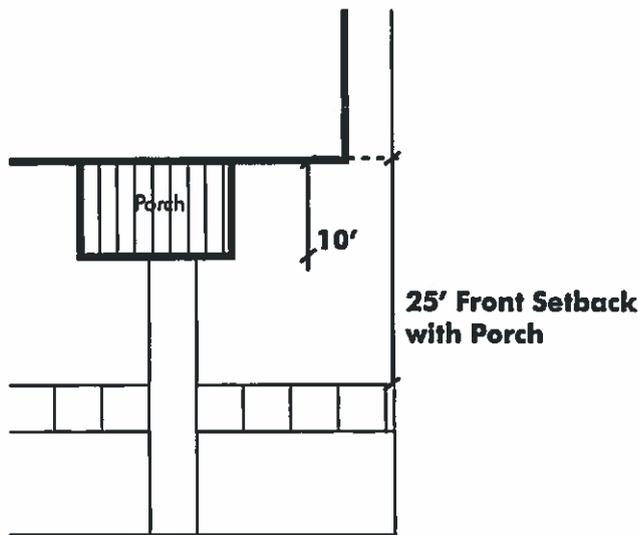
*Garage Handles*



*Garage Metal Straps*

- c. Variation in single garage door and double garage doors for the required two car garage will be provided throughout the community.
- d. Garage doors should not dominate the street scene. (No more than two (2) doors may be continuous.) If a third (3rd) garage door (stall or bay) is provided, it will be separated from the other doors by at least a twelve (12) inch brick column.
5. Windows and Doors – Front Doors will be constructed of high quality and long lasting materials that complement the architectural style of the home.

- a. Window and shutter placement shall be orderly and appropriate for the style
  - b. The following items are prohibited:
    - i. Mirrored glass or reflective film, exterior or interior tinting
    - ii. Aluminum frame doors and windows.
6. Masonry Content – all homes will be ninety (90) percent comprised of brick or stone.
7. Non-masonry Content - the additional ten (10) percent content will be considered based on the following:
- i. The architectural design and creativity of the dwelling units proposed.
  - ii. The quality and creativity of the overall development proposed
  - iii. Compatibility of the dwelling units proposed with the surrounding developed properties.
8. Porches – In order to create variety to the street and human scale porches will be allowed but with the following exceptions
- a. Porches can extend past the front yard setback by ten (10) feet.



- b. Porches will be required to be a minimum six (6) feet in depth and minimum sixty (60) square feet to ensure usability.

#### **N. Home Owner Association**

1. Where common items or areas are proposed, a property owners association will be created to enforce the restrictions of this ordinance at the expense of the property owners association.
2. Said association will also maintain required and/or common masonry screening walls, street landscaping, monument signage, irrigation, and other common areas of the development. H.O.A.'s are

required to pay for electricity and irrigation. Accounts should be established in those association names.

3. Accessory uses and/or buildings and parking or storage such as accessory or storage buildings, parking or storage of RV's or boats, parking on streets, are items that will be addressed in the deed restrictions.
4. Community facilities are encouraged within neighborhoods depending on anticipated activity levels of occupants. Trails, open space, access and linkages will be required adjacent to open space, parks, play grounds, schools, and retail.

#### **O. Entry Features and Medians**

1. Neighborhoods will be distinguished by entry and edge design features such as ornamental landscaping, open space areas, natural features, architectural monuments and enhanced paving.
2. Entry walls will be provided at the intersections of major thoroughfares and neighborhood entries. One wall should be provided per side of street.
3. Entry walls will be designed to turn into the neighborhood to avoid uncoordinated fences at all entry points.
4. Screening fences will be coordinated throughout the residential neighborhood. Screening will be made of cedar or redwood fencing, wrought iron and masonry walls; berms; landscaping or a combination of these elements.

#### **P. Subdivision Name**

Walls will have the name of the subdivision on it either attached or incorporated into the wall design. Repetitive design or signage is discouraged. Logos may be placed no closer than fifty (50) feet apart.

#### **Q. Illuminated Walls**

Up lighting will be provided to light any signage at night. Other lighting is encouraged for safety and to provide articulation of screening walls. Except for the sign walls, lighting may be directed downward. Lighting should be as required for safety but not obtrusive on neighbors or passing traffic.

#### **R. Natural Drainage Corridors**

##### **1. Floodplains**

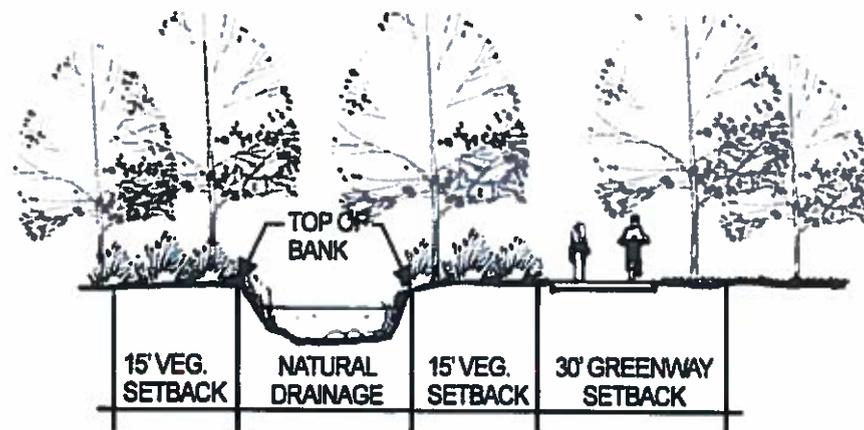
Floodplains may be modified to improve drainage, natural areas, green space, public space and development consistent with the standards and intent of the North Grove development regulations and shall meet the minimum standards outlined in the drainage criteria manual.

##### **2. Natural Drainage**

All drainage areas generally where feasible should be treated in a natural manner using materials such as stone and bioengineering techniques to achieve erosion control.

A vegetated buffer shall be established from the top of all creek banks. Non-noxious existing vegetation shall be preserved and can be supplemented with grasses, understory, and canopy trees to enhance bank stability and water quality. No impervious cover shall be allowed within the buffer other than what may be needed or required for engineering needs. Informal earthen footpaths and creek overlooks connected to a trail shall be allowed. Where public greenway trails are indicated on the Development tract

Development Plan, an additional greenway setback of a minimum 30 feet width and immediately adjacent to the vegetated buffer shall be established. Within the greenway setback, all canopy trees four (4) inch caliper or larger shall be preserved, ground shall be covered with grass or other vegetative cover, and impervious surfaces shall be limited to paved trails, trail rest areas and associated greenway amenities when approved by the Director of Planning.



## S. Off-Street Parking

All development must comply with the City of Waxahachie's off-street parking requirements, except for the following:

- a. Head-in and parallel parking is allowed in the Mixed Use District. Location of head-in parking off of street right-of-way shall be dependant on a more detailed site plan review by City staff. Refer to "Exhibit D – Regional Thoroughfare Diagram & Thoroughfare Diagram" on page 28 for location of head-in and parallel parking.
- b. On-street parking can be counted towards the off-street parking requirement for nonresidential uses in Mixed Use District.
- c. To encourage pedestrian activity in Mixed Use District, the overall parking requirement for each nonresidential use is seventy-five (75) percent of the off-street parking requirement listed in the City's Zoning Ordinance. Residential uses in Mixed Use District must provide off-street parking as required by the City of Waxahachie's Zoning Ordinance.
- d. In Mixed Use District, required parking can be located on a separate lot, provided the parking area is no more than six-hundred (600) feet from the use it is serving.
- e. In Mixed Use District, shared parking can be used, provided a parking study is completed by the

developer to prove that the uses proposing to share parking spaces are truly complementary.

f. Tandem Parking, where one parking space is located directly behind an enclosed parking space, is only allowed in the Mixed Use District.

g. Vehicles may not be parked on or over sidewalks.

## **SECTION XI. Development Approval Process**

The approved North Grove Development Plan will serve as the document that establishes general development patterns in North Grove.

### **A. Site Plan**

The site plan is a detailed plan of the public and private improvements to be constructed. The purpose of the site plan is to ensure compliance with the P.D. Standards and all applicable development regulations and any previously approved, valid plans affecting development of the property, coordinate and document the design of public and private improvements to be constructed, and coordinate the subdivision of land. The submission of a Site Plan for City comment and review shall take the place of a Preliminary Plat.

A separate site plan will be submitted for all Cottage and Bungalow Product to be independently reviewed by the Planning and Zoning Commission and City Council. Development of this type must be designed and located to ensure that it is an asset that enhances the viability of the development but does not negatively impact property value or development alternatives on other areas surrounding the proposed site. The City will reserve the right to establish and impose architectural standards and requirements that ensure that the Cottage and Bungalow Product is a design asset to the completed development.

### **B. Applicability**

An approved, valid site plan shall be required prior to the approval of any plat or construction plan and permit for development within Single-Family Residential and Mixed Use Districts.

### **C. Standards and Procedures for Approval**

When application for site plan approval is made for development within the North Grove, the Director of Planning shall present the detailed site plan to the Planning and Zoning Commission for recommendation and the City Council for approval by a majority vote at one (1) meeting. For developments in the Single Family Residential District, after the approval of the first site plan, the Director of Planning may approve, conditionally approve or deny subsequent site plans based on the criteria listed below, or he may elect to present the site plan to the Planning and Zoning Commission and City Council for approval.

- a. Compliance with the regulations set forth in these P.D. Standards; and
- b. Compliance with applicable City Ordinances and any previously approved valid plans; and
- c. Appeals.

The applicant may appeal a decision of the Director of Planning to the Planning & Zoning Commission by filing a Notice of Appeal within ten (10) days following the date the Director of Planning notifies the applicant of his action. The Notice of Appeal shall set forth in clear and concise fashion the basis for the appeal. The Planning & Zoning Commission may approve, conditionally approve or deny a site plan based upon the criteria listed above.

The decision of the Planning and Zoning Commission to approve or deny a site plan shall be final and binding unless an appeal of the decision is made to the City Council. The applicant may appeal the decision of the Commission with regard to a plan by filing a Notice of Appeal in the office of the Director of Planning, no later than ten (10) days after the date on which the Commission notifies the applicant of its decision. Such notification may take place by means of an oral ruling by the Commission at a public meeting. The Notice of Appeal shall set forth in clear and concise fashion the basis for the appeal. The City Council shall consider the appeal at a public meeting no later than forty-five (45) days after the date on which the Notice of Appeal is filed. The City Council may affirm, modify, or reverse the decision of the Commission, where appropriate, remand the plan to the Commission for further proceedings consistent with City Council's decision.

#### **D. Duration**

The approval of a site plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the applicant must have submitted and received approval of engineering plans and/or building permits. Approved site plans shall be granted an extension beyond the original two (2) year effective period, with approval of Planning & Zoning and City Council, for up to an additional two (2) years if the developer applies for an extension before the expiration date and provides adequate proof to show they are in the process of development.

The Director of Planning, the Planning & Zoning Commission or the City Council may revoke approval of a site plan if it determines that the conditions of the approval have not been met, or if the plan contains or is based upon incorrect information which affects a significant health or safety interest.

## **SECTION XII. Site Plan Application Requirements**

The following information shall be provided with applications for Site Plan approval:

1. A vicinity map locating the property in relationship to existing major thoroughfares.
2. Title block, preferably in lower right hand corner, including the following: "Site Plan, name of development, survey and abstract number or recorded plat information, city, county, state, date of preparation, acreage and lot data".
3. Acceptable scale: 1 in = 20 ft, 1 in = 40 ft, 1 in = 100 ft or as approved.
4. Type size is legible at full scale and when reduced.
5. North arrow, graphic and written scale in close proximity.
6. Name, address, phone and fax of owner/developer and the firm preparing the plan.
7. A map showing the boundaries of the different land uses and the boundary dimensions.
8. Adjacent or surrounding land uses and zoning, streets, drainage facilities and other existing or pro-

posed off site improvements, sufficient to demonstrate the relationship and compatibility of the site to the surrounding properties, uses and facilities.

9. The location and size of all streets, alleys, parking lots and parking spaces, loading areas or other areas to be used for vehicular traffic and the proposed access and connection to existing or proposed streets adjacent to the plan area. Include a chart indicating the number of required parking spaces by use, the method of calculation and the number of proposed parking spaces.
10. The types of surfacing, such as paving (e.g. concrete, brick, turf, etc.) to be used at the various locations.
11. The location and size of all fire lanes with all curb radii adjacent to the fire lane labeled. The nearest fire hydrant dimensioned to the property corner and all proposed fire hydrants.
12. The location, height, setbacks, dimension, floor area, and floor area ratio for all buildings. Include the following building details in the site plan:
  - a. Entrance and exits to the building.
  - b. Architectural renderings or elevations of proposed structures with all exterior materials for roofs, awnings, walls etc. labeled, shall be provided for retail, mixed use, and commercial areas only.
  - c. Calculations of the masonry content on each façade and in total for each building.
  - d. Storefront design.
13. Distance between buildings and distance from building to property lines.
14. The number, location, and dimensions of the lots; and the setbacks, number of dwelling units, and number of units per acre (density).
15. A graphic showing a typical lot layout, with size and setbacks.
16. The location, size and type of each outside facility for waste or trash disposal. If no facility is shown, provide a note indicating method of disposal and removal.
17. A tree survey locating all protected trees by type, size and species in a printed and electronic format, as required by the Planning Director, and mitigation plan, if required by the City of Waxahachie's Planning Director.
18. A landscape plan showing all on-site and perimeter landscape. A chart indicating the size, length and width of the landscape areas, with the required number of plants and the proposed number of plants should be included on the plan. The landscape plan may be presented on a separate exhibit on the same sheet size and at the same scale as the site plan.
19. A site plan shall include all private/public improvements, including but not limited to interior parks, landscape buffers, entries and trails for the given development phase encompassing such improvements.
20. The approximate location and size of any greenbelt or open space area, and if applicable, an open space management plan providing information on the ownership, maintenance and operation of such area.
21. The approximate location and size of required Parkland Dedication areas, as required by the City of

Waxahachie's Parkland Dedication and Development Fee Ordinance for residential development.

22. The location, type, and size of all fences, berms, or screening features.
23. A plan, including elevations, showing location, size, height, orientation and design of all signs, including community entry signage.
24. The location, size and type of all pedestrian areas, bike paths, sidewalks and associated streetscapes.
25. The location, size, type and purpose of any outside storage or outside display and method of screening. Indicate the percentage of outside storage as compared to the building square footage.
26. Phases of development should be shown and broken down by use and acreage.
27. The City Engineer may require a traffic impact analysis, water and sewer impact analysis, storm water management plan, and other studies, including all necessary modeling, to be submitted for review and approval. The intent is to determine the improvements that are needed to support the proposed development and to avoid overloading the existing or planned infrastructure.
28. The Director of Planning, may, during administrative approval of a Site Plan, require other information in addition to the requirements above in connection with the review of a Site Plan. Where a Site Plan is not approved administratively, the Planning and Zoning Commission or the City Council may require other information in addition to the requirements above in connection with the review of a Site Plan.
29. If applicable, show the following mandatory owners association notes:
  - a. A mandatory owners association will be responsible for the maintenance of the "insert list of private amenities and common areas here". (Example: screening fences, common areas, parks, amenity centers, landscaping)
  - b. The Owners Association and associated documents shall be filed in accordance with the Cities policies. The documents shall be filed with the final plat. The documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not accept the responsibility for any delays caused by the failure to submit the association documents or the inaccuracy of the documents.

### **SECTION XIII. Parkland Dedication and Park Development Ordinance**

All development in North Grove must comply with the cities Parkland Dedication and Park Development regulations found in the Parkland Ordinance, except that the open space dedication requirements in the Single Family Residential Districts will count towards any parkland dedication requirements not already shown on "Exhibit F – Open Space and Trails Plan" on page 34, subject to approval and acceptance by the Director of Parks and Recreation. All amenities provided in both the public and private park development shall count toward park development fees as approved by the Director of Parks and Recreation. The area shown of "Exhibit F - Open Space and Trails Plan" as YMCA / Neighborhood Park will revert to an 8 ac. neighborhood park if the YMCA does not purchase this property within (3) three years from the cities approval of this document.

# **Exhibit C-F**

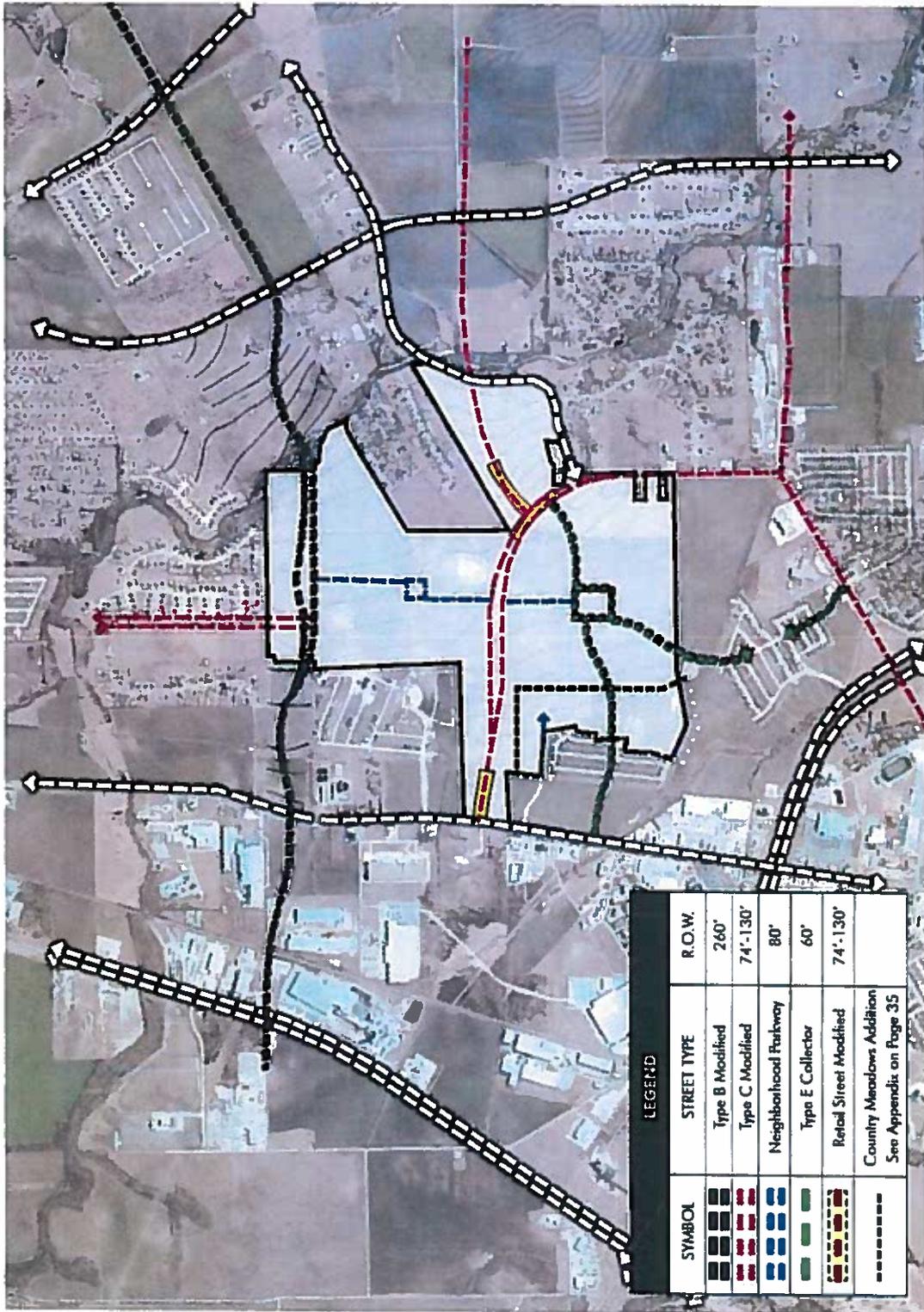
## **Planned Development District Standards**

**November 13, 2013**  
**Revised January 24, 2014**

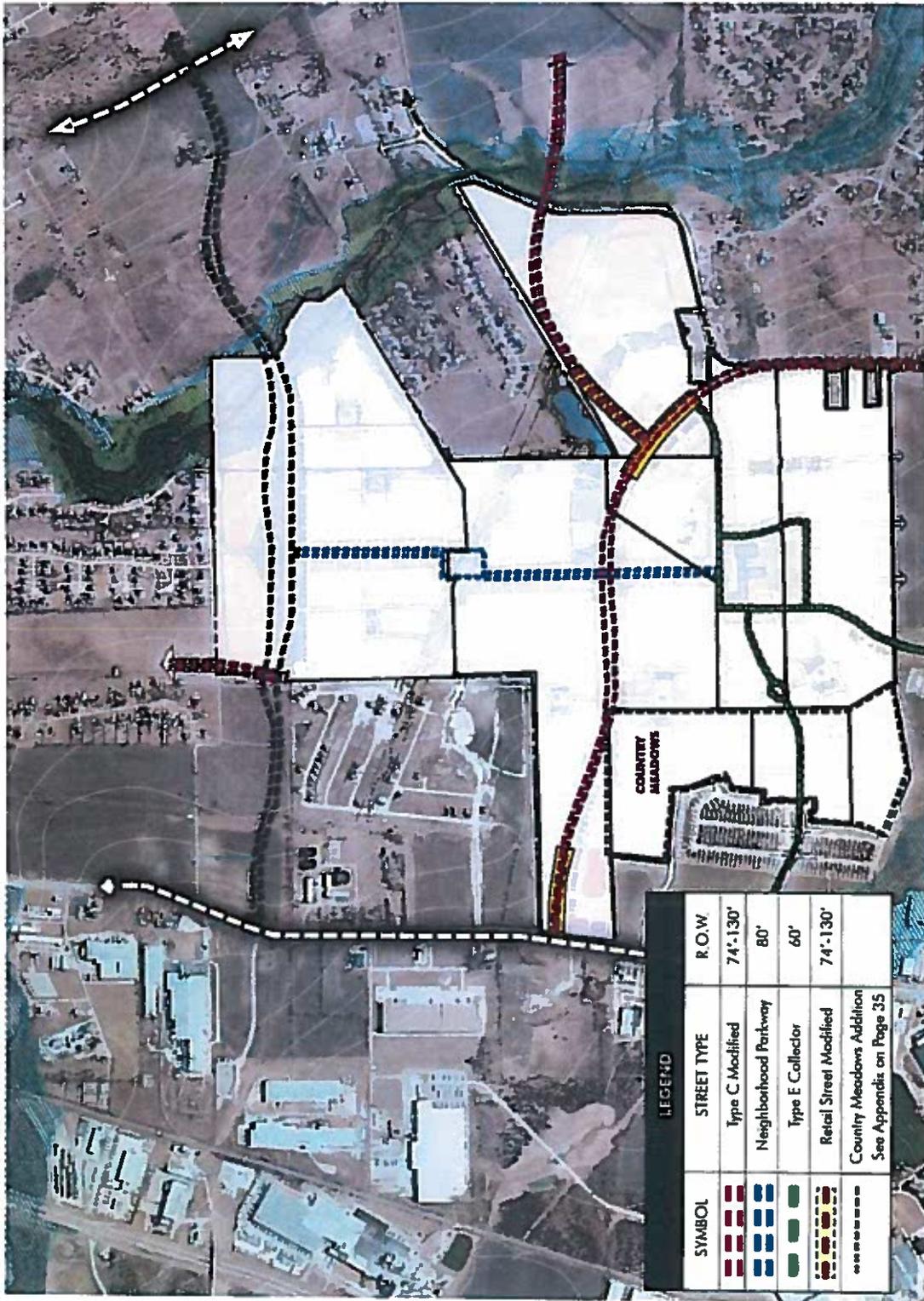
**Exhibit C – North Grove Development Plan**



**Exhibit D – Regional Thoroughfare Diagram & Thoroughfare Diagram**

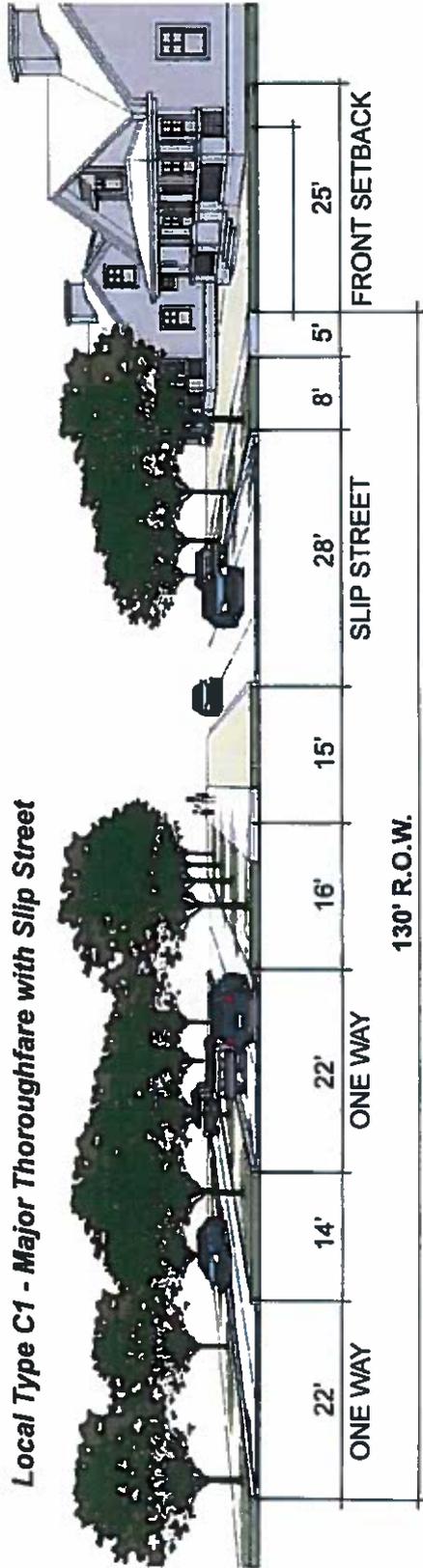


**Exhibit D – Thoroughfare Diagram**

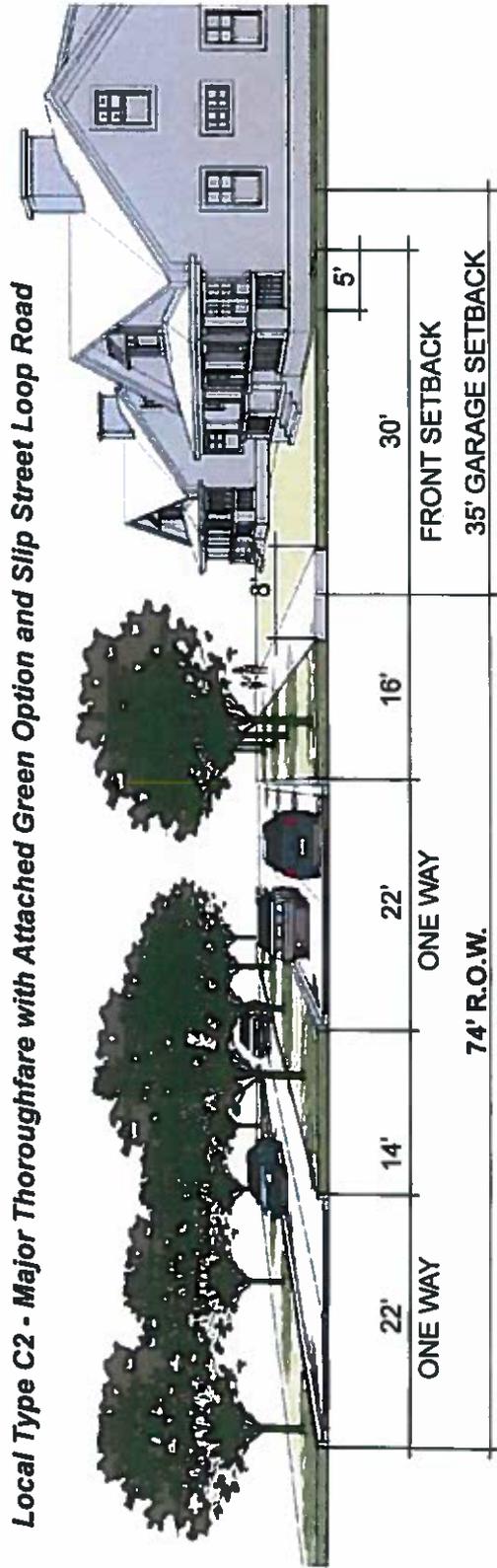


**Exhibit E – Street Sections**

*Local Type C1 - Major Thoroughfare with Slip Street*



*Local Type C2 - Major Thoroughfare with Attached Green Option and Slip Street Loop Road*



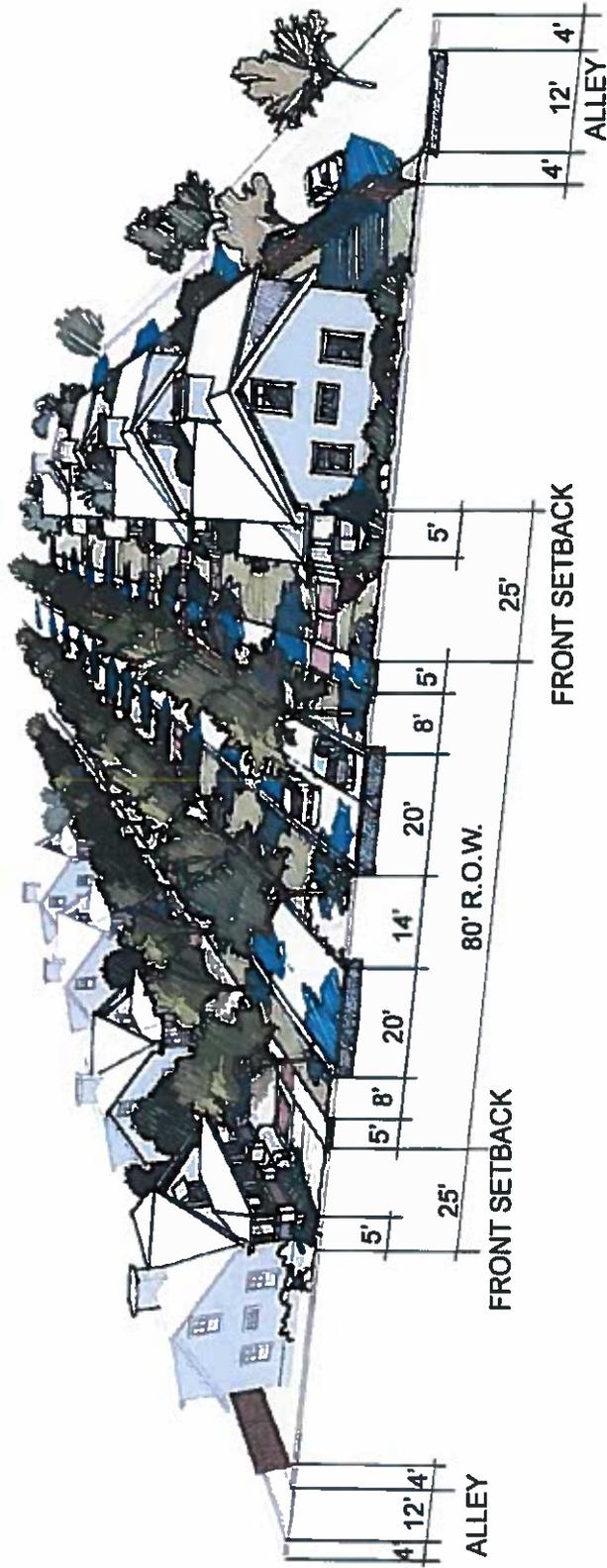
**Exhibit E – Street Sections**

*Local Type C3 - Major Thoroughfare with Side Lot Connection or Cul-de-sac*



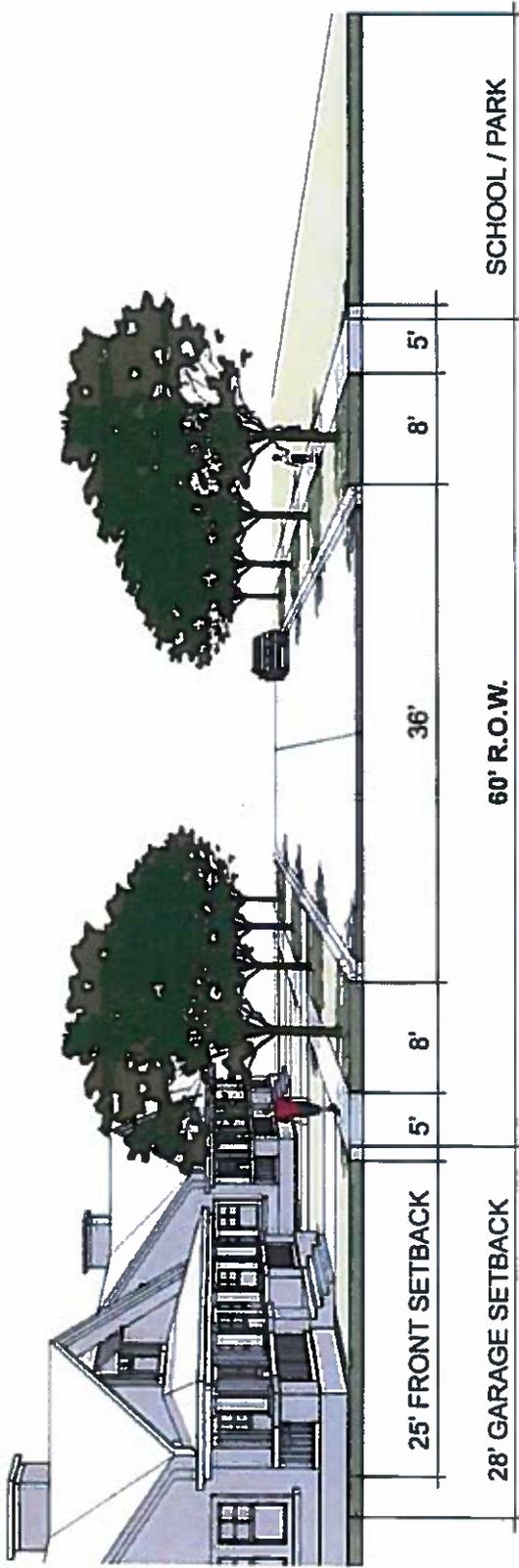
**Exhibit E – Street Sections**

*Local Type D - Neighborhood Parkway with Alleys*

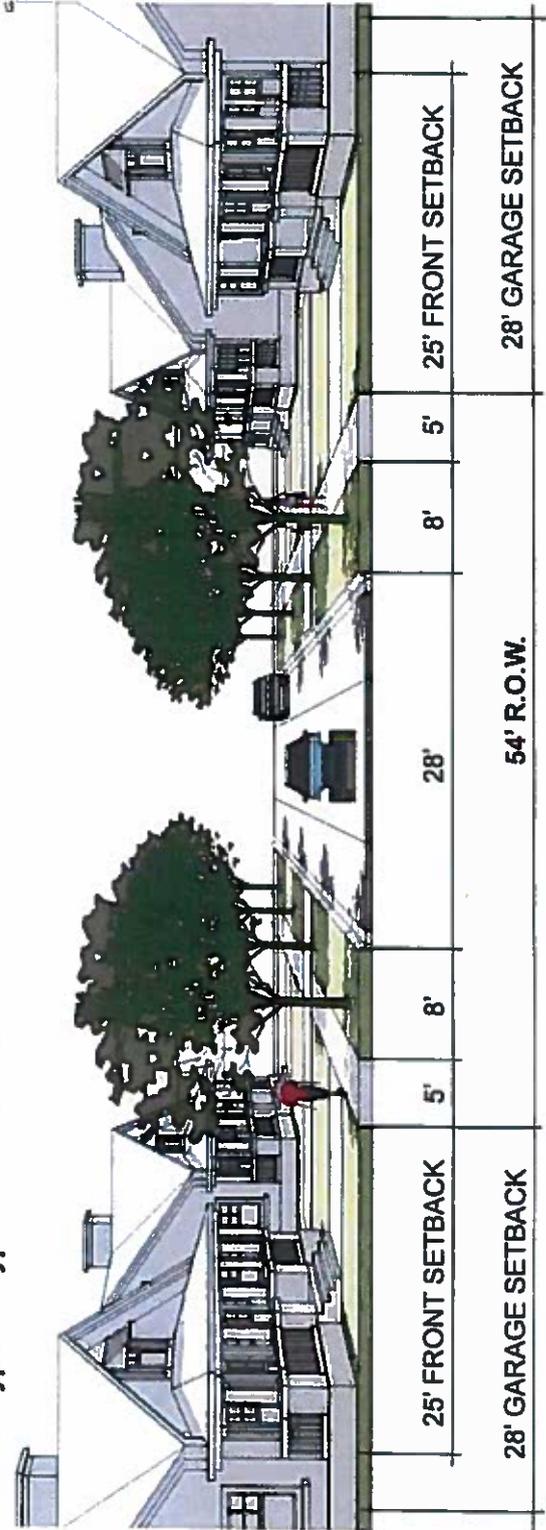


## Exhibit E – Street Sections

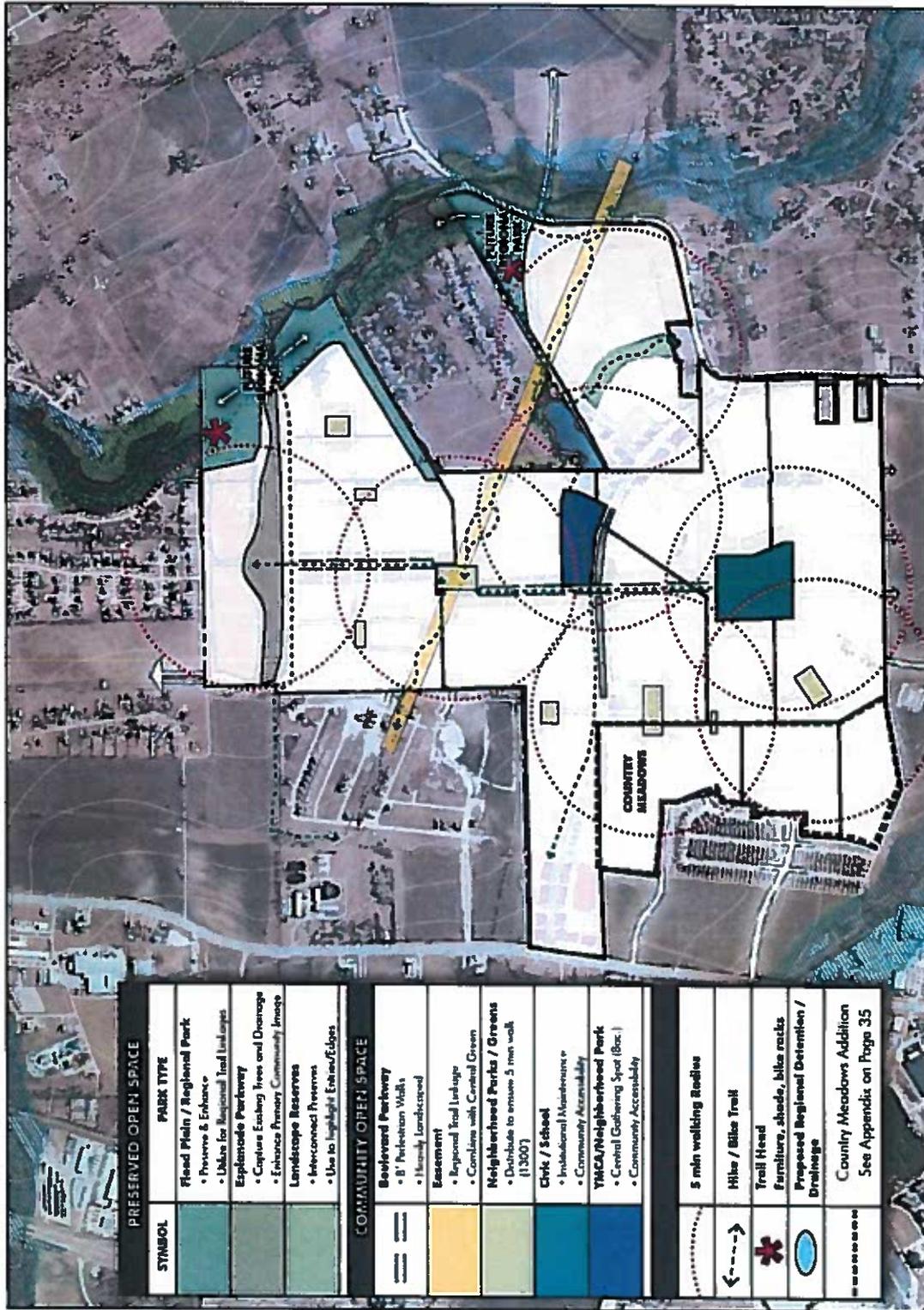
### Local Type E - Collector



### Local Type F - Typical Residential



# Exhibit F – Open Space and Trails Plan



PRESERVED OPEN SPACE	
SYMBOL	PARK TYPE
	<b>Flood Plain / Regional Park</b> <ul style="list-style-type: none"> <li>• Preserve &amp; Enhance</li> <li>• Utilities for Regional Trail Linkages</li> </ul>
	<b>Expansive Parkway</b> <ul style="list-style-type: none"> <li>• Capable Existing Trees and Drainage</li> <li>• Enhance Primary Community Image</li> </ul>
	<b>Landscape Reserves</b> <ul style="list-style-type: none"> <li>• Interconnect Preserves</li> <li>• Use to highlight Entrances/Edges</li> </ul>
COMMUNITY OPEN SPACE	
	<b>Bojlevard Parkway</b> <ul style="list-style-type: none"> <li>• 8' Pedestrian Walks</li> <li>• Narrow Landscaped</li> </ul>
	<b>Easement</b> <ul style="list-style-type: none"> <li>• Regional Trail Linkage</li> <li>• Combine with Central Green</li> </ul>
	<b>Neighborhood Parks / Greens</b> <ul style="list-style-type: none"> <li>• Distribute to ensure 5 min walk (1300')</li> </ul>
	<b>Civic / School</b> <ul style="list-style-type: none"> <li>• Institutional Maintenance</li> <li>• Community Accessibility</li> </ul>
	<b>YMCA/Neighborhood Park</b> <ul style="list-style-type: none"> <li>• Central Gathering Spot (Boc.)</li> <li>• Community Accessibility</li> </ul>
	<b>5 min walking Radius</b>
	<b>Hike / Biker Trail</b>
	<b>Trail Head</b> Furniture, shade, bike racks Proposed Regional Detention / Drainage
	<b>Country Meadows Addition</b> See Appendix on Page 35

## Appendix: Country Meadows Addition

### Requirements

#### A. Withhold to Framework Plan

Country Meadows Addition is exempt from the rest of the P.D. but is held to the "A. Single-Family Residential Product Table" on page 8, and the thoroughfare framework, street layout and open space standards set in Exhibits C-F (page 27-34).

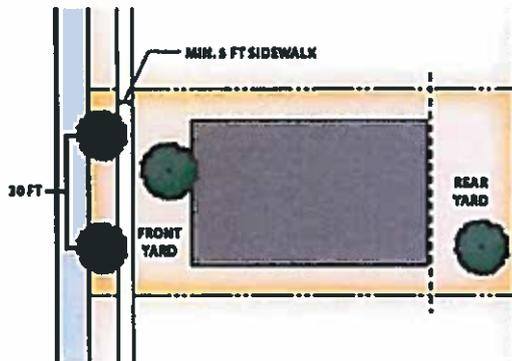
#### B. Minimum 3 Lot Types and Products

1. Single family detached units will range from Bungalow Homes on small lots to Estates on larger lots.
2. Lot widths will be established based on the proposed product within the P.D., as defined in "SECTION VII. Area and Height Regulations" on page 8.
3. A mix of housing products will be used to meet different needs of owners, families, and styles. Three lot types within the P.D. requirements will be used throughout the Country Meadows addition to create a variety of housing types.

#### C. Enhanced landscape

1. Minimum 5' sidewalks along both sides of the street are required in all residential neighborhoods. Provide 8' on thoroughfares (Type C and larger).
2. The value of trees and landscaping will be recognized as important features that strongly influence the aesthetics and environmental quality of the city. In all residential neighborhoods one 3" caliper tree will be planted every 30' between the curb and sidewalk. In addition of 3" caliper yard tree will be planted in the front and rear yard.

Trees Which May Be Planted Adjacent to Streets		
Street Trees (Between Curb and Sidewalk)		
Bald Cypress	Lace Bark elm	Chinquapin Oak
Pond Cypress	Alle Elm	Shumard Oak
Cedar Elm	Chinese Pistachio	Burr Oak
Texas Red Oak	Urbanite Ash	Highrise Live Oak
Yard Trees (Between Sidewalk and Front Facade)		
Live Oak	Bald Cypress	Shumard Oak
Sweetgum	Texas Red Oak	Burr Oak
Cedar Elm	Chinquapin Oak	



*Residential Tree Lot Diagram*

3. Establish attractive, inviting, imaginative and functional site arrangement of buildings and parking areas, and a high quality of architectural and landscape design. Two (2) rows of landscape are required in front of all homes containing shrubs, ground cover or other landscaping elements. Builder will install a fully operational irrigation system in front and back yards.
4. Community amenities, parks and open space, landscaping, and perimeter screening will be implemented per phase of development, and shall be constructed as part of the subdivision improvements before subdivision acceptance by the City.

#### **D. Street Sections**

1. Alleys will not be required in the Country Meadows addition.
2. Streets will be of a minimum width to accommodate the street, median, planting strips, sidewalks, utilities and maintenance considerations
3. Street widths will be appropriate for adjacent land uses and building types, subject to approval by the City Engineer.
4. No residential development will be developed without sidewalks, pedestrian ways, neighborhood connections, trails and paths. All sidewalks in residential areas will be five (5) feet in width, with the Mixed Use all sidewalks will be ten (10) feet. The street will complement the distinctive character of the neighborhood or district while providing connections to adjoining neighborhoods.
5. Slip Roads and Mews can be used when fronting homes onto Type C roads or greater to reduce the number of drives that ingress and egress on the street while creating more depth to the front yards and separating the homes from the busy street.
6. Divided two-lane roadways with: eighty (80) foot ROW, twenty (20) foot pavement in each direction, curb-side parking will be permitted in residential neighborhoods providing a landscaped median.

#### **E. Sidewalk**

Development is required to have a five (5) foot sidewalk with a two (2) foot easement on yard.



EXHIBIT "B"

Exhibit C – North Grove Development Plan

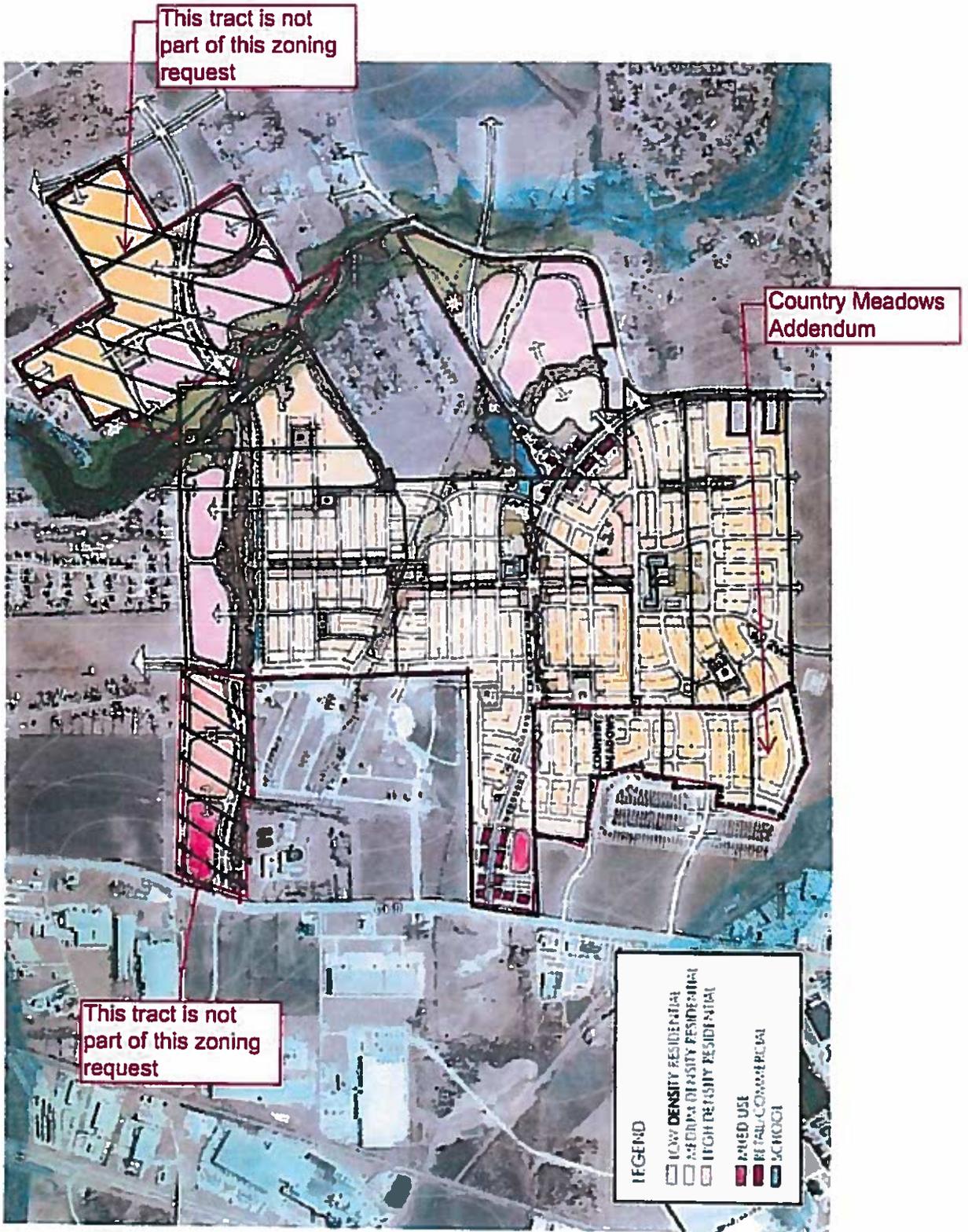


Exhibit 'B'

All that certain tract, lot or parcel of land, being 48.722 acres, situated in the J. W. Wright Survey, Abstract No. 1182, Ellis County, Texas, and being a part of the 100 acre tract described in deed from Ray Weiss et ux, to J. B. Naughton recorded in Volume 281, Page 239, Deed Records of Ellis County, Texas, and being a part of the 102.2 acre tract described in deed from Mrs. M. Naughton et al, to James B. Naughton, dated December 7, 1907, and recorded in Volume 173, Page 421, Deed Records of Ellis County, Texas, and described as follows:

BEGINNING at an iron stake at fence corner, the Northeast corner of said Wright Survey, the Northeast corner of aforesaid 100 acre tract;

THENCE South 675 feet with fence to the center of Grove Creek;

THENCE down said Grove Creek with its meanders as follows: South 54 degrees 30 minutes East 200 feet, East 140 feet, South 50 degrees 30 minutes East 300 feet and South 19 degrees East 430 feet to corner in Creek; the Southeast corner of aforesaid 102.2 acre tract;

THENCE South 59 degrees West 1731.6 feet to an iron stake for corner;

THENCE North 2281.4 feet to an iron stake for corner in fence on North line of aforesaid 100 acre tract;

THENCE East 808.9 feet with fence to the place of Beginning, containing 48.722 acres of land.

48.72

Exhibit "B"

BEING a tract of land situated in the J.W. WRIGHT SURVEY, ABSTRACT NO. 1182, Ellis County, Texas, said tract being part of a 100 acre tract conveyed to J. B. Naughton by Ray Wiest et ux. as recorded in Volume 281, Page 239, Deed Records of Ellis County, Texas, said tract also being part of a 102.2 acre tract conveyed to James B. Naughton by Mrs. M. Naughton et al. as recorded on December 7, 1907 in Volume 173, Page 421, Deed Records of Ellis County, Texas and being more particularly described as follows:

BEGINNING at an iron rod set for corner in the centerline of Grove Creek Road, said point being East, 2,298.49 feet from the Northwest corner of said J. B. Naughton 100 acre tract;

THENCE East, along said centerline of Grove Creek Road, a distance of 450.61 feet to an iron rod set for corner;

THENCE South, leaving said centerline of Grove Creek Road, a distance of 2,281.25 feet to an iron rod set for corner;

THENCE South 59 degrees 00 minutes West, a distance of 525.69 feet to an iron rod set for corner;

THENCE North a distance of 2,552.00 feet to the point of BEGINNING and containing 24.9987 acres (1,088,944 sq. ft.) of land.

25

Exhibit "B"

All that certain lot, tract or parcel of land, being 50.003 acres, of which 2.0 acres are in the H. Sauge Survey, Abstract No. 1009, and 48.003 acres are in the J. W. Wright Survey, Abstract No. 1182, Ellis County, Texas, and being a part of the 100 acre tract described in deed from Ray Wiss et ux, to J. B. Naughton, recorded in Volume 281, Page 239, Deed Records of Ellis County, Texas, and being a part of the 102.2 acre tract described in deed from Mrs. M. Naughton et al, to James B. Naughton, dated December 7, 1907, and recorded in Volume 173, Page 421, Deed Records of Ellis County, Texas, and described as follows:

BEGINNING at a point in center of County Road, on North line of said Wright Survey and being 1083.9 feet East of the Northwest corner of aforesaid 100 acre tract;

THENCE East 804 feet with center of road and Survey line to a point, an Iron stake bears 25 feet South;

THENCE South 2728.66 feet to an Iron stake for corner on South line of aforesaid 102.2 acre tract;

THENCE West 510.4 feet to an Iron stake for corner;

THENCE North 70 degrees West 312.4 feet to an Iron stake for corner;

THENCE North 2821.8 feet to the place of Beginning, containing 50.003 acres of land.

Exhibit 'B'

All that certain lot, tract or parcel of land, being 64.012 acres, of which 9.062 acre is in the H. Sauge Survey, Abstract No: 1009, and 63.950 acres are in the J. W. Wright Survey, Abstract No. 1182, Ellis County, Texas, and being a part of the 100 acre tract described in deed from Ray Weiss et ux, to J. B. Naughton, recorded in Volume 284, Page 239, Deed Records of Ellis County, Texas, and being a part of the 102.2 acre tract described in deed from Mrs. M. Naughton et al, to James B. Naughton, dated December 7, 1907, and recorded in Volume 173, Page 421, Deed Records of Ellis County, Texas, and described as follows:

- BEGINNING in the center of County Road on North line of said Wright Survey, the Northwest corner of aforesaid 100 acre tract, an iron stake bears 25 feet South;
- THENCE East 1083.9 feet with the center line of said road and Survey line to a point, an iron stake bears 25 feet South;
- THENCE South 2621.8 feet to an iron stake on South line of aforesaid 102.2 acre tract;
- THENCE North 70 degrees East 154.3 feet to an iron stake for corner;
- THENCE West 938.9 feet to an iron stake for corner, this being the Southwest corner of the aforesaid 102.2 acre tract;
- THENCE North 2589 feet to the place of Beginning, containing 64.012 acres of land.

Exhibit "B"

BEING a tract of land situated in the H. SAUGE SURVEY, ABSTRACT NO. 1008 and the J. W. WRIGHT SURVEY, ABSTRACT NO. 1182, Ellis County, Texas, said tract being part of a 100 acre tract conveyed to J. B. Naughton by Ray Weiss et ux. as recorded in Volume 281, Page 239, Deed Records of Ellis County, Texas, said tract also being part of a 102.2 acre tract conveyed to James B. Naughton by Mrs. M. Naughton et al. as recorded on December 7, 1907 in Volume 173, Page 421, Deed Records of Ellis County, Texas and being more particularly described as follows:

BEGINNING at an iron rod set for corner in the centerline of Grove Creek Road said point being East 1,887.90 feet from the Northwest corner of said J. B. Naughton 100 acre tract;

THENCE East, leaving said centerline of Grove Creek Road, a distance of 408.59 feet to an iron rod set for corner;

THENCE South, leaving said Grove Creek Road, a distance of 2,552.00 feet to an iron rod set for corner;

THENCE South 59 degrees 00 minutes West, a distance of 342.48 feet to an iron rod set for corner;

THENCE West, a distance of 114.60 feet to an iron rod set for corner;

THENCE North, a distance of 2,728.65 feet to the point of BEGINNING and containing 24.9987 acres (1,088,944 sq. ft.) of land.

ES

**EXHIBIT "B"**

Being 186.005 acres of land located in the Henri Sange Survey, Abstract No. 1009, Allen W. Brown Survey, Abstract No. 102, John W. Wright Survey, Abstract No.1182 and the John Billingsley Survey, Abstract No.83, and being a portion of the tract described in the deed to Nelson W. Jones Family Limited Partnership, recorded in Volume 1747, Page 245, Deed Records, Ellis County, Texas. Said 186.005 acres of land being more particularly described by metes and bounds as follows:

Beginning at an 1/2" iron rod found at an ell corner of said Sange Survey, being the Northeast corner of Henri Levy Survey, Abstract No.629, being the Northeast corner of a tract of land described in the deed to Moritz Interests, LTD., recorded in Volume 1716, Page 69, Deed Records, Ellis County, Texas, and being the Northeast corner of a tract of land described in the deed to William C. Estes, recorded in Volume 1716, Page 572, Deed Records, Ellis County, Texas;

THENCE S 89°29'41" W, along the common line of said Jones, Estes and Moritz tracts at 1540.48 feet passing an 1/2" iron rod stamped "Beasley RPLS 4050" found at the Northwest corner of said Moritz tract, at 2491.70 feet passing a 3/8" iron rod found at the Northwest corner of said Estes tract, in all a distance of 2492.08 feet to a point in the East Right-Of-Way of U.S. Highway No.77 according to the State of Texas Department of Transportation Right-Of-Way Map, Sheets 3 and 4, dated 18 December 1997, filed in the Texas Department of Transportation library, District #18 (Dallas District);

THENCE N 08°41'58" E, along said East Right-Of-Way line a distance of 783.08 feet to a 3/4" iron rod found at the Southwest corner of a tract of land described in the deed to Waxahachi I Joint Venture, recorded in Volume 838, Page 799, Deed Records, Ellis County, Texas;

THENCE along said Waxahachi I Joint Venture tract as follows:

1. N 89°41'32" E, a distance of 2801.73 feet to an 1" pipe found;
2. N 00°56'29" W, a distance of 900.67 feet to a 3" pipe found in a ditch, being the Southwest corner of a tract of land described in the deed to Lillian Lyle, recorded in Volume 530, Page 103, Deed Records, Ellis County, Texas;

EXHIBIT "B"

THENCE along said ditch as follows:

1. N 89°27'08" E, a distance of 938.63 feet to an 1/2" iron rod stamped "Beasley RPLS 4050" set;
2. S 69°27'52" E, a distance of 466.54 feet to an 1/2" iron rod stamped "Beasley RPLS 4050" set;
3. N 89°07'08" E, a distance of 624.83 feet to an 1/2" iron rod stamped "Beasley RPLS 4050" set;
4. N 59°17'08" E; a distance of 398.78 feet to an 1/2" iron rod found;

THENCE S 00°12'09" E, a distance of 1729.80 feet to an 1/2" iron rod found at the most Northerly Northeast corner of a tract of land described in the deed to Frances N. Chamberlain, Cecelia A. Chamberlain Tatom and Carol M. Chamberlain, recorded in Volume 823, Page 921, Deed Records, Ellis County, Texas, from which an 1-1/2" pipe found bears S 00°40'46" W 178.30 feet at the Northwest corner of a tract of land described in the deed to Margaret H. Lumpkins, recorded in Volume 823, Page 912, Deed Records, Ellis County, Texas;

THENCE along said Chamberlain tract as follows:

1. S 89°24'49" W, a distance of 574.92 feet to an 1/2" iron rod stamped "Beasley RPLS 4050" set in a ditch;
2. S 34°06'49" W, a distance of 1436.45 feet to an 1/2" iron rod stamped "Beasley RPLS 4050" set, from which an 1/2" pipe found bears N 89°47'19" E 1384.72 feet at an ell corner of said Chamberlain tract and being the Southeast corner of said Sange Survey;
3. S 89°44'49" W, a distance of 1371.67 feet to an 1/2" iron rod stamped "Beasley RPLS 4050" set in the East line of said Moritz tract, being the most Westerly Southeast corner of said Sange survey and lying in the East line of said Levy survey;

THENCE N 00°29'38" W, along said East line a distance of 1204.75 feet to the point of beginning and containing 186.005 acres of land.

The bearings recited hereon are oriented to GPS North.

**PROPERTY:**

McLANE

Being 96.907 acres of land located in the Robert Russell Survey, Abstract No. 911, Ellis County, Texas, being the tract of land described in the deed to Mary Belt Clark as Trustee of the E. E. Clark, Jr., Estate Trust, recorded in Volume 1212, Page 563, Deed Records, Ellis County, Texas. Said 96.907 acres of land being more particularly described as follows:

**BEGINNING** at an 1/2" iron rod found in the West right-of-way line of Farm to Market Road No. 813 at the Northwest corner of a tract of land described in the deed to the State of Texas recorded in Volume 405, Page 275, Deed Records, Ellis County, Texas, as shown on the right-of-way map recorded in Volume 1, Page 187, Plat Records, Ellis County, Texas, said iron rod being the Northeast corner of said Clark tract;

**THENCE** S00°03'14"E, a distance of 507.29 feet along said West right-of-way line to an 1/2" iron rod found;

**THENCE** S89°55'51"W, a distance of 417.29 feet to an 1/2" iron rod stamped Beasley RPLS 4050 set, from which an 1/2" iron rod found bears S89°55'51"W 5.00 feet;

**THENCE** S00°03'14"E, a distance of 209.03 feet to an 1/2" iron rod found;

**THENCE** N89°55'51"E, a distance of 417.29 feet to a steel fence post in said West right-of-way line;

**THENCE** S00°03'14"E, a distance of 479.39 feet along said West right-of-way line to an 3/8" iron rod found at the Southeast corner of said Clark tract, said 3/8" iron rod being the Northeast corner of a tract of land described in the deed to Suburban Residential, LP, a Texas limited partnership, recorded in Volume 2072, Page 1756, Deed Records, Ellis County, Texas;

**THENCE** S89°47'59"W, a distance of 3,383.83 feet along the South line of said Clark tract to a point at the Southwest corner of said Clark tract being the Southeast corner of a tract of land described in the deed to Mortiz Interests, LTD., recorded in Volume 1716, Page 69, Deed Records, Ellis County, Texas;

**THENCE** along the East line of said Mortiz tract as follows;

1. N28°51'18"W, a distance of 572.68 feet to a point;
2. N00°29'38"W, a distance of 693.18 feet to an 1/2" iron rod stamped BEASLEY RPLS 4050 set at the Northwest corner of said tract;

**THENCE** N89°47'59"E, a distance of 3,665.05 feet along the North line of said Clark tract to the point of beginning, containing 96.907 acres of land.

The bearings recited hereon are oriented to GPS North.

*Note: The Company is prohibited from insuring the area or quantity of the land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for information and/or identification purposes and does not override item 2 of Schedule B hereof.*

**TITLE VESTED IN:**

Mary Ann Clark McLane and Delano McLane as Independent Executors of The Estate of Mary Belt Clark, Deceased

123 410  
17 18

## EXHIBIT

BEING a part of the J.W. and Ann Adams Survey, Abstract 8, the John Billingsley Survey, Abstract 103, and the C.W. Bernard Survey, Abstract 108, Ellis County, Texas, and being a part of the land conveyed to Stuart G. Lumpkin described in Volume 810, Page 385, Deed Records, Ellis County, Texas, and being more particularly described by its notes and bounds as follows:

BEGINNING at a steel rod on the Partly line of F-M Highway 812 at the Southeast corner of a 7 Acre tract conveyed to Marian L. Morgan, et ux as recorded in Volume 720, Page 1004, Deed Records, Ellis County, Texas;

THENCE N 0°44' E, with said Morgan East line, 209.1 feet to a steel rod;

THENCE S 79°11' W, 417.2 feet to a steel rod, found;

THENCE S 89°51' W, 349.6 feet to a pipe, found at the Northwest corner of a tract conveyed to said Morgan as recorded in Volume 949, Page 713, Deed Records, Ellis County, Texas;

THENCE S 0°21' W, 232.6 feet to a steel rod found on the South line of said Lumpkin tract;

THENCE N 89°30' W, with said Lumpkin South line, 784.9 feet to a pipe found at the Southwest corner of the M. Sango Survey, Abstract 1009;

THENCE N 0°24' E, with said Sango East line, 1014.3 feet to a steel rod;

THENCE W 63°20' E, with the Southeast line of Country Place Addition, 3495.1 feet to a steel rod on the East line of Grove Creek Road;

THENCE with the East line of said Road, S 28°21' E, 73.0 feet to a steel rod, S 11°20' E, 130.0 feet to a steel rod, and S 25°15' E, 55.0 feet to a steel rod on the West line of said F-M Highway;

THENCE S 31°12' W, with said Highway, 301.7 feet to a steel rod at the beginning of a curve to the left with a radius of 2322.27 feet;

THENCE Southwesterly with the arc of said curve 300.5 feet to a steel rod at the end of said curve;

THENCE S 23°49' W, 130.6 feet to a steel rod at the beginning of a curve to the left with a radius of 395.05 feet;

THENCE Southwesterly, with the arc of said curve, a distance of 402.6 feet to a steel rod at the end of said curve;

THENCE S 0°38' W, with the West line of said Highway, 360.0 feet to a steel rod at the beginning of a curve to the left with a radius of 278.31 feet;

THENCE Southwesterly with the arc of said curve a distance of 381.5 feet to a steel rod at the end of said curve;

THENCE S 79°11' W, with the North line of said F-M Highway 900.0 feet to the point of beginning and containing 104.27 Acres of land, with 4.77 Acres in said easements, 0.20 Acres in said road, and 7.18 Acres in a 100 year flood hazard area.

EXHIBIT "B"

**Description of Property – Country Meadows**

Being 86.710 acres of land as conveyed to Moritz Interests according to the deed recorded in Volume 1716, Page 69, Deed Records of Ellis County, Texas, located in the Henri Levy Survey, Abstract Number 629 and the Robert Russell Survey, Abstract Number 911, Ellis County, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING** at a an iron rod being the existing southwest corner of Lot 10, Block L, Country Meadows Phase Two, as recorded in Volume \_\_\_\_, Page \_\_\_\_, Plat Records, Ellis County, Texas, said iron rod also being in the existing east right-of-way line of Country Hills Drive (50.0' right-of-way);

**THENCE**, South 83 degrees 37 minutes 29 seconds East, along the south line of said Lot 10, Block L, 110.00 feet to an iron rod found for corner;

**THENCE**, North 06 degrees 22 minutes 31 seconds East, along the east line of Lots 4-10 of said Block L, 320.16 feet to an iron rod found for corner and being the beginning of a curve to the right with a radius of 65.12 feet and a long chord bearing North 38 degrees 15 minutes 33 seconds East, 68.79 feet;

**THENCE**, along said curve to the right, passing through a central angle of 63 degrees 46 minutes 04 seconds an arc length of 72.47 feet to an iron rod found for corner;

**THENCE**, North 67 degrees 41 minutes 03 seconds East, along the south line of Lots 1-2, Block L, of said Country Meadows Phase Two, 77.79 feet to an iron rod found for corner, being the southeast corner of said Lot 1, Block L and also being in the existing west right-of-way line of Whispering Trail Drive;

**THENCE**, North 22 degrees 18 minutes 57 seconds West, along the existing west right-of-way line of said Whispering Trail Drive, 110.00 feet to an iron rod found for corner;

**THENCE**, North 67 degrees 41 minutes 03 seconds East, 60.00 feet to an iron rod found for corner;

**THENCE**, North 22 degrees 18 minutes 57 seconds West, along the existing east right-of-way line of said Whispering Trail Drive, 272.11 feet to an iron rod found for corner and being the beginning of a curve to the right with a radius of 275.00 feet and a long chord bearing North 10 degrees 54 minutes 39 seconds West, 108.76 feet;

**THENCE**, along said curve to the right and continuing along the existing east right-of-way line of said Whispering Trail Drive, passing through a central angle of 22 degrees 48 minutes 35 seconds an arc length of 109.48 feet to an iron rod found for corner;

**THENCE**, North 00 degrees 29 minutes 38 seconds West, continuing along the existing east right-of-way line of said Whispering Trail Drive, 117.00 feet to an iron rod found for corner;

**EXHIBIT "B"**

**THENCE, South 89 degrees 30 minutes 22 seconds West, along the existing north right-of-way line of Country Meadows Blvd., 149.38 feet to an iron rod found for corner and being the beginning of a curve to the right with a radius of 275.00 feet and a long chord bearing North 87 degrees 03 minutes 34 seconds West, 32.97 feet;**

**THENCE, along said curve to the right and continuing along the existing north right-of-way line of said Country Meadows Blvd., passing through a central angle of 06 degrees 52 minutes 09 seconds an arc length of 32.97 feet to an iron rod found for corner;**

**THENCE, North 83 degrees 37 minutes 29 seconds West, continuing along the existing north right-of-way line of Country Meadows Blvd., 492.12 feet to an iron rod found for corner and being the beginning of a curve to the left with a radius of 480.00 feet and a long chord bearing South 89 degrees 40 minutes 55 seconds West, 111.89 feet;**

**THENCE, along said curve to the left and continuing along the existing north right-of-way line of said Country Meadows Blvd., passing through a central angle of 13 degrees 23 minutes 12 seconds an arc length of 112.15 feet to an iron rod found for corner;**

**THENCE, North 06 degrees 22 minutes 31 seconds East, 621.05 feet to an iron rod found for corner;**

**THENCE, North 89 degrees 29 minutes 41 seconds East, 1540.48 feet to an iron rod found for corner;**

**THENCE, South 00 degrees 29 minutes 38 seconds East, 2608.09 feet to an iron rod found for corner, said iron rod being in the west property line of that certain tract of land conveyed to E.E. Clark, Jr., Estate Trust by deed recorded in Volume 1212, Page 563, Deed Records Ellis County, Texas;**

**THENCE, South 28 degrees 51 minutes 18 seconds East, 572.68 feet to an iron rod found for corner, said iron rod being in the north property line of that certain tract conveyed to John L. Estes and William C. Estes by deed recorded in Volume 809, Page 510, Deed Records, Ellis County, Texas;**

**THENCE, South 80 degrees 51 minutes 28 seconds West, 1261.15 feet to an iron rod found for corner;**

**THENCE, North 68 degrees 57 minutes 29 seconds West, 471.12 feet to an iron rod found for corner;**

**THENCE, North 21 degrees 06 minutes 00 seconds East, 335.49 feet to an iron rod found for corner, said iron rod being in the east property line of said Country Meadows Estates, Phase One;**

**(and continuing with said east property line of said Country Meadows Estates, Phase One the following courses and distances)**

EXHIBIT B

North 06 degrees 22 minutes 31 seconds East, 647.34 feet to an iron rod found for corner;

North 89 degrees 30 minutes 22 seconds East, 110.11 feet to an iron rod found for corner;

South 00 degrees 29 minutes 38 seconds East, 50.00 feet to an iron rod found for corner;

North 89 degrees 30 minutes 22 seconds East, 120.00 feet to an iron rod found for corner;

North 00 degrees 29 seconds 38 minutes West, 330.00 feet to an iron rod found for corner said iron rod being in the existing north right-of-way line of Bessie Coleman Blvd.

THENCE, North 89 degrees 30 minutes 22 seconds East, along the existing north right-of-way line of Bessie Coleman Blvd., 9.90 feet to an iron rod found for corner, said iron rod being the southwest corner of Lot 6, Block K of said Country Meadows Phase Two;

THENCE, North 00 degrees 29 minutes 38 seconds West, along the east line of said Lot 6, at 110.00 feet passing the northeast corner of said Lot 6 and continuing in all a distance of 160.00 feet to an iron rod found for corner, being in the existing north right-of-way line of said Country Hills Drive;

THENCE, South 89 degrees 30 minutes 22 seconds West, along the existing north right-of-way line of said Country Hills Drive, 24.84 feet to an iron rod found for corner;

THENCE, North 06 degrees 22 minutes 31 seconds East, continuing along the existing east right-of-way line of said Country Hills Drive, 68.25 feet to the POINT OF BEGINNING.

The tract of land herein described contains 86.710 acres of land.

EXHIBIT "B"

**COMMITMENT FOR TITLE INSURANCE**

Issued By

*Fidelity National Title Insurance Company*

**SCHEDULE A**

Effective Date: **January 29, 2014, 8:00 am**

GFNo. 9711

Commitment No. \_\_\_\_\_, issued **February 5, 2014, 8:00 am**

1. The policy or policies to be issued are:

- (a) **OWNER'S POLICY OF TITLE INSURANCE (Form T-1)**  
(Not applicable for improved one-to-four family residential real estate)  
Policy Amount: **\$1,043,040.00**  
PROPOSED INSURED: **JHDMC Limited Liability Company**
- (b) **TEXAS RESIDENTIAL OWNER'S POLICY OF TITLE INSURANCE - ONE-TO-FOUR FAMILY RESIDENCES (Form T-1R)**  
Policy Amount:  
PROPOSED INSURED:
- (c) **LOAN POLICY OF TITLE INSURANCE (Form T-2)**  
Policy Amount:  
PROPOSED INSURED:  
Proposed Borrower:
- (d) **TEXAS SHORT FORM RESIDENTIAL LOAN POLICY OF TITLE INSURANCE (Form T-2R)**  
Policy Amount:  
PROPOSED INSURED:  
Proposed Borrower:
- (e) **LOAN TITLE POLICY BINDER ON INTERIM CONSTRUCTION LOAN (Form T-13)**  
Binder Amount:  
PROPOSED INSURED:  
Proposed Borrower:
- (f) **OTHER**  
Policy Amount:  
PROPOSED INSURED:

2. The interest in the land covered by this Commitment is: **Fee Simple**

3. Record title to the land on the Effective Date appears to be vested in:  
**Cecelia A. Chamberlain Tatom and Carol M. Chamberlain**

4. Legal description of the land:

**Being a part of the Robert Russell Survey, Abstract 911, and the Henry Sange Survey, Abstract 1009, Ellis County, Texas, and being a part of a tract conveyed by Mrs. M. Naughton to Ed Naughton by deed of record in Volume 173, Page 422, Deed Records, Ellis County, Texas, and a part of the land conveyed by W.A. Witherspoon, et ux to E.M. Naughton by deed of record in Volume 211, Page 390, Deed Records, Ellis County, Texas, and being more particularly described by its metes and bounds as follows:**

**BEGINNING at a steel rod at the Northeast corner of the Robert Russell Survey, said point being the Northeast corner of said Witherspoon tract;**

**THENCE S 0°28' W, with the East line of said survey, 158.1 feet to a point on the West line of F.M. Highway 813, said point being on a curve with a radius of 358.31 feet;**

**THENCE Southwesterly with the arc of said curve to the left through a central angle of 26°35', a distance of 166.2 feet to the end of said curve;**

**THENCE S 0°28' W, with the West line of said Highway, 394.0 feet to a steel rod that is N 89°42' W, 40.0 feet from the Southeast corner of said Witherspoon tract and the Northeast corner of a tract conveyed to E.E. Clark by deed of record in Volume 392, Page 112, Deed Records, Ellis County, Texas;**

EXHIBIT "D"

**THENCE N 89°42' W, with Clarks North line, a distance of 3666.2 feet to a steel rod at his Northwest corner, said point being the Southwest corner of said Witherspoon tract;**

**THENCE North, with the West line of said Witherspoon tract, 711.1 feet to a steel rod at its Northwest corner, said point being the Southwest corner of said M. Naughton tract;**

**THENCE S 89°45' E, with the Naughton-Witherspoon line, 1371.1 feet to a steel rod;**

**THENCE N 34°37' E, 1438.5 feet to a steel rod;**

**THENCE N 89°55' E, 574.5 feet to a steel rod on the East line of said M. Naughton tract and East line of said Sange Survey;**

**THENCE S 0°17' W, with the East line of said Sange Survey, 1190.8 feet to a pipe at its Southeast corner, said point being on the North line of said Witherspoon tract and the Russell Survey;**

**THENCE S 89°38' E, 953.1 feet to the POINT OF BEGINNING and containing 86.92 acres of land.**

**Note: The Company is prohibited from insuring the area or quantity of the land described herein. Any statement in the above legal description of the area or quantity of land is not a representation that such area or quantity is correct, but is made only for information and/or identification purposes and does not override Item 2 of Schedule B hereof.**

PropertyID	Owner's Name	Owner's Address	Owner's City	Owner's State	Owner's ZIP
150714	PITTS JOHN M	101 BARBARA WAY	WAXAHACHIE	TX	75165
150719	FARMER JUSTIN R C	102 BARBARA WAY	WAXAHACHIE	TX	75165
150720	FARMER CLOYCE R & KAREN D	104 BARBARA WAY	WAXAHACHIE	TX	75165
154384	YOUNGBLOOD JOHN T	104 ROYAL PARK LN	WAXAHACHIE	TX	75165
150712	GUEST TIM & SHEILA	108 BARBARA WAY	WAXAHACHIE	TX	75165
154383	MOTT MICHAEL S & LISA D	108 ROYAL PARK LN	WAXAHACHIE	TX	75165
150713	LUNA LIBORIO & LUNA MARIA	110 BARBARA WAY	WAXAHACHIE	TX	75165
150794	LUNA ROBERTO	112 BARBARA WAY	WAXAHACHIE	TX	75165
150795	CAMARILLO SAM H & MINGA G	114 BARBARA WAY	WAXAHACHIE	TX	75165
150796	CAMARILLO JOE	116 BARBARA WAY	WAXAHACHIE	TX	75165
150787	BALTRIP CYNTHIA	118 BARBARA WAY	WAXAHACHIE	TX	75165
150788	WLSFORD PATSY L	120 BARBARA WAY	WAXAHACHIE	TX	75165
150789	SMITH JANE C	122 BARBARA WAY	WAXAHACHIE	TX	75165
150790	MONREAL JOHN P	124 BARBARA WAY	WAXAHACHIE	TX	75165
150791	SAENZ JOSE ANGEL	126 BARBARA WAY	WAXAHACHIE	TX	75165
208088	DE PAZ ESTRADA CARI P	126 BROOKBEND DR	WAXAHACHIE	TX	75165
241688	EVANS KEITH & SCHIMMEL EMILY	133 ALTHEA DR	WAXAHACHIE	TX	75165
241632	BULLARD BRYAN & REBECCA	134 ALTHEA DR	WAXAHACHIE	TX	75165
208206	WOLFORD CHARLES M II & DIANE L	135 BROOKBEND DR	WAXAHACHIE	TX	75165
241633	HUDSPETH WALTER J & DEBORAH F	135 LACY OAK LN	WAXAHACHIE	TX	75165
241687	BARNES ALAN & CYNTHIA	136 HOLLY ST	WAXAHACHIE	TX	75165
193725	MATA JAVIER & PITTS JOHN	168 ROBINETT RD	WAXAHACHIE	TX	75165
193726	MATA JAVIER & PITTS JOHN	168 ROBINETT RD	WAXAHACHIE	TX	75165
193727	MATA JAVIER & PITTS JOHN	168 ROBINETT RD	WAXAHACHIE	TX	75165
193728	MATA JAVIER & PITTS JOHN	168 ROBINETT RD	WAXAHACHIE	TX	75165
150718	MATA GLORIA	168 ROBINETTE RD	WAXAHACHIE	TX	75165
189389	HAMMOND DEANNA A	178 ROYAL PARK LN	WAXAHACHIE	TX	75165
241586	RUIZ JUDITH & DANNY	202 LACY OAK LN	WAXAHACHIE	TX	75165
241743	HANSEN TREVOR K & DANIELLE P	203 LACY OAK LN	WAXAHACHIE	TX	75165
241595	ROBERTSON BOBBY JR & LAQUANDRA	204 LACY OAK LN	WAXAHACHIE	TX	75165
241729	PROFFITT ASHLEY & TYSON R PROFFITT	2202 ABELA DR	WAXAHACHIE	TX	75165
241728	COOK CLEARTHUR JR	2204 ABELA DR	WAXAHACHIE	TX	75165
241727	DEFRANK MICHAEL B & BRITTANY	2206 ABELA DR	WAXAHACHIE	TX	75165
241726	GENSLER LARRY D & ROSALINDA G	2208 ABELA DR	WAXAHACHIE	TX	75165
241725	KAMPS STACIE LYNN & KENNY	2210 ABELA DR	WAXAHACHIE	TX	75165
241723	ASHCRAFT WILLIAM T & RICCA E	2214 ABELA DR	WAXAHACHIE	TX	75165
241722	DALLALIO JORDAN & HANNAH J	2216 ABELA DR	WAXAHACHIE	TX	75165
241721	SHIERY MATTHEW	2218 ABELA DR	WAXAHACHIE	TX	75165
241710	HERRON DAN A & DENISE	2219 ABELA DR	WAXAHACHIE	TX	75165
241720	OLIVERA WALLACE C & JULIE TREADAWAY	2220 ABELA DR	WAXAHACHIE	TX	75165
241711	LAPINSKI GLENN A & DEBBIE J	2221 ABELA DR	WAXAHACHIE	TX	75165
241719	CHELWICK JENNIFER J	2222 ABELA DR	WAXAHACHIE	TX	75165
241712	SHERBURNE RICHARD J	2223 ABELA DR	WAXAHACHIE	TX	75165
241717	BROWN GREGORY S & MELISSA	2226 ABELA DR	WAXAHACHIE	TX	75165
241716	VINEYARD BRENT & NORMA	2228 ABELA DR	WAXAHACHIE	TX	75165
241715	VENT BRIAN A & CLAUDIA	2230 ABELA DR	WAXAHACHIE	TX	75165
241718	MURL E MCMAHAN JR ETAL	302 STONECREST DR	ROCKWALL	TX	75087
189302	STAR PEACH TEXAS LP	3710 BEVERLY LN	ARLINGTON	TX	76015
154382	DUNIGAN ROBERT J	3739 BROADWAY	GROVE CITY	OH	43123
223474	KELLY ROBIN D	4480 SHILOH RD	MIDLOTHIAN	TX	76065
192636	CEH 212 LP	4801 W LOVERS LN	DALLAS	TX	75209
192639	CEH 212 LP	4801 W LOVERS LN	DALLAS	TX	75209
192643	CEH 212 LP	4801 W LOVERS LN	DALLAS	TX	75209
192645	CEH 212 LP	4801 W LOVERS LN	DALLAS	TX	75209
208205	KIRBY KAREN D	608 GROVE CREEK RD	WAXAHACHIE	TX	75165
208204	MALLET JEFFERY L & NEREYDA N	618 GROVE CREEK RD	WAXAHACHIE	TX	75165
208203	WILLOUGHBY MONTE L & TAMMY S	624 GROVE CREEK RD	WAXAHACHIE	TX	75165
208213	POTTER ERIC K & HOLLY C	632 GROVE CREEK RD	WAXAHACHIE	TX	75165
216229	MILLER ASHLEA P & MARK A	640 GROVE CREEK RD	WAXAHACHIE	TX	75165
216238	SMITH HOLLIS E & JEANNA P	648 GROVE CREEK RD	WAXAHACHIE	TX	75165
216237	HAGLER BENTON L & LADONNA G	656 GROVE CREEK RD	WAXAHACHIE	TX	75165
216235	GORMAN BOB A & SANDRA K	672 GROVE CREEK RD	WAXAHACHIE	TX	75165
216234	ROGERS MICHAEL & DARLENE REVOCABLE LIVING TRUST MICHAEL & DARLENE ROGERS TRUSTEES	680 GROVE CREEK RD	WAXAHACHIE	TX	75165
182824	FISHER RICHARD M	803 PANAMA CT	GRANBURY	TX	76048
150711	MC NEELY MARY J TAYLOR & WILLIAM O	P O BOX 14	WAXAHACHIE	TX	75168
179059	JHDMC LLC	PO BOX 2829	RED OAK	TX	75154
262133	JHDMC LLC	PO BOX 2829	RED OAK	TX	75154
267119	JHDMC LLC	PO BOX 2829	RED OAK	TX	75154
267116	ARBORS WG DEVELOPMENT LLC	PO BOX 717	WAXAHACHIE	TX	75168

Case Number: SUB-000075-2020

City Reference: 206207

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, June 3, 2020** to ensure inclusion in the Agenda Packet. Forms can be emailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

Too much building, too fast. Highway 77 is already congested. Grove Creek Road can't accommodate more speeders, already a huge problem.

Melissa Cooper  
Signature

5/27/2020  
Date

Melissa Cooper  
Printed Name and Title

110 Brookbend Dr.  
Address

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*

(9&10)

**Planning & Zoning Department**  
**Zoning Staff Report**

**Case: ZDC-83-2020**



**MEETING DATE(S)**

*Planning & Zoning Commission:* July 14, 2020

*City Council:* July 20, 2020

**CAPTION**

**Public Hearing** on a request by Jeff Crannell, CCM Engineering, for a Zoning Change from a Planned Development-34-Multiple Family-1/General Retail, Single Family-3 and Multiple Family-1 zoning district to Planned Development-Single Family-3, with Concept Plan, located at the NW corner of Peters Street at Graham Street (Property ID 193944) - Owner: WAXAHACHIE ISD (ZDC-000083-2020)

**CASE HISTORY**

At the April 20, 2020 City Council meeting, City Council voted 5-0 to deny Case Number ZDC-000017-2020 (previous case submittal). The proposed development included 120 townhome lots, including dedicating eight acres of land to the City of Waxahachie and dedicating one acre of land to the adjacent church (Friendship Missionary Baptist Church).

**APPLICANT REQUEST**

The purpose of this request is to create a residential planned development that allows for 129 single family lots.

**CASE INFORMATION**

*Applicant:* Jeff Crannell, CCM Engineering

*Property Owner(s):* Waxahachie ISD

*Site Acreage:* 24.76 acres

*Current Zoning:* Planned Development-34-Multiple Family-1/General Retail, Single Family-3 and Multiple Family-1

*Requested Zoning:* Planned Development-Single Family-3

**SUBJECT PROPERTY**

*General Location:* NW corner of Peters Street at Graham Street

*Parcel ID Number(s):* 193944

*Existing Use:* Currently Undeveloped/Open Space

*Development History:* N/A

(9&10)

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	SF3	WISD
East	MF1	Waxahachie Housing Authority
South	SF3	Single Family Residential
West	SF3	Highland Park Subdivision

*Future Land Use Plan:* Low Density Residential and Public/Semi-Public

*Comprehensive Plan:* Public/Semi-Public: This land use category includes uses that are educational, governmental or institutional in nature. This type of land use is generally permitted within any area, therefore, only the current Public/Semi-Public uses are shown on the map.

Low Density Residential: This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

*Thoroughfare Plan:* The subject property is accessible via N. Getzendaner Ave. and Peters St.

*Site Image:*



## **PLANNING ANALYSIS**

### **Case History**

On November 12, 2019, the applicant presented a proposed Planned Development consisting of 127 (70 patio home lots and 57 single family) mixed residential uses on 24.76 acres to the Planning and Zoning Commission. Largely due to the development not meeting the lot size requirements, the Planning and Zoning Commission voted 6-0 to recommend denial for the proposed development. On November 14, 2019, the applicant decided not to appeal to the City Council.

(9+10)

On March 24, 2020, the Planning and Zoning Commission voted 4-1 to approve the applicant's second submittal, ZDC-17-2020, consisting of 120 townhome lots and dedicating 9 acres to the City of Waxahachie. Subsequently, the City Council voted 5-0 to deny the case at the April 20, 2020 City Council meeting.

Purpose of Request:

The purpose of this request is to create a residential planned development that allows for 129 single family lots.

Proposed Use:

The purpose of this Planned Development is to rezone a 24.76 acre parcel located at northwest corner of Peters Street and Graham Street. The parcel is currently zoned Multi-Family (MF-1), PD-34- MF1/GR, and Single Family (SF-3).

The site will include 129 single family lots with a lot minimum of four thousand (4,000) square feet. All lots are proposed to have alleys with rear entry garages. The site will also include open spaces with a retention pond and walking trails in the 2.6 acres that connects to Lee Penn Park. Entry monuments and boulevard entries are proposed at both entrances to the development. Some land has also been set aside for dedication to the neighborhood church.

Note: If this case is approved, it will remove the existing Multi Family zoning that will allow apartments in the subject area.

The Concept Plan depicts a residential development that includes elements such as:

- 0.5 acre(s) dedicated to adjacent church (Friendship Missionary Baptist Church)
- Walking Trail (connecting to Lee Penn Park)

CHANGES FROM THE 4/20/20 CITY COUNCIL MEETING

- No townhomes are provided for the development (originally 120 townhome lots proposed).
- Dedicating minimum 0.5 acre(s) of land to the adjacent church (Friendship Missionary Baptist Church) (Originally 1 acre(s) minimum)
- No land will be dedicated to the City of Waxahachie. (Originally dedicated 8 acres of land to the City of Waxahachie)

Conformance with the Comprehensive Plan:

Residential developments can include low density residential, medium density residential, and high density residential. The proposed development is consistent with the following goals and objectives in the 2016 Comprehensive Plan Addendum:

- Growth Strategies-Goal 1: Encourage the most desirable, efficient use of land while maintaining and enhancing local aesthetics.
- Growth Strategies – Goal 12: Promote growth of the community where infrastructure exists.

Development Standards:

The applicant is proposing a base zoning district of Single Family-3 (SF3). Allowed uses shall be those provided within the City of Waxahachie Zoning Ordinance for Single Family-3 Residential with additional changes listed below.

(9+10)

Permitted Uses:

- Single Family Residences
- Open Space/Park

**Table 2: Proposed Single Family Residential (per SF3 standards)**

*\*Items highlighted in bold do not meet the City of Waxahachie SF3 requirements\*\*\**

Standard	City of Waxahachie (Existing PD-SF3)	Symphony Estates	Meets
<b>Min. Lot Area</b>	<b>10,000 sq. ft.</b>	4,000 sq. ft.	No
<b>Min. Lot Width</b>	<b>80 ft.</b>	40 ft.	No
Min. Lot Depth	100 ft.	100 ft.	Yes
<b>Min. Front Setback</b>	<b>30 ft.</b>	20 ft.	No
<b>Min. Interior Setback</b>	<b>10 ft; 15 ft (ROW)</b>	5 ft.; 10 ft. (ROW)	No
<b>Min. Rear Setback</b>	<b>25 ft.</b>	10 ft.	No
Min. Dwelling Size	1,200 sq. ft.	1,400 sq. ft.	Yes
Max. Height	2 stories (main structure); 1 story (accessory structure)	2 stories (main structure); 1 story (accessory structure)	Yes
<b>Max. Lot Coverage</b>	<b>50%</b>	60%	No
Parking	Min. of two (2) enclosed parking spaces behind the front building line on the same lot as the main structure	Min. of two (2) enclosed parking spaces behind the front building line on the same lot as the main structure	Yes

The base zoning(s) for the subject property consist of Multi Family-1, Single Family-3, and General Retail. The table below (Table 3) depicts the zoning requirements for each use.

**Table 3: Subject Property Base Zoning(s) Standards**

Standard	Multi Family-1	Single Family-3	General Retail
Min. Lot Area (Sq. Ft.)	7,260/Lot	10,000	7,000
Min. Dwelling Unit (Sq. Ft.)	600/unit + 100/bedroom. 450/efficiency	1,200	N/A
Min. Front Yard (Ft.)	25	30	40
Min. Side Yard (Ft.)	50	10; 15 (ROW)	20; 0 (adj. to retail)
Min. Rear Yard (Ft.)	50	25	20; 25 (adj. to residential)
Max. Height	2 stories	2 stories	2 stories
Max. Lot Coverage (%)	40	50	40

**Table 4: Single Family Lot Notes (129 Total Lots)**

4,000 SF Lots	114
5,000 SF Lots	15
Total	129

(9+10)

**NEIGHBORHOOD OUTREACH**

On February 20, 2020, the applicant met with surrounding neighborhood residents at Friendship Missionary Baptist Church (Waxahachie, TX) to discuss the two proposed development ideas. At the conclusion of the meeting, it was determined that the general consensus supported the original development of single family homes and townhomes that was presented to the Planning and Zoning Commission on November 12, 2019.

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, **113** notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**PON RESPONSES**

Staff received five (5) letters of support and two (2) letters of opposition for the proposed development.

**SPECIAL EXCEPTION/VARIANCE REQUEST**

**Lot Area**

The minimum lot area for SF3 zoning is 10,000 sq. ft.

- The applicant is proposing a minimum lot size of 4,000 sq. ft.

**Lot Width**

The minimum lot width for SF3 zoning is 80 ft.

- The applicant is proposing a 40 ft. minimum lot width requirement.

**Front Setback**

The minimum front setback for SF3 zoning is 30 ft.

- The applicant is proposing a minimum front setback of 20 ft.

**Side Setback**

The minimum side yard setback requirement for SF3 zoning is 10 ft. (interior) and 15 ft. (adjacent to the street).

- The applicant is proposing a side yard setback of 5 ft. (interior) and 10 ft. (adjacent to the street).

**Rear Setback**

The minimum rear yard setback requirement for SF3 zoning is 25 ft.

- The applicant is proposing a rear yard setback of 10 ft.

**Lot Coverage**

The maximum lot coverage for SF3 zoning is 50%.

- The applicant is proposing 60% lot coverage.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
  1. Per the applicant's request, a Development Agreement will be required for the development.

(9+10)

2. A walking trail shall be provided to connect to Lee Penn Park.
3. The Symphony Estates development shall consist of a Home Owner's Association.
4. A 6ft. brick screening wall will be constructed along Peters Street. Ornamental fencing with masonry columns shall surround the remainder of the property.
5. Street Lights will be installed at each intersection and at 300' intervals along each block. Street lights shall be ornamental lights with downward facing lamps.
6. A 6ft. (minimum) sidewalk will be constructed along Graham Street
7. A detailed Site Plan packet shall be administratively reviewed and approved in accordance with the Site/Concept Plan.

**ATTACHED EXHIBITS**

1. Planned Development Provisions
2. Concept Plan
3. PON Responses

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

(9-10)

Exhibit "B"

**Development Standards**

**Symphony Estates**

The Development depicted in Concept Plan attached as Exhibit "A" shall be in accordance with the City of Waxahachie's Zoning Ordinance, Subdivision Regulations and other applicable ordinances, as amended. There will be one zoning category within this PD, which will be PD SF-3, and shall be subject to the following requirements and conditions.

- A. Single-Family Residential – PD SF-3 Base Zoning District Uses.** Development of the Single-Family (PD SF-3) shall be in compliance with all regulations applicable to Single-Family (SF-3) uses and Planned Development (PD) Districts contained in the City's Code of Ordinances, as amended, save and except only to the extent otherwise specifically provided to the contrary in this Ordinance.
1. **AREA REGULATIONS:** The minimum lot sizes permitted in areas designated on Exhibit "A" as PD Single-Family (PD SF-3) District shall be:
    - a. **Size of Lots**
      - i. Minimum Lot Area – Four -Thousand (4,000) square feet.
      - ii. Minimum Lot Width – Forty feet (40)
      - iii. Minimum Lot Depth – One hundred (100) feet.
    - b. **Size of Yards**
      - i. Minimum Front Yard – Twenty (20) feet
      - ii. Minimum Side Yard – Five (5) feet on both sides.
      - iii. Minimum Side Yard on a Side Street - Ten (10) feet
      - iv. Minimum Rear Yard – Ten (10) feet
  2. **MINIMUM DWELLING UNIT AREA:** One-Thousand four hundred (1,400) Square Feet.
  3. **MAXIMUM LOT COVERAGE:** - Sixty percent (60%) on main buildings.
  4. **MISCELLANEOUS STANDARDS:**
    - a. Developer shall create a homeowner's association for this development to which entity all open space shall be dedicated. Membership in the Association shall be mandatory for all owners of property and such membership shall be conditioned upon ownership of property within the Single-Family 3 (SF-3) District area and such membership shall be transferred from owner to owner together with the conveyance of any real property within said area.
    - b. No carports allowed.
    - c. All garages must be set back a minimum of 20' from the property line.
    - d. There will be a concrete sidewalk along Graham in compliance to city standards.
    - e. Walking trails are to be constructed connecting this development to the

(9+10)

existing walking trails Lee Penn Park.

- f. All landscaping shall conform to the City of Waxahachie SF-3 standards.
- g. Builder will plant a minimum of one 3" caliper tree in the front yard. The trees shall be Bur Oak, Live Oak, Texas Red Oak, Chinkapin Oak, Shumard Oak or other trees that are approved by the city.
- h. Parking requirements will meet city standards.
- i. There will be a 6' masonry screening wall along Peters St.
- j. Front Entry Walkways are required and shall be a hard surface walkway with a minimum improved width of three (3) feet must be constructed from the sidewalk or driveway to the front door of each primary structure. Walkways shall be concrete, pavers, laid bricks, or any other such material and in accordance with City standards.

#### 5. ARCHITECTURAL STANDARDS

- a. Offer selection of brick, masonry products and stone accents. Masonry products shall include hard fired brick, cementitious fiberboard siding (hardiplank or hardiboard); kiln-fired clay or slate materials; stone, including naturally-occurring granite, marble, limestone, slate, river rock, or other similar hard and durable all-weather stone; decorative concrete block; concrete pre-cast or tilt-wall panels; glass blocks or tiles; or stucco.
- b. Multiple elevations per floor plan avoiding architectural monotony. No single building elevation shall be duplicated within six (6) lots or tracts either direction on the same block face. Elevations may not be duplicated on any lot directly across a street or within four (4) lots either direction.
- c. For the masonry façade houses, the masonry covering shall be at least seventy-five (75) percent of the total exterior walls above grade level, excluding doors and windows, with the front elevation facing the city right-of-way to be one hundred (100) percent, excluding doors and windows. This includes exterior walls which are screened from the roadway by a perimeter screening wall.
- d. All houses must have at least two steps on the front porch.
- e. All houses must have a two-car garage.
- f. Roof materials shall be comprised of one of the following:
  - i. Laminated, three-dimensional appearance composition architectural shingle with a thirty (30) year minimum;
  - ii. Flat pan standing seam metal roofing with only a factory baked-on muted color finish. No bright colors or natural-colored metal.
  - iii. Terra cotta or slate tile in muted colors

(9+10)

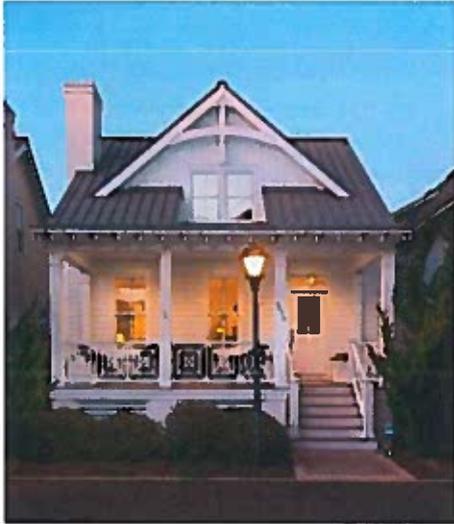
- g. Front Covered Porches are required on all houses and may extend a maximum of 5' into the front yard setback. These porches must meet be permanently attached to, and is an integral part of the primary structure, shall be constructed of like and similar materials to those of the primary structure. Alternative materials, i.e., cedar or other complimentary products, may be approved by the Building and Community Services Department through this Building Façade Plan review process. Each front covered porch must include a minimum usable area of forty (40) square feet with a minimum depth of five (5) feet from the primary structure, as measured perpendicular to the front door.
- B. Any application for the use of masonry materials that is not otherwise permitted by this Zoning Ordinance shall require the following:

  - 1) Building Façade Plan. The architectural style and scale of a proposed single-family or two-family dwelling unit shall be submitted in the form of scaled drawings with proposed four façade elevations. This submission shall be submitted with and shall be a component of the building permit application.

    - a) If the proposed use of masonry materials is for more than one dwelling unit, the applicant shall provide at least six (6) façade drawings that are representative of the overall style and scale of the dwelling units within the development. If the use of masonry materials is approved, these drawings will serve as examples of what the City anticipates for the overall development, and the applicant shall be expected to meet a similar level of quality in the design of single-family homes and/or townhomes that are not individually represented in the examples.
    - b. Quality Control . Any question as to whether the durability or installation of the masonry materials is in accordance with this section of the Zoning Ordinance, and/or with the City's Building Code, shall be determined by the City's Building Official. The appropriateness of the application in terms of quality shall be determined as part of Administrative Site Plan or Building Façade Plan approval.
    - c. If the Building Official deems the installation insufficient to meet the City's Building Code or the manufacturer's written specifications and requirements (including spirit and intent) of these regulations, then no Certificate of Occupancy shall be issued unless and until the installation is deemed satisfactory. Any appeal of this decision may be made to the Planning and Zoning Commission. If denied by the Planning and Zoning Commission, may be further appealed to the City Council.

(9+10)

**a. EXAMPLES OF PROPOSED SINGLE-FAMILY UNITS**



(9+10)



- b. Street Lights will be installed at each intersection and at 300' intervals along each block. Street lights shall be ornamental lights with downward facing lamps like the one pictured below.



Ornamental Street Light

- c. Exhibits of 3D elevations are shown below

(9x10)



1 EXTERIOR FRONT ELEVATION



2 EXTERIOR RIGHT SIDE ELEVATION



3 EXTERIOR REAR ELEVATION



4 EXTERIOR LEFT SIDE ELEVATION

 200 SW 4th Ave 1116 South 8th St Duluth, GA 30094
SYMPHONY ESTATES WAXAHACHIE, TX EXTERIOR ELEVATIONS
V1 06-14-2020
DD.0

(9+10)



Vicinity Map  
n.l.s.

LOT COMPOSITION

114 LOTS 4,000 SQ FT	15 LOTS 5,000 SQ FT
129 TOTAL LOTS	

LEGEND

- STREET LIGHT
- INGRESS/EGRESS
- MANALON PARK
- POST OFFICE BOX

PLANNED DEVELOPMENT  
OF  
SYMPHONY ESTATES

BEING APPROX 24.76 ACRES  
IN THE SM DURRETT SURVEY  
ABSTRACT NO. 272 IN THE  
CITY OF WAXAHACHE, TEXAS  
ELLIS COUNTY, TEXAS

127 LOTS

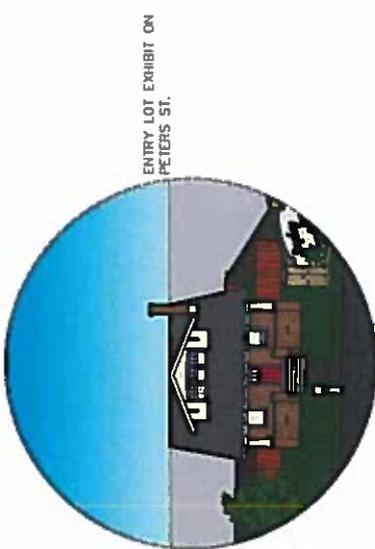
GENERAL DEVELOPER:  
**SYMPHONY COMMERCIAL**  
DALLAS, TEXAS

ENGINEER, LTD.

**CCM ENGINEERING**

2870 JUSTIN ROAD, SUITE 200  
HIGHLAND VILLAGE, TEXAS 76077  
972-991-8933

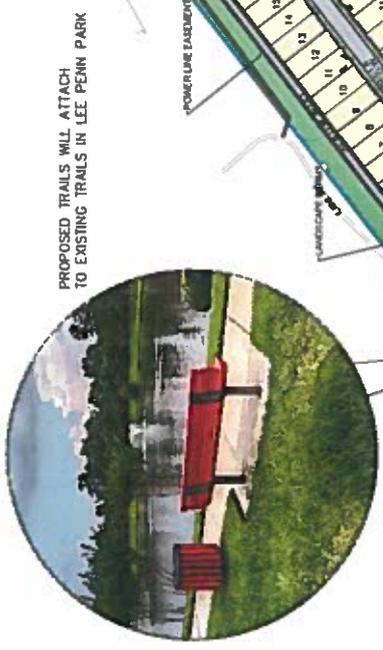
JUNE 2020 1" = 100'



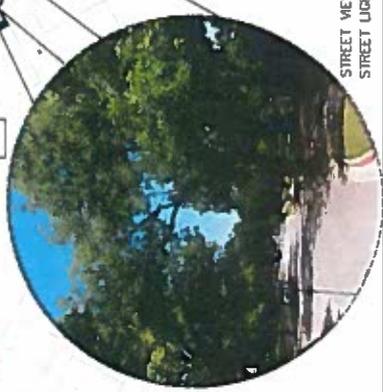
ENTRY LOT EXHIBIT ON  
PETERS ST.



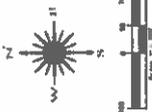
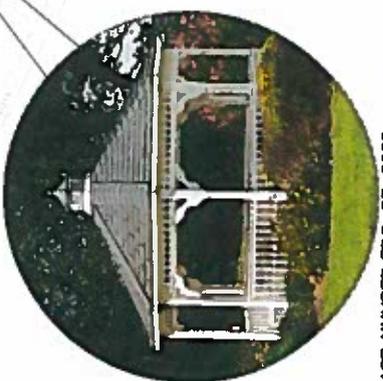
ENTRANCE SIGN EXHIBIT FOR  
PETERS ST.



PROPOSED TRAILS WILL ATTACH  
TO EXISTING TRAILS IN LEE PENN PARK



STREET VIEW WITH  
STREET LIGHT



NOTES

1. ALL LOT DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.  
2. ALL LOT DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.  
3. ALL LOT DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.

CASE NUMBER: ZDC-83-2020

19+10

Case Number	Case Name	Acres	Legal Description	County	City	State	Zip	
17276	MOCKLAND VIVIAN ANN	0.176	3.3 TOM GRAMM 0.176 ACRES	WALSHACHE	TX	75166	303 GRAMM ST WALSHACHE TX 75166	
17273	HANSEN VALLIE E & B & OMAHONIA TH	0.276	3.05 TOM GRAMM 0.276 ACRES	WALSHACHE	TX	75166	303 GRAMM ST WALSHACHE TX 75166	
17271	BLANK MARGARET	0.176	1.3 TOM GRAMM 0.176 ACRES	WALSHACHE	TX	75166	303 GRAMM ST WALSHACHE TX 75166	
17272	JANNEY MARILENE L	0.191	LOT 2 BLK 2 TOM GRAMM .191 AC	WALSHACHE	TX	75166	304 GRAMM ST WALSHACHE TX 75166	
17273	R HARRIS SECURITY & TRUST & HARRIS	0.070	LOT 8 BLK 1 TOM GRAMM .070 AC	WALSHACHE	TX	75166	306 GRAMM ST WALSHACHE TX 75166	
17291	LIMBART MARY A	0.191	1.2 TOM GRAMM 0.191 ACRES	WALSHACHE	TX	75166	308 GRAMM ST WALSHACHE TX 75166	
17294	HENLAD	0.27	78.17 H HARTON HILLS 0.27 ACRES	WALSHACHE	TX	75166	GRAMM ST WALSHACHE TX 75166	
17427	R H DEVELOPMENT GROUP LLC	0.139	LOT 48 HIGHLAND PARK 0.139 AC	DEBOTO	TX	75119	713 PERRY AVE WALSHACHE TX 75166	
17428	DAVIS CLIFTON	0.139	50 HIGHLAND PARK 0.139 ACRES	WALSHACHE	TX	75166	713 PERRY AVE WALSHACHE TX 75166	
17429	MC CRIDER MAGNOLIA	0.139	51 HIGHLAND PARK 0.139 ACRES	WALSHACHE	TX	75166	709 PERRY AVE WALSHACHE TX 75166	
17433	JACKSON WENDY	0.139	44 HIGHLAND PARK 0.139 ACRES	DALLAS	TX	75210	723 PERRY AVE WALSHACHE TX 75166	
17434	VILA BET HELENA JR	0.139	LOT 46 HIGHLAND PARK .139 AC	WALSHACHE	TX	75166	721 PERRY AVE WALSHACHE TX 75166	
17435	JORDAN BRUNDA & RONALD L LEVAND STON DR	0.139	47 HIGHLAND PARK 0.139 ACRES	WALSHACHE	TX	75166	717 PERRY AVE WALSHACHE TX 75166	
17439	JOHNSON BERNIE GRACE	0.139	48 HIGHLAND PARK 0.139 ACRES	WALSHACHE	TX	75166	715 PERRY AVE WALSHACHE TX 75166	
17437	STANTONWAY HOLDINGS NATIONAL D LUNCH	0.241	LOT 37A HIGHLAND PARK ADDREY 0.241 AC	RED DAK	TX	75166	716 PERRY AVE WALSHACHE TX 75166	
17439	ZACHARY MONICA M & B & ZOOBLET C & MARTINE	0.121	LOT 38 HIGHLAND PARK 0.121 AC	RED DAK	TX	75166	720 PERRY AVE WALSHACHE TX 75166	
17439	JANE PERRY & MAGGIE JAFFE	0.121	40 HIGHLAND PARK 0.121 ACRES	WALSHACHE	TX	75166	722 PERRY AVE WALSHACHE TX 75166	
17443	DAVE CARROLL & CLAYTON HARRINGTON	0.172	LOT 38B HIGHLAND PARK .172 AC	FORT WORTH	TX	76123	709 PERRY AVE WALSHACHE TX 75166	
17444	BRUNHE KATEBY & BRUNHE HELEN & BRUNHE LAMBA & BRUNHE DON	0.098	34 HIGHLAND PARK 0.098 ACRES	WALSHACHE	TX	75166	710 PERRY AVE WALSHACHE TX 75166	
17446	BRUNHE KATEBY & BRUNHE HELEN & BRUNHE LAMBA & BRUNHE DON	0.098	28 HIGHLAND PARK 0.098 ACRES	WALSHACHE	TX	75166	712 PERRY AVE WALSHACHE TX 75166	
17448	DALLAS MOGLA INVESTMENTS LP	0.121	LOT 39 HIGHLAND PARK 0.121 AC	DALLAS	TX	75207	714 PERRY AVE WALSHACHE TX 75166	
17447	ROSS LINDA & POSTER	0.098	LOT 34 HIGHLAND PARK .098 AC	DEBOTO	TX	75119	699 PERRY AVE WALSHACHE TX 75166	
17448	WIGGAM EDWARD B JR & SANDRA B WIGGAM	0.098	LOT 28 HIGHLAND PARK 0.098 AC	GLENN HEIGHTS	TX	75144	600 PERRY AVE WALSHACHE TX 75166	
17450	STUBBLE BRUCE LEE HEALY & SANDRA WIGGAM	0.098	LOT 20 HIGHLAND PARK 0.098 AC	RED DAK	TX	75166	700 PERRY AVE WALSHACHE TX 75166	
17451	EDWARDS DOROTHY & BRUCE	0.098	LOT 10 HIGHLAND PARK .098 AC	WALSHACHE	TX	75166	702 PERRY AVE WALSHACHE TX 75166	
17452	HABITAT FOR HUMANITY OF BELL COUNTY TX INC	0.098	LOT 19 HIGHLAND PARK .098 AC	PO BOX 147	TX	75166	500 PERRY AVE WALSHACHE TX 75166	
17453	CAHILL KATHA ET AL	0.098	LOT 20 HIGHLAND PARK 0.098 AC	LANCASTER	TX	75149	500 PERRY AVE WALSHACHE TX 75166	
17454	CHOCOR ELECTRIC DELIVERY COMPANY @ STATE & LOCAL TAX DEPT	0.098	LOT 21 HIGHLAND PARK 0.098 AC	PO BOX 300	TX	75166	500 PERRY AVE WALSHACHE TX 75166	
17456	CHOCOR ELECTRIC DELIVERY COMPANY @ STATE & LOCAL TAX DEPT	0.098	LOT 22 HIGHLAND PARK 0.098 AC	PO BOX 1309	TX	75166	500 PERRY AVE WALSHACHE TX 75166	
17457	BAVCO HENRI A	0.098	LOT 13 HIGHLAND PARK .098 AC	PO BOX 1	TX	75166	500 PERRY AVE WALSHACHE TX 75166	
17459	WILLIAMS JAMES R	0.098	LOT 14 HIGHLAND PARK 0.098 AC	PO BOX 1918	TX	75166	400 PERRY AVE WALSHACHE TX 75166	
17459	CARTY HALL	0.098	LOT 15 HIGHLAND PARK 0.098 AC	PO BOX 29	TX	75166	400 PERRY AVE WALSHACHE TX 75166	
17461	THE STATE BANK OF TEXAS	0.098	LOT 16 HIGHLAND PARK .098 AC	PO BOX 3	TX	75166	400 PERRY AVE WALSHACHE TX 75166	
17461	BLUMBERG DOROTHY JEAN & FREDERICK BLUMBERG	0.172	LOT 17, 18 HIGHLAND PARK .172 AC	400 PERRY AVE	TX	75166	400 PERRY AVE WALSHACHE TX 75166	
17462	COOKS DOROTHY & BRUCE	0.098	LOT 4 HIGHLAND PARK .098 AC	258 PERRY AVE	TX	75166	258 PERRY AVE WALSHACHE TX 75166	
17464	MORRIS DOROTHY & JAMES MORRIS ET AL	0.098	LOT 10 HIGHLAND PARK 0.098 AC	3238 DREATHOUSE RD	TX	75167	300 PERRY AVE WALSHACHE TX 75166	
17466	RODRIGUEZ SANDRA	0.098	LOT 11 HIGHLAND PARK 0.098 AC	1721 OGDON RD	TX	75166	300 PERRY AVE WALSHACHE TX 75166	
17468	MANNING W E JR	0.098	LOT 12 HIGHLAND PARK 0.098 AC	PO BOX 300	TX	75166	300 PERRY AVE WALSHACHE TX 75166	
17471	CARTRO MARY & LUTHER CARTRO	0.098	LOT 17 HIGHLAND PARK .098 AC	309 PERRY ST	TX	75166	309 PERRY AVE WALSHACHE TX 75166	
17480	HEBL LAD	0.179	LOT 74 HIGHLAND PARK .179 AC	1919 PERRY AVE	TX	75166	300 GETZINGER ST WALSHACHE TX 75166	
17481	HARTZEL ALICE RAE	0.139	60 HIGHLAND PARK 0.139 ACRES	305 PERRY AVE	TX	75166	305 PERRY AVE WALSHACHE TX 75166	
17484	JEFFERSON LILA A	0.139	70 HIGHLAND PARK 0.139 ACRES	308 SUDLER ST	TX	75166	300 PERRY AVE WALSHACHE TX 75166	
17485	HARTZEL ALICE RAE	0.139	71 HIGHLAND PARK 0.139 ACRES	1464 DALRYMPH RTE 1080	DALLAS	TX	75284	300 PERRY AVE WALSHACHE TX 75166
17488	CPH INVESTMENTS LLC	0.321	LOT 72 HIGHLAND PARK 0.321 AC	1090 PERRY RD	TX	75166	300 PERRY AVE WALSHACHE TX 75166	
17487	HEBRONCIE SUE A FRANCISCO	0.321	LOT 73 HIGHLAND PARK .321 AC	3485 8 PERS LOT 143	WALSHACHE	TX	75166	203 PERRY AVE WALSHACHE TX 75166
17489	FOUR POINT INVESTMENTS GROUP LLC	0.139	LOT 74 HIGHLAND PARK 0.139 AC	1411 SANDSOME ST	TX	75166	400 PERRY AVE WALSHACHE TX 75166	
17490	VENTURES RUPAL	0.139	65 HIGHLAND PARK 0.139 ACRES	1222 COMMERCE ST	DALLAS	TX	75202	400 PERRY AVE WALSHACHE TX 75166
17490	EMALS PROPERTIES LLC	0.139	66 HIGHLAND PARK 0.139 ACRES	1919 H HARTON RD STE 300	DEBOTO	TX	75119	400 PERRY AVE WALSHACHE TX 75166
17491	MELBY JERRY DON	0.139	67 HIGHLAND PARK 0.139 ACRES	403 PERRY AVE	WALSHACHE	TX	75166	400 PERRY AVE WALSHACHE TX 75166
17492	VATES RYLE ET AL	0.139	68 HIGHLAND PARK .139 AC	307 PERRY AVE	WALSHACHE	TX	75166	307 PERRY AVE WALSHACHE TX 75166
17493	BRIDGES RANEE	0.139	69 HIGHLAND PARK 0.139 ACRES	410 BLUEBERRY LN	RED DAK	TX	75164	600 PERRY AVE WALSHACHE TX 75166
17494	CHOCOR ELECTRIC DELIVERY COMPANY @ STATE & LOCAL TAX DEPT	0.098	60 HIGHLAND PARK 0.098 AC	800 BRICK RD	WALSHACHE	TX	75166	600 PERRY AVE WALSHACHE TX 75166
17495	ALBURNIE JESSIE & MARGA	0.139	61 HIGHLAND PARK 0.139 ACRES	78 VILLAGE SOUTH LAMP	MEDLOTHAY	TX	75066	600 PERRY AVE WALSHACHE TX 75166
17496	POWERS HENRIETTA	0.139	62 HIGHLAND PARK 0.139 ACRES	800 PERRY AVE	WALSHACHE	TX	75166	600 PERRY AVE WALSHACHE TX 75166
17497	WOODS AUDREY	0.139	63 HIGHLAND PARK 0.139 ACRES	801 PERRY AVE	WALSHACHE	TX	75166	600 PERRY AVE WALSHACHE TX 75166
17498	HARTZEL ALICE R & OSCAR JR	0.139	64 HIGHLAND PARK 0.139 AC	700 PERRY AVE	WALSHACHE	TX	75166	700 PERRY AVE WALSHACHE TX 75166
17499	REYNOLDS MARGA	0.139	65 HIGHLAND PARK 0.139 AC	201 NUT BLDG	TX	75166	700 PERRY AVE WALSHACHE TX 75166	
17499	REYNOLDS MARGA	0.139	66 HIGHLAND PARK 0.139 ACRES	1008A S CEDAR RIDGE DR	DUNCANVILLE	TX	75046	700 PERRY AVE WALSHACHE TX 75166
17500	REYNOLDS MARGA	0.139	67 HIGHLAND PARK 0.139 ACRES	210 CEDAR	DUNCANVILLE	TX	75046	700 PERRY AVE WALSHACHE TX 75166
17502	BRIDGES RANEE	0.139	68 HIGHLAND PARK 0.139 ACRES	410 BLUEBERRY LN	RED DAK	TX	75166	600 PERRY AVE WALSHACHE TX 75166
17503	WOPALL D LEONARD	0.139	69 HIGHLAND PARK 0.139 ACRES	724 BLUESTEM RD	DALLAS	TX	75249	700 PERRY AVE WALSHACHE TX 75166
17507	WILLIAMS HILDA D	0.139	70 HIGHLAND PARK 0.139 ACRES	734 BLUESTEM	DALLAS	TX	75249	700 PERRY AVE WALSHACHE TX 75166
17508	APRICE INVESTMENTS LLC	0.139	27-30 NEW TOWN HEIGHTS 0.139 ACRES	114 BUNCHES ST	WALSHACHE	TX	75166	113 COOK ST WALSHACHE TX 75166
17509	WAGNER WENDY	0.139	27-30 NEW TOWN HEIGHTS 0.139 ACRES	1090 PERRY RD	RED DAK	TX	75164	100 LEATHERWOOD ST WALSHACHE TX 75166
17510	WAGNER WENDY	0.139	27-30 NEW TOWN HEIGHTS 0.139 ACRES	110 LEATHERWOOD ST	WALSHACHE	TX	75166	100 LEATHERWOOD ST WALSHACHE TX 75166
17511	APRICE INVESTMENTS LLC	0.34	30-32 NEW TOWN HEIGHTS 0.34 ACRES	1090 PERRY RD	RED DAK	TX	75164	100 LEATHERWOOD ST WALSHACHE TX 75166
17512	MAGNUS FAMILY VENTURES LLC	2.809	3 1/4 HOMAN 2.809 ACRES	4700 COMPASS BORN LN	LAB VEGAS	NV	89130	428 PERRY AVE WALSHACHE TX 75166
17513	BLUESHOP PROP INC	3.651	PT 3 1/4 HOMAN 3.651 ACRES	PO BOX 878	TX	75166	428 PERRY AVE WALSHACHE TX 75166	
17520	WALSHACHE DATA HOLDING LP	0.32	48 1/2 HOMAN 0.32 ACRES	401 PARKSTONE HEIGHTS DR STE 210	AURITA	TX	75708	PARKS SCHOOL HOUSE RD WALSHACHE TX 75166
17521	RAY MELBA J L & HENRIETTA RAY	0.348	3 1/4 HOMAN 0.348 ACRES	309 GRAMM ST	WALSHACHE	TX	75166	309 GRAMM ST WALSHACHE TX 75166
17522	HANS TOM HANNEY & GORDON BYRD	0.098	4 TEMPLE 0.098 ACRES	314 MARLBOROUGH LN	DALLAS	TX	75249	400 GETZINGER ST WALSHACHE TX 75166
17523	APRICE INVESTMENTS LLC	0.4634	LOT 14 BLK 7 TEMPLE 0.4634 AC	1090 PERRY RD	RED DAK	TX	75166	400 GETZINGER ST WALSHACHE TX 75166
17524	EDWARDS VERONICA	0.177	LOT 1 BLK 7 TEMPLE 0.177 AC	400 PETERS ST APT 7	WALSHACHE	TX	75166	400 GETZINGER ST WALSHACHE TX 75166
17525	WILLIAMS BURNETT & DAVID E	0.127	7 TEMPLE 0.127 ACRES	611 GETZINGER	WALSHACHE	TX	75166	611 GETZINGER ST WALSHACHE TX 75166
17522	DAVIS JOHN & BEVERLY THOMPSON	0.121	7 TEMPLE 0.121 ACRES	710 MIDWAY LN	WALSHACHE	TX	75167	600 GETZINGER ST WALSHACHE TX 75166
17524	HARRIS MICHAEL & LINDA	0.108	8 TEMPLE 0.108 ACRES	700 GETZINGER ST	WALSHACHE	TX	75166	600 GETZINGER ST WALSHACHE TX 75166
17526	R H DEVELOPMENT GROUP LLC	0.39	LOT 48 BLK 5 TEMPLE 0.39 AC	1114 BIRCHOP TRL	DEBOTO	TX	75119	610 GETZINGER ST WALSHACHE TX 75166
17527	CRUMHORN ELEANOR	0.323	1 1/2 TEMPLE 0.323 ACRES	113 COOK ST	WALSHACHE	TX	75166	600 GETZINGER ST WALSHACHE TX 75166
17529	BILTON EMATHIA V TAYLOR	0.319	LOT 48 BLK 5 TEMPLE 0.319 AC	1907 HALSEY DR	DUNCANVILLE	TX	75047	600 GETZINGER ST WALSHACHE TX 75166
17528	JACKSON WENDY O	0.119	50 TEMPLE 0.119 ACRES	1412 MARTIN LUTHER KING JR BLVD	WALSHACHE	TX	75166	107 LONCO ST WALSHACHE TX 75166
17533	HEBL LAD	0.139	LOT 1 BLK 3 TEMPLE 0.139 AC	1915 PERRY AVE	WALSHACHE	TX	75166	104 LONCO ST WALSHACHE TX 75166
17532	SANDERS JAMES & MARGA	0.093	3 TEMPLE 0.093 ACRES	161 LONCO ST	WALSHACHE	TX	75166	161 LONCO ST WALSHACHE TX 75166
17534	WOMERS JOSEPH C	0.397	5 1/4 TEMPLE 0.397 ACRES	323 PERRY RD	WALSHACHE	TX	75166	161 LONCO ST WALSHACHE TX 75166
17539	ESCOBEDO ORBERTO JR	0.11	LOT 7 BLK 4 TEMPLE 0.11 AC	1100 PERRY RD	WALSHACHE	TX	75166	104 PERRY ST WALSHACHE TX 75166
17537	ESCOBEDO ORBERTO JR	0.11	LOT 8 BLK 4 TEMPLE 0.11 AC	1100 PERRY RD	WALSHACHE	TX	75166	104 PERRY ST WALSHACHE TX 75166
17536	ALANS JAMES E & ANNABELLE M	0.11	LOT 7 BLK 4 TEMPLE 0.11 AC	907 GETZINGER ST	WALSHACHE	TX	75166	807 GETZINGER ST WALSHACHE TX 75166
17539	BRANDHILL JESSIE & EDNA F HENDERSON	0.119	9 TEMPLE 0.119 ACRES	190 PALM DRIVE	WALSHACHE	TX	75166	108 LONCO ST WALSHACHE TX 75166
17540	JEFFERSON BOBBA	0.344	LOT 68 BLK 9 TEMPLE 0.344 AC	228 MIDWAY TRACE LN	WALSHACHE	TX	75166	400 GETZINGER ST WALSHACHE TX 75166
18284	BANTAGO RIMBEROS	0.14	LOT 48 HIGHLAND PARK .14 AC	719 PERRY AVE	WALSHACHE	TX	75166	719 PERRY AVE WALSHACHE TX 75166
18343	GRAMM HARRIS CHURCH OF CHRIST	0	272 S M DUNN	304 GRAMM ST	WALSHACHE	TX	75166	304 GRAMM ST WALSHACHE TX 75166
18351	FREDERICK HENSONBARY BAPTIST CHURCH OF WALSHACHE	2.291	41 HOMAN PARK PT 3 1/4 HOMAN 2.291 AC	PO BOX 24	WALSHACHE	TX	75166	300 GRAMM ST WALSHACHE TX 75166
18366	WALSHACHE HOUSING AUTHORITY	0	LOT 2 BLK 2 HARRIS 1 HOMAN ADDN & AC	209 PATRICK ST	WALSHACHE	TX	75166	800 GETZINGER ST WALSHACHE TX 75166
18364	WALSHACHE RD	48.226	LOT 18 PT 3 BLK 1 & 3-4-6 BLK 2 18 HOMAN 48.226 AC TURNER LEARNING CENTER	411 H OGDON ST	WALSHACHE	TX	75166	614 GETZINGER ST WALSHACHE TX 75166
20270	POWERS GAIL	0.193	LOT 42A BLK D HARTON HILLS 0.193 AC	201 BOWEN RD	MEDLOTHAY	TX	75066	400 GRAMM ST WALSHACHE TX 75166
23307	MACHILL JAMES & LEROY	0.148	LOT 42B BLK D HARTON HILLS 0.148 AC	403 GRAMM ST	WALSHACHE	TX	75166	402 GRAMM ST WALSHACHE TX 75166
20090	GRAND CERRILS	0.148	LOT 42C BLK D HARTON HILLS 0.148 AC	404 GRAMM ST	WALSHACHE	TX	75166	404 GRAMM ST WALSHACHE TX 75166
20039	POWERS KERRY T & AMY L	0.148	LOT 42D HARTON HILLS 1 REY 0.148 ACRES	200 THUNDER ROCK LN	MEDLOTHAY	TX	75066	400 GRAMM ST WALSHACHE TX 75166
20070	POWERS GAIL	0.193	42D HARTON HILLS 1 REY 0.193 ACRES	301 BOWEN RD	MEDLOTHAY	TX	75066	400 GRAMM ST WALSHACHE TX 75166
23451	KELLEY ETHEL S & MOORE BARRY L	0.197	7 TEMPLE GATE LODGES 0.197 ACRES	700 GETZINGER ST	WALSHACHE	TX	751	

(9+10)



City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-000083-2020

LOREN GRAY INVESTMENTS LLC  
PO BOX 2868  
WAXAHACHIE, TX 75168

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 14, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 20, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

- 1. **Public Hearing** on a request by Jeff Crannell, CCM Engineering, for a Zoning Change from a Planned Development-34-Multiple Family-1/General Retail, Single Family-3 and Multiple Family-1 zoning district to Planned Development-Single Family-3, with Concept Plan, located at the NW corner of Peters Street at Graham Street (Property ID 193944) - Owner: WAXAHACHIE ISD (ZDC-000083-2020)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) for additional information on this request.

Case Number: ZDC-000083-2020 City Reference: 174121

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, July 8, 2020** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT  OPPOSE

Comments:

\_\_\_\_\_  
\_\_\_\_\_  
Signature Brad Yates Date 6/30/20  
Printed Name and Title Brad Yates Address Box 2868 Wax. Tx. 75168

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*

(9&10)



City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-000083-2020

LOREN GRAY INVESTMENTS LLC  
PO BOX 2868  
WAXAHACHIE, TX 75168

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 14, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 20, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. **Public Hearing** on a request by Jeff Crannell, CCM Engineering, for a Zoning Change from a Planned Development-34-Multiple Family-1/General Retail, Single Family-3 and Multiple Family-1 zoning district to Planned Development-Single Family-3, with Concept Plan, located at the NW corner of Peters Street at Graham Street (Property ID 193944) - Owner: WAXAHACHIE ISD (ZDC-000083-2020)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) for additional information on this request.

Case Number: ZDC-000083-2020

City Reference: 174060

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, July 8, 2020** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature

Date

Printed Name and Title

Address

*Brad Yates manager*

*6/30/20*  
*Box 2868 Wax. Tex.*  
*75168*

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(9+10)



City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-000083-2020

LOREN GRAY INVESTMENTS LLC  
PO BOX 2868  
WAXAHACHIE, TX 75168

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Case Number: ZDC-000083-2020

City Reference: 174056

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SUPPORT

OPPOSE

Comments:

  
Signature  
Brad Yates manager  
Printed Name and Title

6/30/20  
Date  
Box 2868 Wax. Tx.  
Address  
75168

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(9+10)



City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-000083-2020

LOREN GRAY INVESTMENTS LLC  
PO BOX 2868  
WAXAHACHIE, TX 75168

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Case Number: ZDC-000083-2020 City Reference: 174042

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, July 8, 2020** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

Comments:  SUPPORT  OPPOSE

\_\_\_\_\_  
*[Handwritten Signature]*

Signature  
Brad Yates manager  
Printed Name and Title

\_\_\_\_\_  
6/30/20  
Date  
Box 2868 Wax. Tx.  
Address  
75168

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(9+10)



City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-000083-2020

LOREN GRAY INVESTMENTS LLC  
PO BOX 2868  
WAXAHACHIE, TX 75168

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Case Number: ZDC-000083-2020

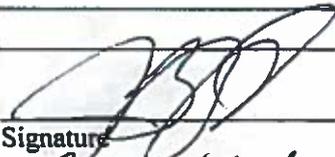
City Reference: 174048

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, July 8, 2020** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT                       OPPOSE

Comments:

\_\_\_\_\_

Signature 

Date 6/30/20

Printed Name and Title Brad Yates manager

Address PO Box 2868 Wax.  
TX 75168

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Case Number: ZDC-000083-2020

City Reference: 173776

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, July 8, 2020** to ensure inclusion in the Agenda Packet. Forms can be emailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

We are very old and prefer to keep the  
Area as quiet and property values stable.

(9+10)

Martin V. Davis  
Signature

7-3-20  
Date

Martin V. Davis  
Printed Name and Title

208 Graham St  
Address Waxahachie, TX

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Case Number: ZDC-000083-2020

City Reference: 173774

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, July 8, 2020** to ensure inclusion in the Agenda Packet. Forms can be emailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

I feel that multiple family units lower the value of property. (9+10)

Brynithia L Davis  
Signature

06-13-20  
Date

Brynithia L Davis  
Printed Name and Title

208 Sherman, Waxahachie  
Address

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(11+12)

# Planning & Zoning Department Zoning Staff Report

Case: ZDC-84-2020



**MEETING DATE(S)**

*Planning & Zoning Commission:* July 14, 2020

*City Council:* July 20, 2020

**CAPTION**

**Public Hearing** on a request by Amanda Mata, Peloton Land Solutions, for a Planned Development Amendment (PD-MF2), with Concept Plan, located at Conquest Boulevard and US Highway 287 (Property ID 191628) - Owner: DWBI INVESTMENTS, LLC (ZDC-84-2020)

**APPLICANT REQUEST**

The applicant is requesting to amend Ordinance 2296, to allow for construction of a second phase of 188 residential units on 10.407 acres

**CASE INFORMATION**

*Applicant:* Amanda Mata, Peloton Land Solutions

*Property Owner(s):* Grant Robinson, DWBI Investments

*Site Acreage:* 10.407 acres

*Current Zoning:* PD-MF2

*Requested Zoning:* PD-MF2 with Amended Ordinance

**SUBJECT PROPERTY**

*General Location:* Intersection of Conquest Boulevard and US Highway 287

*Parcel ID Number(s):* 191628

*Existing Use:* Currently Undeveloped

*Development History:* On June 18, 2018, City Council approved a Planned Development for Phase 1 for the Mark on Conquest.

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	----	US Highway 287
East	SF1	Currently Undeveloped
South	SF1	Currently Undeveloped
West	PD-MF2	The Mark on Conquest (Phase 1)

(11412)

*Future Land Use Plan:*

Highway Commercial and Public/Semi-Public

*Comprehensive Plan:*

Highway Commercial areas are intended to allow for traditional commercial land uses, but such uses should be developed to a higher standard. For example, outside storage may be permitted, but would have to be screened and not visible from the road. In addition, a more limited array of commercial uses would be permitted. Hotels, motels, and car dealerships would be permitted, for example, but manufactured home sales and self-storage buildings would not. The idea is for these areas to show a positive image of Waxahachie and make visitors want to travel into the main part of the City.

This land use category includes uses that are educational, governmental or institutional in nature. This type of land use is generally permitted within any area, therefore, only the current Public/Semi-Public uses are shown on the map.

*Thoroughfare Plan:*

The subject property is accessible via US Highway 287 Bypass. The subject property is also accessible via a cross access from The Mark on Conquest Phase 1.

*Site Image:*



**PLANNING ANALYSIS**

**Purpose of Request:**

The purpose of this request is to create a multi-family residential development within a Planned Development zoning district. The existing zoning permits multi-family development, however, the applicant seeks to amend Ordinance 2296, to allow for construction of a second phase of 188 residential units on 10.407 acres.

(11+12)

Proposed Use:

The applicant is requesting approval for a Planned Development Amendment to accommodate development of a 188 unit multi-family residential complex on 10.407 acres located at the intersection of Conquest Boulevard and US Highway 287. The development will consist of eight (8) apartment buildings, the maximum height will be three (3) stories, and a common area will be provided within the development. If approved, the applicant intends to break ground in the fourth quarter of 2020 and an expected completion date of summer 2022.

The Concept Plan depicts a residential development that includes elements such as:

- Fitness Center
- Dog Park
- Resident Lounge

Conformance with the Comprehensive Plan:

Residential developments can include low density residential, medium density residential, and high density residential. The proposed development is consistent with the following goals and objectives in the 2016 Comprehensive Plan Addendum:

- Growth Strategies – Goal 1: Encourage the most desirable, efficient use of land while maintaining and enhancing local aesthetics.
- Growth Strategies – Goal 12: Promote growth of the community where infrastructure exists.

Development Standards:

The applicant is proposing a base zoning district of Multi Family-2 (MF2). Allowed uses shall be those provided within the City of Waxahachie Zoning Ordinance for Multi Family-2 with additional changes listed below.

Permitted Uses:

- Multi-Family Apartments

**Table 2: Proposed Multi-Family Residential (per MF2 standards)**

*\*The second column depicts the requirements for the current zoning (PD-MF2) of the property. It is not presented in the "Meets" column*

*\*\*\*Items highlighted in bold do not meet the City of Waxahachie MF2 requirements\*\*\**

Standard	*Current Zoning – PD-MF-2	City of Waxahachie	The Mark on Conquest (Phase 2)	Meets
Max. Density	18 DU per acre	18 DU per acre	18.08 DU per acre	No
Min. Lot Area (SF)	2,420 SF/Unit	2,420 SF/Unit	2,411 SF/Unit	No
Min. Dwelling Unit (SF)	1 Bedroom – 600 2 Bedroom – 700	1 Bedroom – 600 2 Bedroom – 700 3 Bedroom – 800	1 Bedroom – 568 2 Bedroom – 700 3 Bedroom -800	No
Max. Unit Count	187	187	188	No
Min. Lot Width	60 ft.	60 ft.	60 ft.	Yes
Min. Lot Depth	120 ft.	120 ft.	120 ft.	Yes
Min. Front Setback	50 ft.; 75 ft. if over two stories (adj. to SF) 25 ft.; 100 ft. if over two stories (adj. to non res.)	50 ft.; 75 ft. if over two stories (adj. to SF) 25 ft.; 100 ft. if over two stories (adj. to non res.)	45 ft. (North Boundary) 20 ft. (South Boundary)	No

(11+12)

<b>Min. Interior Setback</b>	50 ft.; 75 ft. if over two stories (adj. to SF)  25 ft.; 100 ft. if over 2 stories (adj. to MF or non res.)	50 ft.; 75 ft. if over two stories (adj. to SF)  25 ft.; 100 ft. if over 2 stories (adj. to MF or non res.)	3 ft.	No
<b>Min. Rear Setback</b>	N/A	N/A	N/A	N/A
<b>Max. Height</b>	3 stories (main structure); 1 story (accessory structure)	3 stories (main structure); 1 story (accessory structure)	3 stories (main structure); 1 story (accessory structure)	Yes
<b>Max. Lot Coverage</b>	40%	40%	40%	Yes
<b>Parking</b>	Min. of two (2) enclosed parking spaces behind the front building line on the same lot as the main structure	294 total  147 enclosed garages	343 total 219 surface area 40 detached garages 84 carports	No

Note: The exterior of the façade will include brick and cementitious fiberboard to match Phase 1 of the Mark on Conquest.

**Table 3: Apartment Unit Breakdown**

Unit Description	Unit Count	Percentage Breakdown
1 Bedroom/1 Bath	116	62%
2 Bedroom/2 Bath	60	32%
3 Bedroom/2 Bath	12	6%
Total	188	100%

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 5 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**Special Exception/Variance Request:**

**Density**

The maximum density allowed per MF2 zoning is 18 dwelling units per acre.

- The applicant is proposing a maximum of 18.08 dwelling units per acre.

**Lot Area**

The minimum lot area per MF2 zoning is 2,420 SF/Unit.

- The applicant is proposing a minimum lot area of 2,411 SF/Unit.

**Dwelling Unit**

The minimum size for a one bedroom dwelling unit is 600 sq. ft.

- The applicant is proposing a minimum size one bedroom dwelling unit of 568 sq. ft. The applicant intends to have an average size of 650 sq. ft. one bedroom units.

(11+12)

#### Unit Count

The maximum unit count allowed for the subject site is 187 units.

- The applicant is proposing to construct 188 units.

#### Front Setback

Any front setback adjacent to Single Family shall be 75 ft. if over two stories, and setback 100 ft. if over two stories if adjacent to Multi Family or Nonresidential.

- The applicant is proposing a 45 ft. setback (100 ft. required) along the North boundary and a 20 ft. setback (75 ft. required) along the South boundary.

#### Side Setback

Any side setback adjacent to Single Family shall be 75 ft. if over two stories, and setback 100 ft. if over two stories and adjacent to Multi Family or Nonresidential.

- The applicant is proposing a 3 ft. side yard setback (100 ft. required) along the West boundary and a 3 ft. side yard setback (75 ft. required) along the East boundary.

#### Parking (Garages)

The applicant is required to provide 50% attached enclosed garages of the required parking for the site.

- The applicant is proposing 40 detached enclosed garages of the 147 required attached enclosed garages.

#### Roof Pitch

The minimum roof pitch allowed for MF2 zoning is 7:12.

- The applicant is proposing a roof pitch of 5:12.

#### Parking (Landscape Screening)

Parking areas shall be screened along all streets (min. 3 ft. shrubs)

- A deviation is requested along the northern boundary of the property

#### Screening

Due to being adjacent to Single Family zoning (along the East and South side of the property), a min. 6ft. masonry wall is required.

- The applicant is proposing a 6 ft. wrought iron fence.

#### Building Separation

The minimum building separation requirement for multi-family residential buildings over two stories is 35 ft.

- The applicant is proposing a minimum building separation of 27 ft.

#### Refuse Facility

Every multi-family dwelling unit shall be located within 250 feet of a refuse facility, measured along the designated pedestrian and vehicular travel way. A refuse facility shall be a dumpster or other similar receptacle designed for receiving garbage in bulk for more than one dwelling. Refuse dumpsters shall be no closer than thirty (30) feet to any adjacent single-family property.

- Due to providing valet trash service as an amenity, the applicant ask that the proximity requirement for refuse facilities be waived.

(11+12)

**STAFF CONCERNS**

1. Staff suggests that the applicant meet the minimum requirement for one bedroom units (600 sq. ft.). The applicant is proposing a minimum size one bedroom dwelling unit of 568 sq. ft. The applicant intends to have an average size of 650 sq. ft. one bedroom units.
2. The applicant is required to provide 50% attached enclosed garages of the required parking for the site. The applicant is proposing 40 detached enclosed garages of the 147 required attached enclosed garages.

**APPLICANT RESPONSE TO CONCERNS**

1. The applicant understands staff concerns and intends to state their reasoning at the July 14, 2020 City Council meeting.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:

**ATTACHED EXHIBITS**

1. Ordinance 2296 (Existing Ordinance)
2. Planned Development Provisions
3. Site plan
4. Landscape Plan
5. Elevation/Façade Plan

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

**AN ORDINANCE CHANGING THE ZONING ON 16.95 ACRES LOCATED SOUTH OF HWY. 287 BYPASS, 3/4 OF A MILE WEST OF FM 664, IN THE W.C. TUNNELL SURVEY, IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, AS SHOWN ON EXHIBIT "A," FROM PLANNED DEVELOPMENT-48-LIGHT INDUSTRIAL (PD-48-LI) TO PLANNED DEVELOPMENT-MULTI-FAMILY-2 (PD-MF-2) WITH SPECIAL RESTRICTIONS ON 10.402 ACRES; REZONE RESIDUAL 6.542 ACRES OF 16.95 ACRE TRACT TO PLANNED DEVELOPMENT-47-MULTI-FAMILY-2 (PD-47-MF-2), AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:**

**WHEREAS**, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and,

**WHEREAS**, proper application for the change of zoning has been made in accordance with the zoning ordinances in the City of Waxahachie, and same having been referred to the Planning and Zoning Commission, and said Planning and Zoning Commission has recommended the rezoning thereto from Planned Development-48-Light Industrial (PD-48-LI) to Planned Development-Multi-Family-2 (PD-MF-2) and Planned Development-47-Multi-Family-2 (PD-47-MF-2); and,

**WHEREAS**, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and,

**WHEREAS**, a proper hearing was held as required by law and the Council having heard all arguments for and against said rezoning from Planned Development-48-Light Industrial (PD-48-LI) to Planned Development-Multi-Family-2 (PD-MF-2) and Planned Development-47-Multi-Family-2 (PD-47-MF-2);

**NOW, THEREFORE**, the following described property be, and the same hereby is, rezoned from Planned Development-48-Light Industrial (PD-48-LI) to Planned Development-Multi-Family-2 (PD-MF-2) on the 10.402 acres, Exhibit "A" and Planned Development-47-Multi-Family-2 (PD-47-MF-2), this part to become part of PD-47-MF-2; on the 6.542 acre tract, Exhibit "B". The 10.402 acres is subject to the following:

Planned Development District permitting uses as prescribed in the Use Schedule of the Zoning Ordinance of Waxahachie, Texas for the "MF-2", Multiple-Family-2-Residence District, subject to the approval of a site plan by the Planning and Zoning Commission and City Council prior to the issuance of any Building Permit or Certificate of Occupancy for any structure or use on the premises. Such site plan shall set forth the areas designated for building use and those designated for off-street parking, recreation, yards, open space and related uses. The site plan shall also indicate all curbs, sidewalks, drainage facilities, drives, utility easements and service areas indicated as necessary for the proper use and function of the development.

The density, coverage, height, parking and area standards shall comply with the minimum standards specified for the MF-2, Multiple-Family-2 Residence District.

The requisite site plan may be approved in whole or in part provided the elements influencing the development of the entire tract, such as access, parking and circulation are considered by the partial site plan.

The MF-2 requirements on the 10.402 acres are amended as follows:

For retirement home use, one parking space is required for each dwelling unit, plus parking for employees as required by the City.

The front door of each apartment unit shall be no more than 300 feet from a fire line, if the project is fully sprinklered throughout the living space and attics.

The buildings shall not exceed 350 feet in length.

The total square feet for Usable Open Space shall be 1.5 acres, if activities and common areas totalling 50,250 square feet are provided inside.

16.95 acres located South of South Hwy. 287 Bypass, 3/4 of a mile West of FM 664, in the W.C. Tunnell Survey, City of Waxahachie, Ellis County, Texas, and being further described on Exhibit "A" attached hereto, in 2 parts.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED AND ADOPTED on this 21st day of March, 2005.



Joe Jankins  
MAYOR

Nancy Ross  
City Secretary

**FIELD NOTES**  
10.402 Acres

BEING all that certain lot, tract, or parcel of land situated in the W.C. Tinnell Survey, Abstract No. 1080, and being a part of a certain 230.588 acre tract surveyed and plat by deed recorded in Volume 1746, Page 2439 of the Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEING also a Texas Highway Department monument found at the south line of U.S. Highway 287 System (4 Lanes) (State Right-of-Way) for the southwest corner of this tract and said 230.588 acre tract, said road being the southeast corner of a certain 89.381 acre tract described by instrument recorded in Volume 217, Page 274 of the Deed Records, Ellis County, Texas.

TRANCE S 00°23'45" E, 725.00 feet along the east line of this tract and said 230.588 acre tract and the east line of said 89.381 acre tract, to a 1/2" capped steel rod set for the southeast corner of this tract;

TRANCE S 89°53'00" W, 325.00 feet line, said 230.588 acre tract, being the south line of this tract, to a 1/2" capped steel rod set for the southeast corner of this tract;

TRANCE N 00°23'45" E, 725.00 feet through said 230.588 acre tract, along the west line of this tract, to a 1/2" capped steel rod set in the south line of said Highway and the north line of said 230.588 acre tract, for the southwest corner of this tract;

TRANCE S 89°53'00" E (Doubt - corner bearing back), 925.00 feet along the south line of said Highway and the north line of this tract and said 230.588 acre tract, to the POINT OF BEGINNING, said containing approximately 10.402 acres of land.

**SURVEYORS DECLARATION**

TO THE LEND HOLDERS AND/OR THE OWNERS AND/OR THE PURCHASERS OF THE

PREMISES SUBJECT AND TO: Trinity Abstract and Title Company

I hereby certify that in January, 2005, this survey was made on the ground as per the field notes shown on this survey and is true, correct and accurate as to the boundaries and lines of the subject property and the size, location and type of buildings and improvements thereon, shown and as to the other matters therein shown, and correctly shows the location of all visible boundaries and corners.

Except as shown on the survey, there are no encroachments upon the subject property by improvements on adjacent property, there are no easements, or adjacent property, rights of ways by any instruments on the subject property and there are no covenants or prohibitions.

I further certify to the following conditions:

1. That no portion of the said tract lies within a Special Flood Hazard Boundary according to the Flood Insurance Rate Map for Ellis County, Texas, Map No. 48136000010.
2. This survey reflects the obvious visible location of utilities. The Surveyor makes no guarantee that the utilities shown comprise all such utilities in the area within its service, or abandoned. Further, the Surveyor does not warrant that the underground utilities shown are in the exact location indicated. Underground utilities which may affect this property were not located during the course of this survey, but has made an attempt to locate all occurrences as possible any underground utilities indicated by above ground evidence.
3. Information in parenthesis are from public records (Deed-books).
4. Bearing sources are as per record plat or field notes description.
5. This survey was prepared in conjunction with Trinity Abstract and Title Company Commitment for Title Insurance, G.F. No. 70306, dated October 14, 2004. The easements, rights-of-way, or other exceptions noted herein are according to the Schedule B therein. The surveyor has not abstracted the property. Based on the statements and/or deeds furnished by the afforementioned company, the following do not appear to affect the subject property:

Ellis: Profile Soil Conservation Dist. - 485/482; 474/33 DIRECT  
Texas Power & Light Co. - 494/44; 370/318; 830/437; 830/438; 368/806 DIRECT  
Southwestern Bell Tel. Co. - 350/338 DIRECT  
State of Texas - 439/288 DIRECT  
City of Wachschie - 1865/4 OPRECT

6. Unless otherwise labeled, all property corners indicated as "Set" are 1/2" diameter steel rods with yellow plastic caps marked (NPLS 4466)

This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition 4 Survey.

*Walter Keven Davis*  
Walter Keven Davis, R.P.L.S. # 4488  
Davis & McCall

1/13/05  
DMS

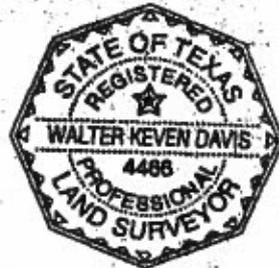


EXHIBIT A

EXHIBIT PLAT  
10.402 Acres

**FIELD NOTES**  
**EXISTING PD-48 LI-1 ZONING**  
**PROPOSED PD MF-2 ZONING**  
**6.542 Acres**

BEING all that certain lot, tract, or parcel of land situated in the W. C. TUNNELL SURVEY, ABSTRACT No. 1080, and being a portion of a called 239.598 acre tract of land conveyed to Joe Rust by deed recorded in Volume 1746, Page 2455 of the Official Public Records of Ellis County, Texas (OPRECT), and being more particularly described as follows:

BEGINNING at a 1/2" steel rod set in the east line of the 239.598 acre tract for the lower northeast corner of this tract and which bears S 00°23'45" W, 725.00 feet from a Texas Highway Department monument found in the south line of U. S. HIGHWAY 287 BYPASS, a variable width public right-of-way, for the northeast corner of the called 239.598 acre tract and being the northwest corner of a called 69.351 acre tract of land described by instrument recorded in Volume 717, Page 274 of the Deed Records of Ellis County, Texas (DRECT);

THENCE S 00°23'45" W, 81.00 feet along the lower east line of this tract and east line of the said 239.598 acre tract and the west line of said 69.351 acre tract to the southeast corner of this tract;

THENCE N 89°37'58" W, 918.59 feet into said 239.598 acre tract along the south line of this tract to the southwest corner of this tract;

THENCE N 00°26'36" E, 797.54 feet through said 239.598 acre tract along the west line of this tract to the northwest corner of this tract in the south line of said highway and the north line of said 239.598 acre tract;

THENCE along the south line of said highway and the north line of said 239.598 acre tract as follows:

N 87°15'00" E, 88.93 feet to a 5/8" steel rod found; and S 89°53'00" E (Deed - record bearing basis), 204.14 feet to a point for the upper northeast corner of this tract;

THENCE into the said 239.598 acre tract and along the upper east line and lower north line of this tract as follows: S 00°23'45" W, 725.00 feet to a point for the inset northeast corner of this tract and S 89°53'00" E, 625.00 feet to the POINT OF BEGINNING and containing approximately 6.542 acres of land.

**Surveyors Declaration:**

I hereby declare that the foregoing field notes were prepared by me and based on an actual survey made on the ground under my supervision in March, 2005.

Walter Keven Davis 3/3/05

Walter Keven Davis  
RPLS # 4486  
Davis & McDill



**EXHIBIT** A

FIELD NOTES  
EXISTING PD-48 LI-1 ZONING  
PROPOSED PD MF-2 ZONING  
16.944 Acres

BEING all that certain lot, tract, or parcel of land situated in the W. C. TUNNELL SURVEY, ABSTRACT No. 1080, and being a portion of a called 239.598 acre tract of land conveyed to Joe Rust by deed recorded in Volume 1746, Page 2455 of the Official Public Records of Ellis County, Texas (OPRECT), and being more particularly described as follows:

BEGINNING at a Texas Highway Department monument found in the south line of U. S. HIGHWAY 287 BYPASS, a variable width public right-of-way, for the northeast corner of this tract and said 239.598 acre tract, said rod being the northwest corner of a called 69.351 acre tract of land described by instrument recorded in Volume 717, Page 274 of the Deed Records of Ellis County, Texas (DRECT);

THENCE S 00°23'45" W, 806.00 feet along the east line of this tract and said 239.598 acre tract and the west line of said 69.351 acre tract to the southeast corner of this tract;

THENCE N 89°37'58" W, 918.59 feet into said 239.598 acre tract along the south line of this tract to the southwest corner of this tract;

THENCE N 00°26'36" E, 797.54 feet through said 239.598 acre tract along the west line of this tract to the northwest corner of this tract in the south line of said highway and the north line of said 239.598 acre tract;

THENCE along the south line of said highway and the north line of said 239.598 acre tract as follows:

N 87°15'00" E, 88.93 feet to a 5/8" steel rod found;

S 89°53'00" E (Deed - record bearing basis), 829.14 feet to the POINT OF BEGINNING and containing approximately 16.944 acres of land.

*Walter Keven Davis*

Walter Keven Davis, RPLS #4466  
Davis and McDill, Inc.



OWNER/DEVELOPER:

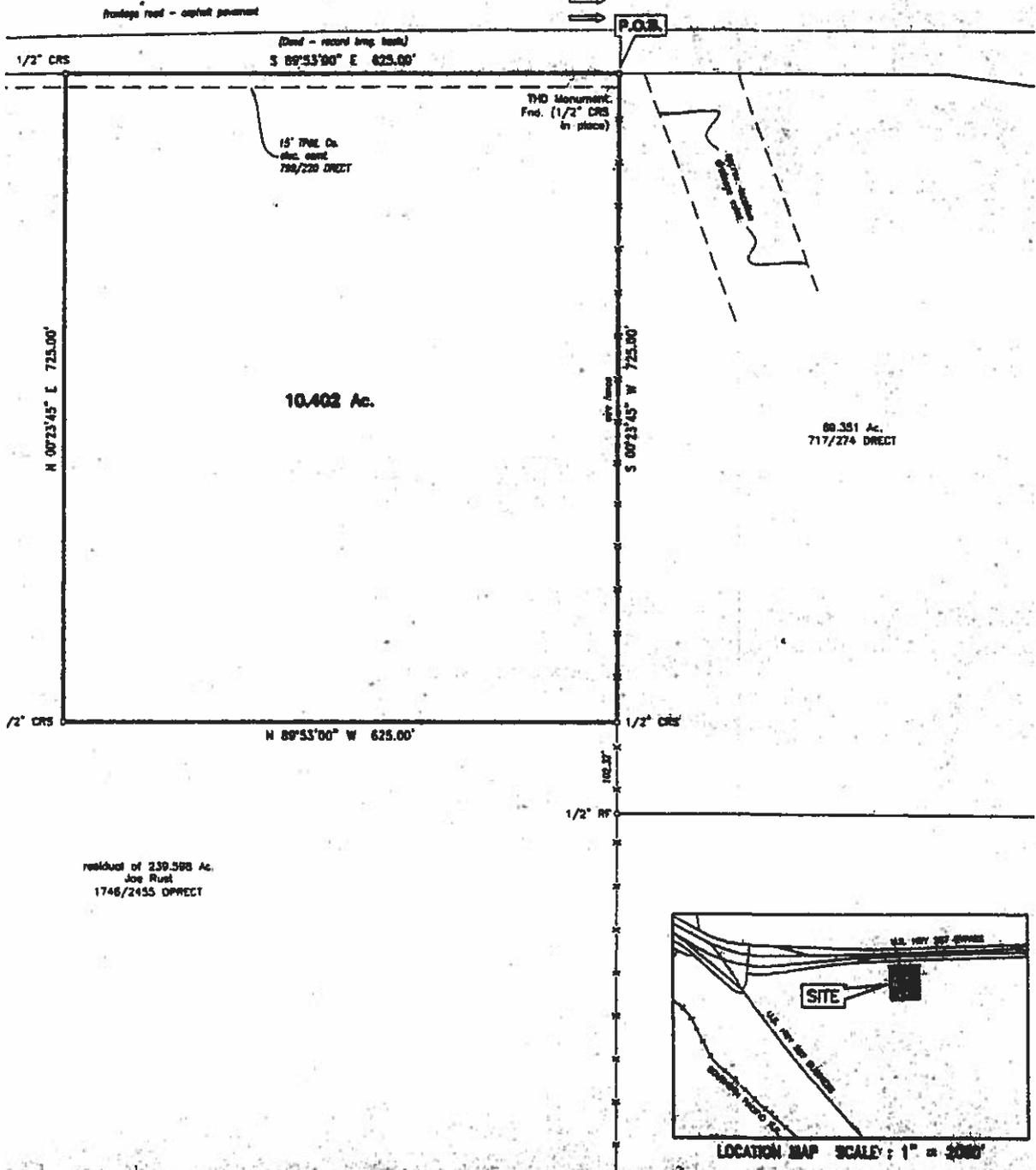
Joe Rust  
440 Gingerbread Lane  
Waxahachie, TX 75165  
Phone: 972-333-4143

EXHIBIT "B"

ZONING PLAT  
EXISTING PD-48 LI-1 ZONING  
PROPOSED PD MF-2 ZONING  
16.944 Acres

U.S. HIGHWAY 287 BYPASS

Variable width R.O.W.



Variable width R.O.W.

N 87°15'00" E 88.93' (Deed - record being based) S 89°53'00" E 829.14'

fringe road - asphalt pavement

P.O.B.

75' TR&C Co. plat. cont. 198/220 DIRECT

100' Minimum Plat. (1/27/08 in place)

EXISTING PD-48 LI-1 ZONING  
PROPOSED PD MF-2 ZONING  
16.944 Acres

(Portion of 238.588 Acres Vol. 1746, Pg. 2452 DIRECT)

N 00°26'36" E 797.54'

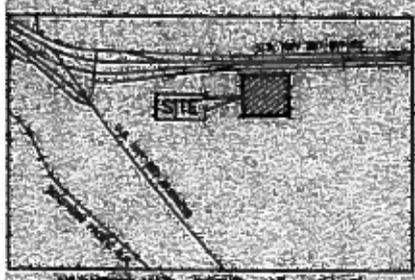
S 00°22'45" W 808.00'

Remainder of 238.588 Acres Vol. 1746, Pg. 2452 DIRECT Existing p. 2b1440

N 89°37'50" W 312.57'

W. C. TRAVEL SERVICE, INC.

Remainder of 238.588 Acres Vol. 1746, Pg. 2452 DIRECT EXISTING PD-48 MF-2 ZONING



LOCATION MAP - SCALE 1" = 2000'

## **EXHIBIT "B"**

### **Concept Plan Provisions**

#### **Purpose and Intent**

The purpose and intent of this Amendment to Ordinance 2296 is to allow for the development of an apartment complex comprised of 188 Class-A units that will functionally serve as a Phase II to The Mark on Conquest apartments located at 2050 Conquest Blvd. Waxahachie, Texas. These 188 units and accompanying improvements will be located on the 10.402 acres identified as PD-MF-2 within Ordinance 2296. Any conditions found within the Multiple Family Residential District-2 (MF-2) zoning district or Zoning Ordinance that are not written herein, shall default to the City of Waxahachie's Code of Ordinances, as amended.

#### **Compliance with the City's Comprehensive Plan**

Zoning District (MF-2) is the intended base zoning classification underlying this PD. The MF-2, Multiple Family Residential District-2, is an attached residential district intended to provide the highest residential density of eighteen (18.08) dwelling units per acre. The principal permitted land uses will include low-rise multiple family dwellings, and apartments. Recreational, religious, health and educational uses normally located to service residential areas are also permitted in this District. This District should be located adjacent to a major thoroughfare and serve as a buffer between retail/commercial development or heavy automobile traffic, and medium or low-density residential development.

#### **PD District Development Standards**

##### ***Description of Request***

- Applicant intends to modify the existing MF zoning requirements as amended under Ordinance 2296 under a Planned Development which will allow for the development of a three (3) story, garden style, "Class-A" apartment complex consisting of eight (8) residential buildings containing 188 units.

##### ***Proposed Use of Property***

- The proposed development is a three (3) story, garden style, "Class-A" apartment complex comprised of eight (8) residential buildings and 188 units, which will seek to match the aesthetic and quality of The Mark on Conquest apartments. In addition to shared amenities with The Mark on Conquest apartments, this 188-unit addition will feature a separate amenity center with workout facilities, resident lounge, full kitchen, and mail room, a pool and grill house, fire pit, separate dog park, detached garages, covered parking, first floor yards, and outdoor flex-amenity areas. Unit interiors will feature 10-foot ceilings, quartz or granite countertops, high-grade LVT flooring, energy efficient appliances, private balconies, built-in study desks, under-cabinet lighting, glass-door showers, and more. The property will be secured by access-controlled perimeter gates and monitored by security cameras. Applicant intends to break ground in late 2020 with expected completion in summer 2022.

### ***General Development Requirements***

- **Site Plan:** The site plan is attached as Exhibit "C"
- **Elevations:** The elevation plan is attached as Exhibit "D"
- **Density:** 18.08 dwelling units per acre (188 units total)
- **Exterior:** The exterior of the project will include brick and cementitious fiber board to substantially match the aesthetic of The Mark on Conquest apartments existing as of the date of this ordinance.
- **Open Space:** Open space shall be provided in accordance with the attached site plan.
- **Setbacks and Buffers:** All setbacks and buffers will be in accordance with the attached site plan.
- **Building Separation:** Minimum building separation between residential buildings shall be a minimum of twenty-seven (27) feet. Minimum building separation between residential buildings and accessory buildings shall be twenty (20) feet. All buildings will have doors or windows and, thus, considered to have "openings" for purposes of this ordinance.
- **Unit Sizes:** The DUA for a one-bedroom unit shall be no less than 568 square feet; provided, however, that the average unit size for all one-bedroom units shall exceed 650 square feet.
- **Roof Pitch:** All dwelling units shall have roof slopes with a minimum of 5:12 pitch to match The Mark on Conquest apartments existing as of the date of this ordinance.
- **Total Parking:** The development shall have no fewer than 1.75 parking spaces per dwelling unit.
- **Covered Parking:** Covered parking shall be provided for no fewer than 50% of the dwelling units and may be a combination of detached garages, tuck-under garages, and carports. Fully enclosed garages shall be provided for no fewer than 20% of the dwelling units.
- **Perimeter Fencing:** Any 100% masonry fencing requirement shall be waived so long as any perimeter fencing matches that of The Mark on Conquest apartments existing as of the date of this ordinance.
- **Landscaping:** For consistency with The Mark on Conquest apartments existing as of the date of this ordinance, the following plant species' inclusion in the landscaping plan shall

be permissible: Lacebark Elm, Indian Hawthorn, Dwarf Wax Myrtle, Autumn Sage, Lindhiemer Muhly, Gulf Muhly, Little Bluestem, Inland Sea Oats, Blue Mealy Sage, Texas Sedge, Mexican Feather Grass, Purple Prairie Verbena, Purple Lantana.

- **Refuse Facility:** The refuse facilities proximity requirements shall be waived so long as a valet trash service is provided to residents.
- **SUP Requirements:** An approved site plan will supersede any Specific Use Permit requirement for any accessory structures identified on such approved site plan.











OWNER / CLIENT:  
 (214) 953-8657  
 CFC@cmwllc.com  
 P.O. BOX 879456, DALLAS,  
 TEXAS 75287  
 CFC HOLDINGS, L.L.C.

Drawn By	Scale
AKC	AS SHOWN

REV	DATE	DESCRIPTION

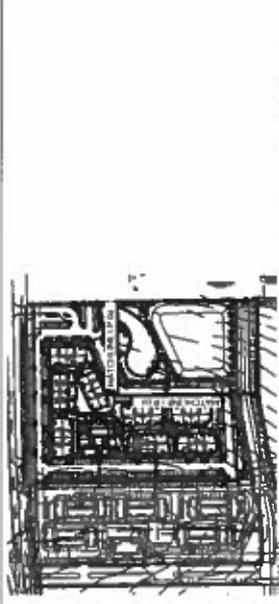


PROJECT:  
 The Oaks at Onyxport  
 A Luxury 140-7-Unit  
 Community  
 220-44-0000

DATE: 08/20/2010  
 DRAWN BY: AKC  
 CHECKED BY: AKC  
 SCALE: AS SHOWN

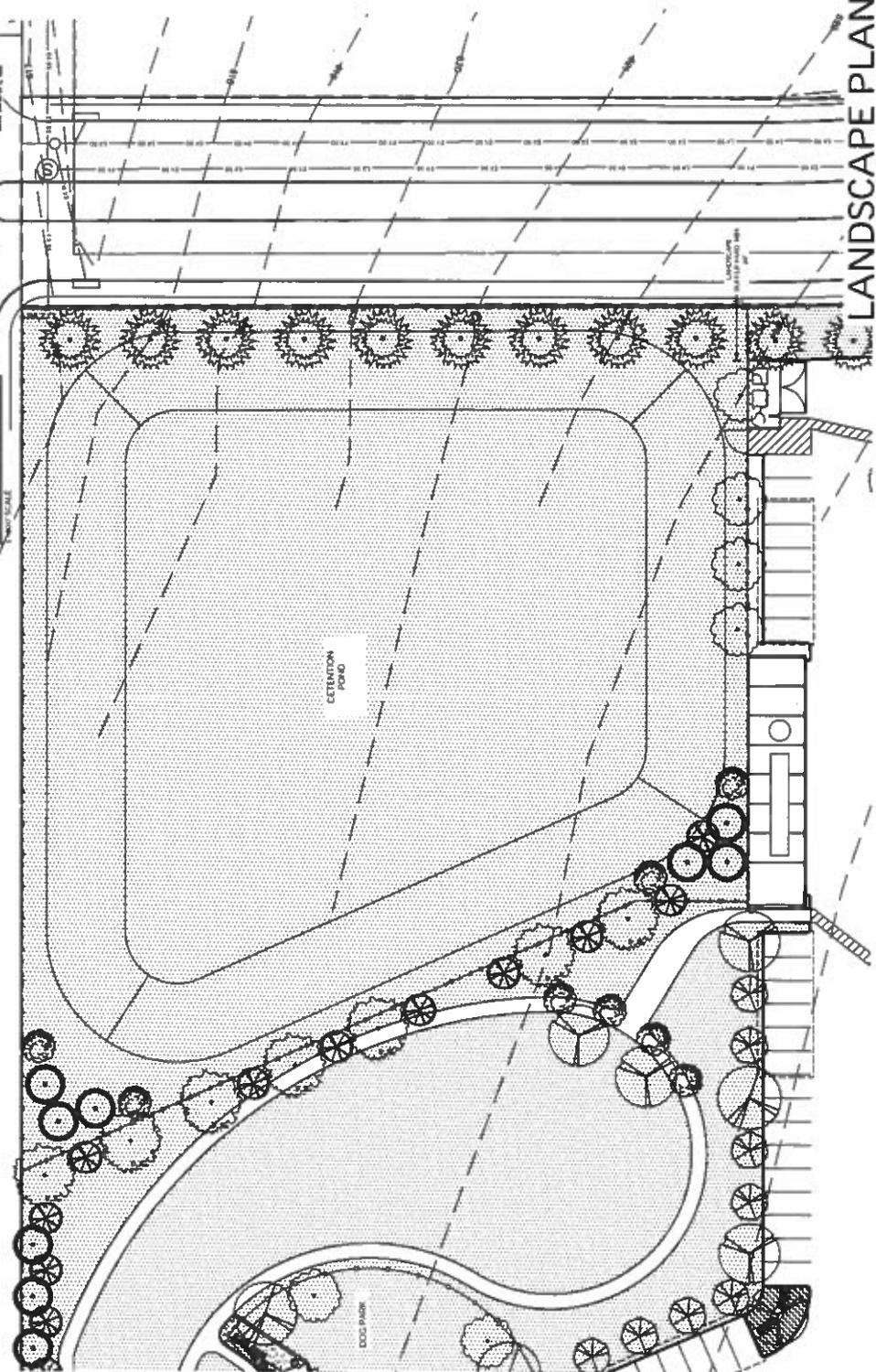
SHEET TITLE:  
 LANDSCAPE PLAN

SHEET NUMBER:  
 LP1.3



**PLANTING LEGEND**

SHRUBS	ORNAMENTAL GRASSES	GROUND COVER	CANDORY TREES	ORNAMENTAL TREES
● RED YUCCA	● LITTLE BLUESTEM	■ TURF GRASS	● LACEBARK ELM	● TEXAS REDBUD
● AUTUMN SAUGE	● SPOONER'S HAWK	■ ARTIFICIAL TURF	● GINGKO	● METACALFUM
● EDWARDS GLOBE ELL	● PALM BEACH GRASS	■ DECOMPOSED GRANITE	● TOUPEE OAK	● EASTERN RED CEDAR
● BRASSIA	● GRASS	■ SILVER ROCK	● BUR OAK	● HATCHEE OAK
● SPYGLASS	● DWARF PINE	■ DECORATIVE PLANTING	● SHOOTING MAPLE	● SHELL
● SPYGLASS	● TEXAS STETSON	■ ARTIFICIAL TURF	● CEDAR	●
● SPYGLASS	● TEXAS STETSON	■ ARTIFICIAL TURF	● CHINESE BORAGE	●



LANDSCAPE PLAN













**MUCASEY & ASSOCIATES**  
Architects

4000 Union Street, Suite 200  
Memphis, Tennessee 38117  
Tel: (901) 238-1261  
Fax: (901) 238-1262  
www.mucasey.com

# THE MARK AT CONQUEST PHASE II

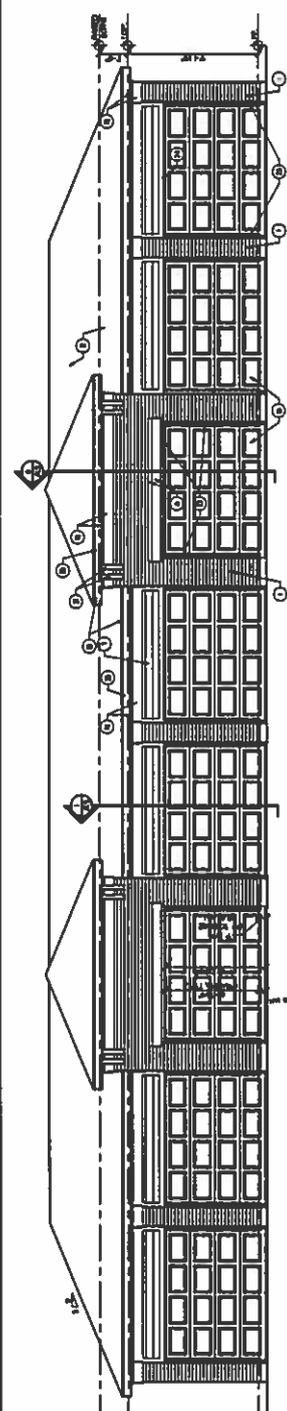
A Luxury Multi-Family Community  
Westmeade, Tennessee  
July 14th, 2016

DATE: 07/14/16
DESIGN BY: MUCASEY & ASSOCIATES
PROJECT NO: 16-0001
DATE: 07/14/16
SCALE: AS SHOWN
PROJECT: THE MARK AT CONQUEST PHASE II
LOCATION: WESTMEADE, TENNESSEE
ARCHITECT: MUCASEY & ASSOCIATES
NO. OF SHEETS: 10
SHEET NO: 10

**A1.6**

- GENERAL NOTES:**
1. See ALL other sheets for details.
  2. All elevations are shown in black lines on a white background.
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- TYPICAL ELEVATION NOTES:**
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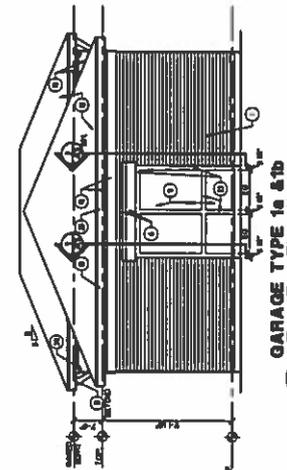


**1** GARAGE TYPES 1a & 1b - Front Elevation  
1/8" = 1'-0"

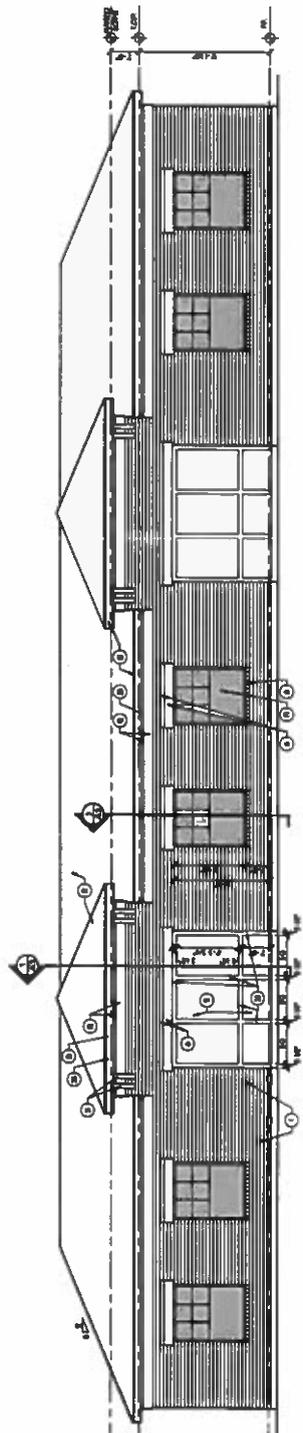
<b>GARAGE TYPE 1a</b>	4x8
<b>MEMBER IDENTIFICATION</b>	3x6
<b>Priority</b>	3x6
<b>Height</b>	3x6

<b>GARAGE TYPE 1b</b>	4x8
<b>MEMBER IDENTIFICATION</b>	3x6
<b>Priority</b>	3x6
<b>Height</b>	3x6



**2** GARAGE TYPE 1a & 1b - TYP. End Elevation  
1/8" = 1'-0"



**3** GARAGE TYPE 1a - Back Elevation  
1/8" = 1'-0"









**MUCASEY**  
Architects  
1000 North 1st Street  
P.O. Box 1000  
Pittsburgh, PA 15219  
Tel: (412) 261-1111  
Fax: (412) 261-1111

# THE MARK AT CONQUEST PHASE II

A Luxury Multi-Family Community  
Washington, Texas  
Job No. 1946

DATE PLOTTED	
DATE PRINTED	
DATE REVISION	
DATE CHECKED	
DATE APPROVED	
DATE	

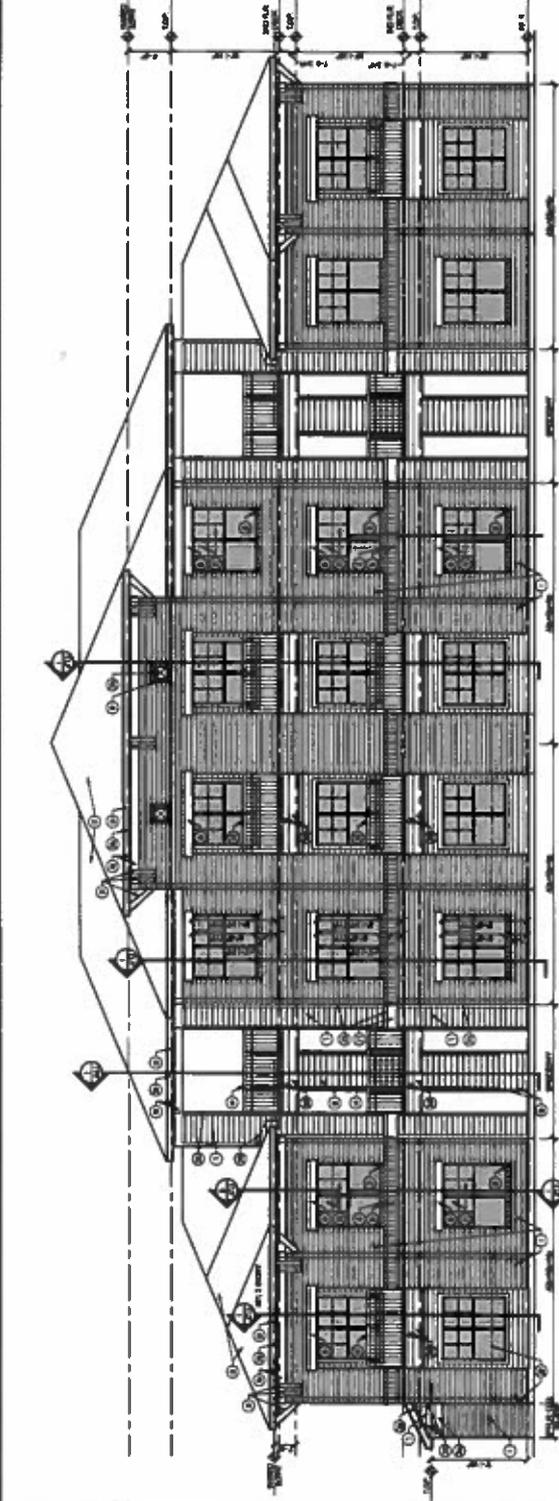
**A4.1**

**GENERAL NOTES:**

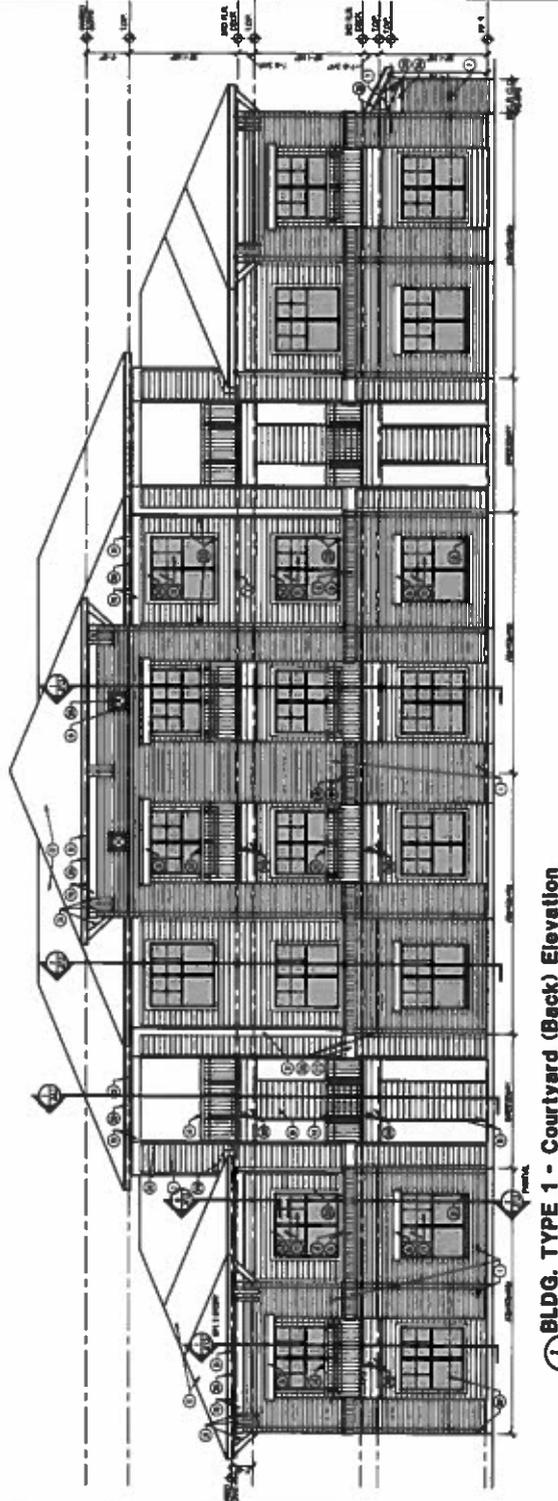
1. See also A4.1, Site Plan, for location of building on site.
2. All elevations are shown as they appear when viewed from the indicated direction.
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**TYPICAL ELEVATION NOTES:**

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**BLDG. TYPE 1**  
**DRIVEWAY (FRONT) ELEVATION**  
Scale: 1/8" = 1'-0"



**BLDG. TYPE 1**  
**COURTYARD (BACK) ELEVATION**  
Scale: 1/8" = 1'-0"

NOT TO SCALE (3/20) NUMBER OF WINDOWS, COLUMNS, TYPE, HEIGHTS, ETC. TO REPRESENT EXACTLY AS PERMITTED BY THE ARCHITECT.















**MUCASEY & ASSOCIATES**  
Architects

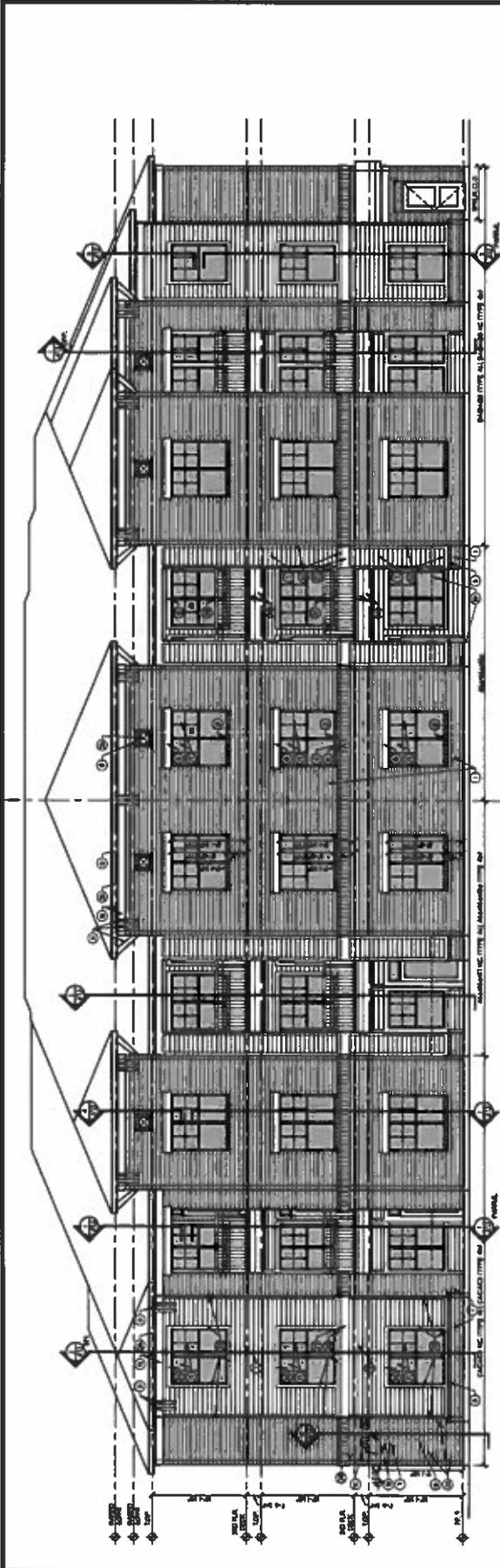
1000 West Loop West, Suite 1000  
Houston, Texas 77027  
Tel: (713) 521-1100  
Fax: (713) 521-1101  
www.mucasey.com

# THE MARK AT CONQUEST PHASE II

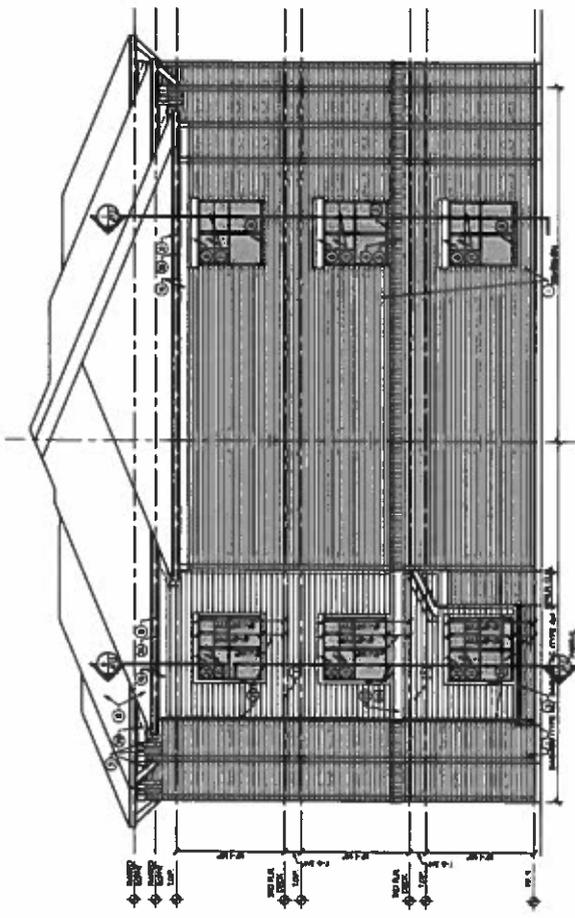
A Luxury Multi-Family Community  
Westlands, Texas  
July 20, 2016

1	DATE PLOTTED	07/20/16
2	DATE CHECKED	07/20/16
3	DATE REVISIONS	
4	DATE APPROVED	
5	DATE ISSUED	
6	DATE	
7	DATE	
8	DATE	
9	DATE	
10	DATE	

**A4.8**



**1. BLDG. TYPES 4a & 4b - Courtyard (Back) Elevation**  
REV: 01/16



**1. BLDG. TYPES 4a & 4b (Sim.) - Left End Elevation**  
REV: 01/16

**GENERAL NOTES:**

1. Review this drawing in conjunction with the General Notes, Section Notes, and Schedule for the project.
2. All dimensions are in feet and inches. Round up to the next 1/4" increment.
3. All elevations are shown in elevation unless otherwise noted.
4. All elevations are shown in elevation unless otherwise noted.
5. All elevations are shown in elevation unless otherwise noted.
6. All elevations are shown in elevation unless otherwise noted.
7. All elevations are shown in elevation unless otherwise noted.
8. All elevations are shown in elevation unless otherwise noted.
9. All elevations are shown in elevation unless otherwise noted.
10. All elevations are shown in elevation unless otherwise noted.

**TYPICAL ELEVATION SECTION NOTES:**

1. All elevations are shown in elevation unless otherwise noted.
2. All elevations are shown in elevation unless otherwise noted.
3. All elevations are shown in elevation unless otherwise noted.
4. All elevations are shown in elevation unless otherwise noted.
5. All elevations are shown in elevation unless otherwise noted.
6. All elevations are shown in elevation unless otherwise noted.
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8. All elevations are shown in elevation unless otherwise noted.
9. All elevations are shown in elevation unless otherwise noted.
10. All elevations are shown in elevation unless otherwise noted.

**BLDG. TYPES 4a & 4b (Sim.) - Left End Elevation**  
REV: 01/16



