

**NOTICE OF PLANNING & ZONING COMMISSION BRIEFING SESSION**  
**JUNE 26, 2018**  
**CITY COUNCIL CONFERENCE ROOM**  
**401 S. ROGERS**  
**WAXAHACHIE TEXAS**  
**6:00 P.M.**

**Agenda**

Commission Members:      Rick Keeler, Chairman  
                                      Melissa Ballard, Vice Chairman  
                                      Betty Square Coleman  
                                      Bonney Ramsey  
                                      Jim Phillips  
                                      Erik Barnard  
                                      David Hudgins

1.      Call to Order
2.      Conduct a briefing to discuss items for the 7:00 p.m. regular meeting
3.      Adjourn

This meeting location is wheelchair-accessible. Parking for mobility impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4005 or (TDD) 1-800-RELAY TX

# **A G E N D A**

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, June 26, 2018 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman  
Melissa Ballard, Vice Chairman  
Betty Square Coleman  
Bonney Ramsey  
Jim Phillips  
Erik Barnard  
David Hudgins

1. Call to Order
2. Invocation
3. Consent Agenda

All matters listed under Item 3, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a. Minutes of the regular Planning & Zoning Commission meeting of June 12, 2018
  - b. Minutes of the Planning & Zoning Commission briefing of June 12, 2018
  - c. Request by Mike Riley, Aspen Heights Construction, for a **Final Plat** of Aspen Heights for 1 lot, being 17.820 acres in the Emory W. Rogers Survey, Abstract 896 (Property ID 256879, 268390, 268389) – Owner: BRECKENRIDGE GROUP WAXAHACHIE TEXAS LP (FP-18-0105)
4. **Consider** request by Kars Tamminga for a **Final Plat** of Pioneer Point Phase 1 and 2 for 20 lots, being 29.068 acres situated in the Charles Atteberry Survey, Abstract 10 (Property ID 210780) in the Extra Territorial Jurisdiction – Owner: TAMMINGA FAMILY PRTNSP LTD (FP-18-0097)
5. **Consider** request by Wes Dorough, JH-Development LLC, for a **Final Plat** of The Cove Phase Two for 94 residential and 1 open space lots, being 24.329 acres in the Henry Sange Survey, Abstract 1009, the Robert Russell Survey, Abstract 911, and the Henri Levy Survey, Abstract 629 (Property ID 223031) – Owner: MORITZ INTERESTS LTD (FP-18-0092)
6. **Consider** Landscape Plan for The Cove Phase 2 as a companion to FP-18-0092 – Owner: MORITZ INTERESTS LTD
7. **Consider** Landscape Plan for Sheppard's Place as a companion to PP-17-0157 – Owner: JHDMC, LLC

8. **Public Hearing** on a request by Alyssa Martel, Solar City dba Tesla Energy, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Planned Development-Single Family-2 zoning district, located at 119 Rain Cloud Drive, being LOT 10 BLK Q BUFFALO RIDGE ADDN PH IIIB 0.173 AC (Property ID 267470) - Owner: MAU STEFAN & APRIL ROMAN (SU-18-0090)
9. **Consider** recommendation of Zoning Change No. SU-18-0090
10. **Consider** request by Stan Beard, Buc-ee's Ltd, for a **Preliminary Plat** of Buc-ee's Addition for 4 lots, being 58.72 acres in the Elbert C. Newton Survey, Abstract 790, John Shavor Survey, Abstract 1000, and Peter B. Stout Survey, Abstract 1003 (Property ID 188453) – Owner: 60 WAX RE HOLDINGS, LLC (PP-18-0098)
11. **Consider** request by R. Jay Anthony, AP Land Development LLC, for a **Preliminary Plat** of Springside Estates Phase 1 for 5 residential and 2 non-residential lots, being 88.651 acres situated in the John Collet Survey, Abstract 221 (Property ID 138304, 138712, 138303) in the Extra Territorial Jurisdiction – Owner: AKP STILLWATER PARTNERSHIP and AP WAXAHACHIE LIMITED PARTNERSHIP (PP-18-0094)
12. **Consider** request by R. Jay Anthony, AP Land Development LLC, for a **Final Plat** of Springside Estates Phase 1 for 5 residential and 2 non-residential lots, being 88.651 acres situated in the John Collet Survey, Abstract 221 (Property ID 138304, 138712, 138303) in the Extra Territorial Jurisdiction – Owner: AKP STILLWATER PARTNERSHIP and AP WAXAHACHIE LIMITED PARTNERSHIP (FP-18-0080)
13. **Public Hearing** on a request by Lance Rust, Joe Rust Co., for a Zoning Change from a Planned Development-Single Family-1 zoning district to **Single Family-1** located on Lone Elm Road before the turn near Meadow Crest Drive (Property ID 180711) - Owner: WALKER BRINT & WALKER CLINT (ZC-18-0093)
14. **Consider** recommendation of Zoning Change No. ZC-18-0093
15. **Consider** request by Lance Rust, Joe Rust Co., for a **Preliminary Plat** of Lone Elm Addition for 13 residential lots, being 21.607 acres in the E. H. Belcher Survey, Abstract 143 (Property ID 180711) – Owner: WALKER BRINT & WALKER CLINT (PP-18-0083)
16. **Public Hearing** on a request by Josh Spoerl, Arrive Architecture Group, for a Zoning Change from a General Retail zoning district to **General Retail and Planned Development-Mixed Use Residential, with Concept Plan**, located at NE corner of US 287 Bypass Service Road at FM 813, being 911 R RUSSELL 7.121 ACRES and 911 R RUSSELL 10.6200 ACRES (Property ID 227073 and 138302) - Owner: LYONS AMERICAN SECURITIES INC (PD-18-0074)
17. **Consider** recommendation of Zoning Change No. PD-18-0074

18. *Consider* request by James P. Moon, Attorney and Authorized Representative of Blue Bonnet Trails, LLC, Owner, for a **PETITION TO EXTEND APPROVAL** pursuant to Appendix C – Subdivisions, Section 2.3 – Procedures and Submission Requirements for Preliminary Plat Approval for Blue Bonnet Trail (Property ID 182266 and 182267) – Owner: BLUE BONNET TRAILS LLC (PP-18-0096)
19. *Consider* Landscape Plan for Blue Bonnet Trail as a companion to PP-18-0096 – Owner: BLUE BONNET TRAILS LLC
20. *Continue Public Hearing* on a request by Blain Vinson, Aspen Community Development, for a Zoning Change from a Single Family-3 zoning district to **Planned Development-SF-3, with Concept Plan**, located East of 865 Cantrell Street, being 6 JC ARMSTRONG 17.521 ACRES (Property ID 244351) - Owner: WALKER L GORDON ETAL (PD-18-0059)
21. *Consider* recommendation of Zoning Change No. PD-18-0059
22. *Consider* request by Erik Barnard for a **Replat** of Lots 1 & 2, Block 5, Parkhill Addition, to create Lots 1A, 1B, and 1C, Block 5, Parkhill Addition, 0.407 acres (Property ID 175202) – Owner: BEG PARTNERS LLC (RP-18-0095)
23. *Continue Public Hearing* on a request by the City of Waxahachie to amend Sections 2.1 through 2.10, “Procedures”, of Appendix C, “Subdivisions”, of the City of Waxahachie City Code (TA-18-0089)
24. *Consider* recommendation of Zoning Change No. TA-18-0089
25. Public Comments
26. Adjourn

**The P&Z reserves the right to go into Executive Session on any posted item.**

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.



Planning and Zoning Commission  
June 12, 2018

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, June 12, 2018 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman  
Betty Square Coleman  
Bonney Ramsey  
Jim Phillips  
Erik Barnard  
David Hudgins

Member Absent: Melissa Ballard, Vice Chairman

Others Present: Shon Brooks, Director of Planning  
Kelly Dent, Planner  
James Gaertner, City Engineer  
Tommy Ludwig, Executive Director of Community Development  
Lori Cartwright, City Secretary  
Mary Lou Shipley, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

### 3. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of May 22, 2018
- b. Minutes of the Planning & Zoning Commission Briefing of May 22, 2018

#### **Action:**

*Mrs. Bonney Ramsey moved to approve item a. and b. on the Consent Agenda. Mr. Erik Barnard seconded, All Ayes.*

4. **Consider request by Donnie Tucker, Tucker Surveyors, for a Preliminary Plat of Baker 1 for 1 lot, being 4.00 acres in the T.D. Mason Survey, Abstract 1227 (Property ID 271351) in the Extra Territorial Jurisdiction – Owner: DONNA G BAKER (PP-18-0075)**

Ms. Kelly Dent, Planner, reported the applicant is replatting with the intent to sell. Staff recommended approval subject to removal of all references to County signatures on the Preliminary Plat.

#### **Action:**

*Mr. David Hudgins moved to approve a request by Donnie Tucker, Tucker Surveyors, for a Preliminary Plat of Baker 1 for 1 lot, being 4.00 acres in the T.D. Mason Survey, Abstract 1227 (Property ID 271351) in the Extra Territorial Jurisdiction – Owner: DONNA G BAKER (PP-18-0075) subject to staff comments. Mr. Jim Phillips seconded, All Ayes.*

- 5. Consider request by Donnie Tucker, Tucker Surveyors, for a Final Plat of Baker 1 for 1 lot, being 4.00 acres in the T.D. Mason Survey, Abstract 1227 (Property ID 271351) in the Extra Territorial Jurisdiction – Owner: DONNA G BAKER (FP-18-0076)**

Ms. Dent reported the case is a companion to the above plat. Staff recommended approval subject to removal of all references to County signatures on the Preliminary Plat.

**Action:**

*Mrs. Bonney Ramsey moved to approve a request by Donnie Tucker, Tucker Surveyors, for a Final Plat of Baker 1 for 1 lot, being 4.00 acres in the T.D. Mason Survey, Abstract 1227 (Property ID 271351) in the Extra Territorial Jurisdiction – Owner: DONNA G BAKER (FP-18-0076) subject to staff comments. Mr. Erik Barnard seconded, All Ayes.*

- 6. Consider request by Vayne Thomas, P.O.M. Contracting LLC, for a Replat of Lot 5 and 6, Block 13, Harriet I. Nowlin Addition, to create Lot 5R, Block 13 0.619 acres (Property ID 175065) – Owner: WAYNE SUTTON (RP-18-0086)**

Ms. Dent stated the applicant is making two lots into one. She reported the applicant needs to include the deed information in the text, remove the building lines from the plat and include the zoning for this property and all contiguous properties. She stated staff has reached out to the applicant and has not heard back.

**Action:**

*Mrs. Betty Square Coleman moved to approve a request by Vayne Thomas, P.O.M. Contracting LLC, for a Replat of Lot 5 and 6, Block 13, Harriet I. Nowlin Addition, to create Lot 5R, Block 13 0.619 acres (Property ID 175065) – Owner: WAYNE SUTTON (RP-18-0086) subject to staff comments. Mr. David Hudgins seconded, All Ayes.*

- 7. Public Hearing on a request by Terry Gyde, Born 2 B A Blessing Birth Services, for a Specific Use Permit (SUP) for Medical Facilities use within a Commercial zoning district, located at 612 S. Rogers Street, being 2 20 BULLARD 0.454 ACRES (Property ID 172376) - Owner: JACK & LAURA HODGE (SU-18-0085)**

Chairman Keeler opened the Public Hearing.

Ms. Dent reported the applicant seeks to establish a birthing center at the site noting a medical facility is permitted to operate within the Commercial zoning district with a Specific Use Permit to operate. The applicant is requesting relief from the need to provide eight (8) paved parking spaces. The site currently has gravel parking and enough stacking for seven (7) vehicles. She stated the applicant asked that the drive remain gravel and kept maintained.

Ms. Terry Gyde, Born 2 B A Blessing, midwife, was present.

There being no others to speak for or against SU-18-0085, Chairman Keeler closed the Public Hearing.

**8. Consider recommendation of Zoning Change No. SU-18-0085**

**Action:**

*After further discussion, Mr. Jim Phillips moved to approve a request by Terry Gyde, Born 2 B A Blessing Birth Services, for a Specific Use Permit (SUP) for Medical Facilities use within a Commercial zoning district, located at 612 S. Rogers Street, being 2 20 BULLARD 0.454 ACRES (Property ID 172376) - Owner: JACK & LAURA HODGE (SU-18-0085) subject to staff comments. Mr. David Hudgins seconded, All Ayes.*

**9. Consider request by Joe Wilson, for a Preliminary Plat of Wilson Family Farm for 1 lot, being 12.273 acres in the T. Mason Survey, Abstract 127 (Property ID 266860) – Owner: WILSON JOSEPH D & MISTY L WILSON (PP-18-0068)**

Ms. Dent reported the property is partially in the ETJ noting the owner is platting to build a house on the city side. She reported the applicant has submitted revisions and all comments have been addressed. Staff recommended approval as presented.

**Action:**

*Mr. David Hudgins moved to approve a request by Joe Wilson, for a Preliminary Plat of Wilson Family Farm for 1 lot, being 12.273 acres in the T. Mason Survey, Abstract 127 (Property ID 266860) – Owner: WILSON JOSEPH D & MISTY L WILSON (PP-18-0068) as presented. Mr. Erik Barnard seconded, All Ayes.*

**10. Consider request by Joe Wilson, for a Final Plat of Wilson Family Farm for 1 lot, being 12.273 acres in the T. Mason Survey, Abstract 127 (Property ID 266860) – Owner: JOSEPH D WILSON & MISTY L WILSON (FP-18-0091)**

Ms. Dent stated this is a companion case to Item 9. She reported the cash in lieu of park land dedication is set at \$400.00 and payment is needed prior to filing the plat. Staff recommended approval.

**Action:**

*Mrs. Bonney Ramsey moved to approve a request by Joe Wilson, for a Final Plat of Wilson Family Farm for 1 lot, being 12.273 acres in the T. Mason Survey, Abstract 127 (Property ID 266860) – Owner: JOSEPH D WILSON & MISTY L WILSON (FP-18-0091) subject to staff comments. Mr. Erik Barnard seconded, All Ayes.*

**11. Consider request by Chris Acker, Acker Construction, for a Final Plat of Dental Place Addition for 2 lots, being 2.081 acres situated in the John Gooch Survey, Abstract 393 (Property ID 184243) – Owner: INDIAN DRIVE HOLDINGS LLC (FP-18-0058)**

Ms. Dent reported the applicant needs to verify whether the sewer line along the southern border is to be public or private and ensure the plat drawing reflects that.

**Action:**

*After a brief discussion, Mr. Jim Phillips moved to approve a request by Chris Acker, Acker Construction, for a Final Plat of Dental Place Addition for 2 lots, being 2.081 acres situated in the John Gooch Survey, Abstract 393 (Property ID 184243) – Owner: INDIAN DRIVE HOLDINGS LLC (FP-18-0058) subject to staff comments. Mr. David Hudgins seconded, All Ayes.*

- 12. Consider request by Dustin Jordan for a Replat of Tract 9A, Whispering Meadows Addition, to create Lots 1 through 4, Boyce Farms, 4.997 acres (Property ID 210307) in the Extra Territorial Jurisdiction – Owner: A GARRETT REAL ESTATE VENTURES LLC & KDJ INVESTMENTS LLC (RP-18-0084)**

Chairman Keeler announced the applicant withdrew their application.

- 13. Consider request by Mickey Williams, Straightway Church, for a Replat of Lots 37 and 38, Highland Park Addition, to create Lot 37A, Highland Park Addition, 0.241 acre (Property ID 174037) – Owner: STRAIGHTWAY NONDENOMINATIONAL (RP-18-0073)**

Ms. Dent reported the applicant seeks to combine two (2) lots into one (1). She stated the applicant has submitted a petition for relief with regards to the twelve (12) foot right-of-way dedication required along Perry Avenue. Staff recommended approval per staff comments.

**Action:**

*Mrs. Betty Square Coleman moved to approve a request by Mickey Williams, Straightway Church, for a Replat of Lots 37 and 38, Highland Park Addition, to create Lot 37A, Highland Park Addition, 0.241 acre (Property ID 174037) – Owner: STRAIGHTWAY NONDENOMINATIONAL (RP-18-0073) subject to staff comments. Mrs. Bonney Ramsey seconded, All Ayes.*

- 14. Continue Public Hearing on a request by Blain Vinson, Aspen Community Development, for a Zoning Change from a Single Family-3 zoning district to Planned Development-SF-3, with Concept Plan, located East of 865 Cantrell Street, being 6 JC ARMSTRONG 17.521 ACRES (Property ID 244351) - Owner: WALKER L GORDON ETAL (PD-18-0059)**

Chairman Keeler continued the Public Hearing.

Ms. Dent stated the applicant requests to continue the Public Hearing to June 26, 2018.

- 15. Consider recommendation of Zoning Change No. PD-18-0059**

**Action:**

*Mrs. Bonney Ramsey moved to continue a request by Blain Vinson, Aspen Community Development, for a Zoning Change from a Single Family-3 zoning district to Planned Development-SF-3, with Concept Plan, located East of 865 Cantrell Street, being 6 JC ARMSTRONG 17.521 ACRES (Property ID 244351) - Owner: WALKER L GORDON ETAL*

*(PD-18-0059) to the Planning and Zoning Commission meeting of June 26, 2018. Mrs. Betty Square Coleman seconded, All Ayes.*

**16. Public Hearing on a request by the City of Waxahachie to amend Sections 2.1 through 2.10, "Procedures", of Appendix C, "Subdivisions", of the City of Waxahachie City Code (TA-18-0089)**

Chairman Keeler opened the Public Hearing.

Ms. Dent stated the applicant requests to continue the Public Hearing to June 26, 2018.

**17. Consider recommendation of Zoning Change No. TA-18-0089**

**Action:**

*Mrs. Betty Square Coleman moved to continue a request by the City of Waxahachie to amend Sections 2.1 through 2.10, "Procedures", of Appendix C, "Subdivisions", of the City of Waxahachie City Code (TA-18-0089) to the Planning and Zoning Commission meeting of June 26, 2018. Mr. Erik Barnard seconded, All Ayes.*

**18. Consider request by Jaison Stephen, Jacobs Engineering Group, Inc, for a Preliminary Plat of Harlan Village for 233 lots and 12 open space lots, being 77.70 acres in the Thomas Shelby Survey, Abstract 1002 (Property ID 191092) – Owner: HARLAN PROPERTIES INC (PP-18-0050)**

Ms. Dent reported the cash in lieu of park land dedication is \$92,000.00. She reported the Thoroughfare Plan depicts 90 foot right-of-way and applicant proposed to make it 60 foot to not lose lots. She stated the primary outstanding comments pertain to engineering. Mr. Gaertner reviewed concerns noting the outstanding comments can be addressed at the construction stage.

**Action:**

*After further discussion, Mr. Jim Phillips moved to approve a request by Jaison Stephen, Jacobs Engineering Group, Inc, for a Preliminary Plat of Harlan Village for 233 lots and 12 open space lots, being 77.70 acres in the Thomas Shelby Survey, Abstract 1002 (Property ID 191092) – Owner: HARLAN PROPERTIES INC (PP-18-0050) subject to staff comments. Mrs. Bonney Ramsey seconded. The vote was as follows: **Ayes:** Rick Keeler, Bonney Ramsey, Jim Phillips, Erik Barnard, David Hudgins. **Noes:** Betty Square Coleman. **The motion carried 5-1***

**19. Consider Landscape Plan for Harlan Village as a companion to PP-18-0050 – Owner: HARLAN PROPERTIES INC**

Ms. Dent presented the landscape plan.

Mr. Jaison Stephen, Jacobs Engineering, applicant, stated there will be large canopy trees.

Mrs. Bonney Ramsey asked Mr. Stephen to incorporate Crape Myrtle trees into the landscape.

**Action:**

*Mrs. Bonney Ramsey moved to approve a Landscape Plan for Harlan Village as a companion to PP-18-0050 – Owner: HARLAN PROPERTIES INC subject to staff comments and add Crape Myrtle trees to the landscape plan. Mrs. Betty Square Coleman seconded, All Ayes.*

- 20. Public Hearing on a request Kyle Hunt, Hunt Restoration, for a Specific Use Permit (SUP) for Accessory Building (Residential) greater or equal to 700 S.F. use within a Planned Development-28-General Retail zoning district, located at 520 N. College Street, being LOT 26 & PT 27 BLK 9 TOWN - WAXAHACHIE 0.471 AC (Property ID 170713) - Owner: BILLY L & SHARON G DUNCAN (SU-18-0087)**

Chairman Keeler opened the Public Hearing.

Ms. Dent reported the applicant seeks to convert an existing garage into an accessory dwelling unit. An existing shed will be demolished and replaced with a garage. Staff recommended approval as presented.

There being no others to speak for or against SU-18-0087, Chairman Keeler closed the Public Hearing.

- 21. Consider recommendation of Zoning Change No. SU-18-0087**

**Action:**

*Mr. Jim Phillips moved to approve a request by Kyle Hunt, Hunt Restoration, for a Specific Use Permit (SUP) for Accessory Building (Residential) greater or equal to 700 S.F. use within a Planned Development-28-General Retail zoning district, located at 520 N. College Street, being LOT 26 & PT 27 BLK 9 TOWN - WAXAHACHIE 0.471 AC (Property ID 170713) - Owner: BILLY L & SHARON G DUNCAN (SU-18-0087) as presented. Mr. David Hudgins seconded, All Ayes.*

- 22. Continue Public Hearing on a request by Grant Robinson, CPG Homes LLC, for a Zoning Change from a Multi-Family-2 zoning district to Planned Development-Multi-Family-2, with Concept Plan, located East of new Waxahachie High School, being 1080 WM C TUNNELL 6.536 ACRES (Property ID 264879) - Owner: THE MARK ON 287 OWNER LLC (PD-18-0048)**

Chairman Keeler continued the Public Hearing.

Ms. Dent reported the applicant seeks to replace a current Planned Development (Ordinance No. 2296) with a new Planned Development that reduces the standards required to construct apartment homes. In Ordinance 2296, this property is required to comply with the minimum density, coverage, height, parking and area standards specified by the Multi-Family-2 zoning district. The applicant has proposed increased density and decreased garage parking not meeting the 50% minimum enclosed attached garages per Ordinance. Ms. Dent stated the applicant proposed 30 enclosed attached garages. She stated the side yard setback adjacent to Multi-Family or Non-Residential is 100 feet and applicant proposed 58 feet. Staff reported the City remains concerned about the proposed density, garaging, open space, setbacks, building

separation, and provision for dumpsters. If the development does dedicate the proposed ROW along the southern edge of the property, the density will increase from the currently proposed 21.44 units per acres.

Mr. Chris Acker, 5100 Honeysuckle Road, Midlothian, reported the school district is agreeable with the new thoroughfare layout. He requested higher density and giving the City the ROW dedication to the back road. Mr. Acker stated he added 84 covered parking spaces to offset the 50% attached garages. He stated everything facing the road will be 100% masonry.

A lengthy discussion was held.

There being no others to speak for or against PD-18-0048, Chairman Keeler closed the Public Hearing.

### **23. Consider recommendation of Zoning Change No. PD-18-0048**

**Action:**

*Mr. Jim Phillips moved to approve a request by Grant Robinson, CPG Homes LLC, for a Zoning Change from a Multi-Family-2 zoning district to Planned Development-Multi-Family-2, with Concept Plan, located East of new Waxahachie High School, being 1080 WM C TUNNELL 6.536 ACRES (Property ID 264879) - Owner: THE MARK ON 287 OWNER LLC (PD-18-0048) subject to staff comments. Mrs. Bonney Ramsey seconded, **All Ayes.***

Mr. Phillips stated he would like to amend his motion.

**Action:**

*Mr. Jim Phillips moved to consider his previous motion. Mr. Erik Barnard seconded, **All Ayes.***

**Action:**

*Mr. Jim Phillips moved to approve a request by Grant Robinson, CPG Homes LLC, for a Zoning Change from a Multi-Family-2 zoning district to Planned Development-Multi-Family-2, with Concept Plan, located East of new Waxahachie High School, being 1080 WM C TUNNELL 6.536 ACRES (Property ID 264879) - Owner: THE MARK ON 287 OWNER LLC (PD-18-0048) subject to staff comments and requirement of 84 covered parking units subject to Fire Department approval and adding the requirement of 100% masonry on 4 sides. Mrs. Bonney Ramsey seconded, **All Ayes.***

### **24. Public Hearing on a request by Verlin Taylor, VKT Associates, for a Zoning Change from a Commercial zoning district to Planned Development-Commercial, with Concept Plan, located at 1501 Dr. Martin Luther King Jr Blvd., being 272 S M DURRETT 0.3426 ACRES (Property ID 182074) - Owner: VKT ASSOCIATES LLC (PD-18-0079)**

Chairman Keeler opened the Public Hearing.

Ms. Dent reported the applicant seeks to establish a food truck park business at the site to serve nearby residents and businesses. The food truck park would be open three days per week

(Thursday through Saturday). She reported there are a number of concerns with the development as proposed, including parking and circulation within the site. Staff does not support a plan for restaurant services outside the Central Area that do not include on-site parking. Since this is a requirement in Commercial zoning districts, the City has the duty to ensure that traffic to a site is contained within that site and the City's wish is to avoid the risk of customers parking along Graham Street. Staff recommended denying due to City requirements not being met.

Mr. Verlin Taylor, 2787 N. Richard Street, Dallas, applicant, addressed the parking concern and stated the intent is for customers to walk to the site. He stated the site will be permanent with food trucks.

A lengthy discussion was held and the Commission expressed concern with parking and securing the area to keep vehicles out of the pedestrian area.

There being no others to speak for or against PD-18-0079, Chairman Keeler closed the Public Hearing.

**25. Consider recommendation of Zoning Change No. PD-18-0079**

**Action:**

*After further discussion, Mr. Jim Phillips moved to reopen the Public Hearing on PD-18-0079. Mrs. Bonney Ramsey seconded, All Ayes.*

**Action:**

*Mr. Jim Phillips moved to continue the public hearing on a request by Verlin Taylor, VKT Associates, for a Zoning Change from a Commercial zoning district to Planned Development-Commercial, with Concept Plan, located at 1501 Dr. Martin Luther King Jr Blvd., being 272 S M DURRETT 0.3426 ACRES (Property ID 182074) - Owner: VKT ASSOCIATES LLC (PD-18-0079) to the Planning and Zoning Commission meeting of July 24, 2018. Mrs. Bonney Ramsey seconded, All Ayes.*

**26. Continue Public Hearing on a request by Barb Hall, Ervin USA, for a Specific Use Permit (SUP) for Trailer, Truck Sales or Rental use within a Light Industrial-2 and Future Development zoning district, located at 4675 N Interstate 35, being 790 EC NEWTON 29.74 ACRES (Property ID 188460) - Owner: LUIS ESTRADA (SU-18-0054)**

Chairman Keeler continued the Public Hearing.

Ms. Dent reported the applicant operates a trailer and truck rental and sales business at this site. The SUP to continue the use expires on January 1, 2019. The applicant would like to continue the usage at the site; however the use and the maintenance of the site are not in compliance with the City's future land use plan. Additionally, the parking lot at the site is unpaved with trailers parked on the gravel, dirt and grass.

Mr. Greg Ervin, 609 North Ohio Street, Toledo, Illinois, representing the applicant and Mr. Walter Estrada, 115 Parks, Red Oak, son of applicant was present.



Mr. Ervin stated after they applied for a SUP they decided it was not feasible to have concrete and did not bring in trailers to sale and since they did not sale trailers they assumed landscaping was not required.

Those who spoke against SU-18-0054:

Ms. Paulette Schwing, 521 Oak Dell Lane, Red Oak

The Commission held a lengthy discussion and it was determined the applicant is not in compliance on several levels on the property. Staff recommended denying.

There being no others to speak for or against SU-18-0054, Chairman Keeler closed the Public Hearing.

**27. Consider recommendation of Zoning Change No. SU-18-0054**

**Action:**

*Mr. Jim Phillips moved to deny a request by Barb Hall, Ervin USA, for a Specific Use Permit (SUP) for Trailer, Truck Sales or Rental use within a Light Industrial-2 and Future Development zoning district, located at 4675 N Interstate 35, being 790 EC NEWTON 29.74 ACRES (Property ID 188460) - Owner: LUIS ESTRADA (SU-18-0054) with specific comments back to staff and to the applicant that this Commission would highly recommend that they look at the 2015 Specific Use Permit standards as a minimal to which this Commission will consider the question in the future. Mrs. Betty Square Coleman seconded, All Ayes.*

**28. Consider request by Joseph Willrich, BEFCO Engineering Inc, for a Preliminary Plat of Sterrett Industrial Addition for 1 lot, being 9.686 acres in the William B. Haynes Survey, Abstract 486 and the LB Outlaw Survey, Abstract 10 (Property ID 203820, 194221, and 188699) – Owner: M & M INVESTMENTS (PP-18-0081)**

Ms. Dent reported the location is the former Magnablend site noting the cash in lieu of park land dedication is estimated at \$5,811.60. She noted Rockett Special Utility District has indicated that there water system cannot provide the water flow and pressure for firefighting, therefore the site will have insufficient fire protection. The Fire Department staff have indicated that the proposed use is less intensive than the previous use, in addition to being located a large distance from other buildings. Additional construction on site will require compliance with Fire Department requirements. Staff recommended approval per staff comments.

**Action:**

*Mr. Jim Phillips moved to approve a request by Joseph Willrich, BEFCO Engineering Inc, for a Preliminary Plat of Sterrett Industrial Addition for 1 lot, being 9.686 acres in the William B. Haynes Survey, Abstract 486 and the LB Outlaw Survey, Abstract 10 (Property ID 203820, 194221, and 188699) – Owner: M & M INVESTMENTS (PP-18-0081) subject to staff comments. Mr. David Hudgins seconded, All Ayes.*

- 29. Consider request by Joseph Willrich, BEFCO Engineering Inc, for a Final Plat of Sterrett Industrial Addition for 1 lot, being 9.686 acres in the William B. Haynes Survey, Abstract 486 and the LB Outlaw Survey, Abstract 10 (Property ID 203820, 194221, and 188699) – Owner: M & M INVESTMENTS (FP-18-0082)**

Ms. Dent reported this is a companion case to Item 28. She stated cash in lieu of park land must be paid before the plat is filed. Staff recommended approval per staff comments.

**Action:**

*Mr. David Hudgins moved to approve a request by Joseph Willrich, BEFCO Engineering Inc, for a Final Plat of Sterrett Industrial Addition for 1 lot, being 9.686 acres in the William B. Haynes Survey, Abstract 486 and the LB Outlaw Survey, Abstract 10 (Property ID 203820, 194221, and 188699) – Owner: M & M INVESTMENTS (FP-18-0082) subject to staff comments. Mrs. Bonney Ramsey seconded, All Ayes.*

- 30. Public Hearing on a request by Stan Beard, Buc-ee's, LTD, for a Zoning Change from a Light Industrial-1 and Future Development zoning district to Planned Development-Commercial, with Concept Plan, located at the SW corner of I-35E and Butcher Road, being 790 E C NEWTON 58.718 ACRES (Property ID 188453) - Owner: 60 WAX RE HOLDINGS, LLC (PD-18-0088)**

Chairman Keeler opened the Public Hearing.

Ms. Dent reported the applicant seeks to build a Buc-ee's Travel Center at the intersection of Butcher and I-35E and is seeking to establish the development standards for that site. She presented a conceptual plan with landscape plan. She noted while the majority of the applicant's requests, the City can support, there remain concerns about the proposed height, setback and size of the pole sign being requested. She reported the pole sign will be 75 feet and 380 square feet, having two poles with masonry.

Mr. Matt Moore, Claymore Engineering, stated the pole has been modified reducing the height and area. He reported the intent is to be a single pole sign and not proposing two poles with masonry. He noted the sign is a logo sign and will not be electronic.

Mr. Stan Beard, Buc-ee's LTD, addressed the pole sign noting they proposed the original pole sign in their package. He stated the Ordinance requires 75 feet height and 300 square feet and asked for 75 feet and 380 square feet. Mr. Beard referenced the landscape and stated they are not at that point in design and will bring back a plan.

The Commission held a lengthy discussion.

Those who spoke for PD-18-0088:

Mr. Alan Fox, 327 University, Waxahachie

Those who spoke against PD-18-0088:

Mr. Doug Crabtree, resident of Waxahachie

Mr. Ron Przbyl, property owner next to proposed Buc-ee's

Ms. Nancy Post, 606 Sycamore Street, Waxahachie

There being no others to speak for or against PD-18-0088, Chairman Keeler closed the Public Hearing.

**31. Consider recommendation of Zoning Change No. PD-18-0088**

**Action:**

*Mrs. Bonney Ramsey moved to approve a request by Stan Beard, Buc-ee's, LTD, for a Zoning Change from a Light Industrial-1 and Future Development zoning district to Planned Development-Commercial, with Concept Plan, located at the SW corner of I-35E and Butcher Road, being 790 E C NEWTON 58.718 ACRES (Property ID 188453) - Owner: 60 WAX RE HOLDINGS, LLC (PD-18-0088) subject to staff comments. Mr. Erik Barnard seconded, **All Ayes.***

**32. Public Comments**

None

**33. Adjourn**

There being no further business, the meeting adjourned at 9:55 p.m.

Respectfully submitted,

Lori Cartwright  
City Secretary

Planning and Zoning Commission  
June 12, 2018

The Waxahachie Planning & Zoning Commission held a briefing session on Tuesday, June 12, 2018 at 6:00 p.m. in the City Council Conference Room at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman  
Bonney Ramsey  
Jim Phillips  
Erik Barnard  
David Hudgins

Member Absent: Melissa Ballard, Vice Chairman  
Betty Square Coleman

Others Present: Shon Brooks, Director of Planning  
Kelly Dent, Planner  
James Gaertner, City Engineer  
Tommy Ludwig, Executive Director of Development Services  
Lori Cartwright, City Secretary

Others Absent: Mary Lou Shipley, Council Representative

**1. Call to Order**

Chairman Rick Keeler called the meeting to order.

**2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting**

Mr. Shon Brooks, Director of Planning, reviewed a request for Preliminary Plat (PP-18-0050) noting there are 230 lots. The Thoroughfare Plan depicts 90 foot right-of-way and applicant proposed to make it 60 foot to not lose lots. The applicant proposes to pay cash in lieu of park dedication. The landscape plan will need to be reformatted. Staff reviewed outstanding comments pertaining to engineering.

Staff reviewed a request for a Specific Use Permit (SUP) for an Accessory Building (Residential) (SU-18-0087) noting the house fronts College Street. The applicant seeks to convert an existing garage into an accessory dwelling unit. An existing shed will be demolished and replaced with a garage.

Staff reviewed a request for Planned Development-Multi-Family-2 with Concept Plan (PD-18-0048) noting the applicant wants to replace their current PD Ordinance. The applicant seeks to increase the density and decrease the garage requirements. Mr. Brooks stated WISD removed their letter of opposition and they will build the north/south road up to their entrance. He stated the concern is density.

Staff reviewed a request for Planned Development-Commercial with Concept Plan (PD-18-0079) noting the applicant seeks to establish a food truck park business at the site to serve nearby residents and businesses. City issues include: vehicular circulation, parking, trash and restrooms.

Staff reviewed a request for a SUP for Trailer, Truck Sales or Rental use within a Light Industrial-2 and Future Development zoning district (SU-18-0054) noting the applicant has applied for a Certificate of Occupancy with the intent being sales and leasing. The current SUP expires in January 2019. The site initially was covered in gravel, has not been maintained and landscape is not in place. The applicant has not been in compliance.

Staff reviewed a request for a Preliminary Plat (PP-18-0081) and Final Plat (FP-18-0082) noting the zoning was approved at the last meeting. Rockett Water cannot provide water for fire protection. Mr. Brooks stated there are ways the applicant can install fire suppression.

Staff reviewed a request for Zoning Change from a Light Industrial-1 and Future Development zoning district to Planned Development-Commercial with Concept Plan (PD-18-0088) noting the request is for a Buc-ee's. The applicant has modified some of their request. The sign will be 75 feet high and 380 square feet and the applicant is willing to conform with setbacks. The applicant wants a pole sign omitting brick or concrete requirements.

### **3. Adjourn**

There being no further business, the meeting adjourned at 6:57 p.m.

Respectfully submitted,

Lori Cartwright  
City Secretary

# Planning & Zoning Department

## Plat Staff Report

**Case: FP-18-0105**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

Request by Mike Riley, Aspen Heights Construction, for a **Final Plat** of Aspen Heights for 1 lot, being 17.820 acres in the Emory W. Rogers Survey, Abstract 896 (Property ID 256879, 268390, 268389) – Owner: BRECKENRIDGE GROUP WAXAHACHIE TEXAS LP (FP-18-0105)

### CASE INFORMATION

*Applicant:* Mike Riley, Aspen Heights Construction

*Property Owner(s):* Breckenridge Group Waxahachie Texas LLP

*Site Acreage:* 17.820 acres

*Number of Lots:* 1 lot

*Number of Dwelling Units:* 78 units

*Park Land Dedication:* The cash in lieu of park land dedication is estimated at **\$31,200.00** (78 dwellings at \$400.00 per dwelling). This is due before the final plat can be recorded.

*Adequate Public Facilities:* This will have City services.

### SUBJECT PROPERTY

*General Location:* 818 Cantrell

*Parcel ID Number(s):* 256879, 268390, 268389

*Current Zoning:* Planned Development-Multi Family-1 (Ordinance 2885)

*Existing Use:* Currently undeveloped

*Platting History:* PLM2016-30 was approved by City Council on September 6, 2016.

*Site Aerial:*



### STAFF CONCERNS

1. A fifteen (15) foot utility easement is required along street frontage. Due to the ROW dedication, the current easement linework may need to be altered.
2. ROW dedication per Thoroughfare plan (120 foot ROW).
3. 35 foot dedication necessary on the north side of the street.
4. Does not match legal.
5. Does not match plat. What doesn't?

## APPLICANT RESPONSE TO CONCERNS

1. Awaiting applicant response.

## RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
1. A fifteen (15) foot utility easement is required along street frontage. Due to the ROW dedication, the current easement linework may need to be altered.
  2. ROW dedication per Thoroughfare plan (120 foot ROW).
  3. 35 foot dedication necessary on the north side of the street.
  4. Does not match legal.
  5. Does not match plat.

## ATTACHED EXHIBITS

- ### 1. Plat drawing

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

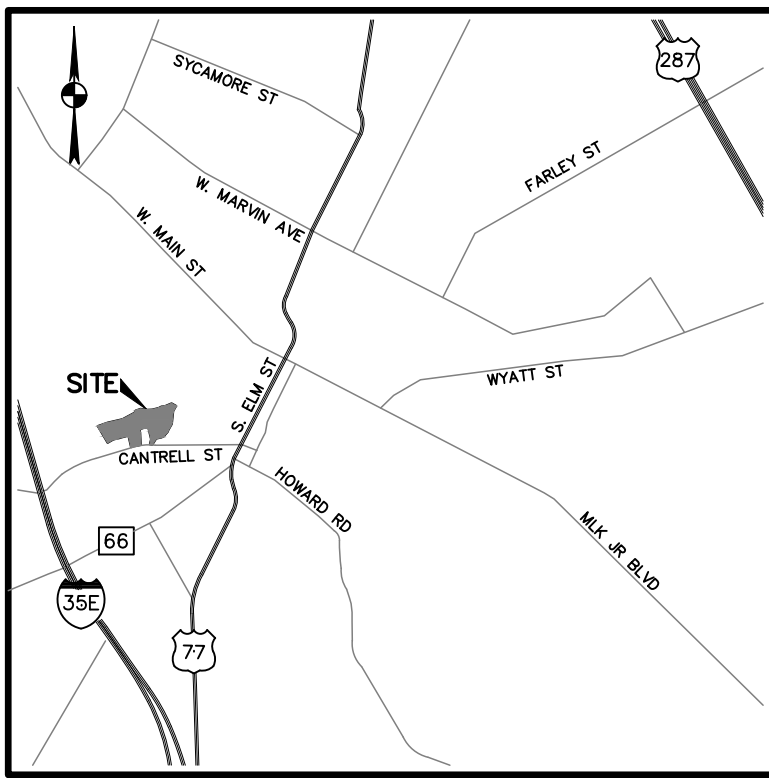
*Reviewed by:*

Shon Brooks, AICP

Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)





VICINITY MAP  
NOT TO SCALE

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 02°54'24" W	15.73'
L2	N 06°31'43" W	30.20'
L3	N 83°28'17" E	15.00'
L4	S 06°31'43" E	30.47'
L5	N 13°57'00" E	17.22'
L6	N 89°47'41" E	41.52'
L7	N 00°11'55" W	30.00'
L8	N 89°48'05" E	15.00'
L9	S 00°11'55" E	30.00'

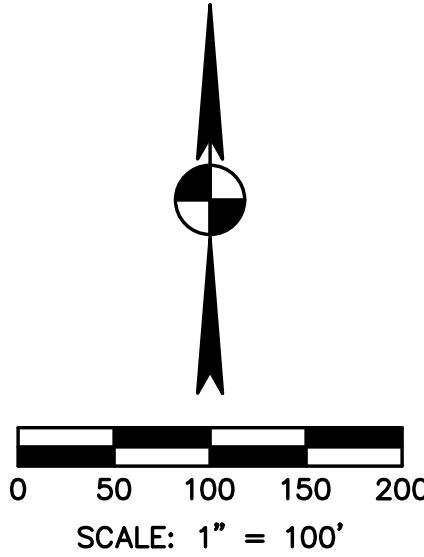
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C1	10.14'	8.98'	64°41'50"	9.61'	N 45°45'05" W
C2	188.40'	216.00'	49°58'31"	182.49'	S 76°54'45" W
C3	13.70'	10.00'	78°30'43"	12.66'	S 12°40'07" W
C4	212.52'	1457.39'	8°21'18"	212.33'	S 81°14'43" W

## GENERAL NOTES

- BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM (NORTH CENTRAL ZONE, NAD 83) BASED ON LEICA GEOSYSTEMS NORTH TEXAS SMARTNET NETWORK, DISTANCES ADJUSTED TO SURFACE USING AN AVERAGE COMBINED SCALE FACTOR OF 0.999927556.
- BY GRAPHICAL PLOTTING ONLY, A PORTION IS WITHIN A SHADED ZONE "X" DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD" AND A PORTION IS WITHIN A NONSHADED ZONE "X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 48139C0190F, DATED JUNE 3, 2013, FOR ELLIS COUNTY, TEXAS AND INCORPORATED AREAS, AND REVISED TO REFLECT LOMR, CASE NUMBER 17-06-0456P, EFFECTIVE AUGUST 8, 2017. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- REFERENCE BENCHMARK:  
  
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 USING GEOID 12A AND REFERENCED TO THE LEICA GEOSYSTEMS NORTH TEXAS SMARTNET GPS NETWORK.
- NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.

## LEGEND

CIRF	5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND, UNLESS NOTED OTHERWISE
CIRF "RPLS 4466"	1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 4466" FOUND
CIRS	5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET, UNLESS NOTED OTHERWISE
IRF	IRON ROD FOUND
R.O.W.	RIGHT-OF-WAY
O.P.R.E.C.T.	OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
D.R.E.C.T.	DEED RECORDS, ELLIS COUNTY, TEXAS
(CM)	CONTROLLING MONUMENT



NORTHING = 6,826,557.63  
EASTING = 2,474,573.07  
ELEVATION = 540.87  
(SEE NOTE 3)

GORDON L. WALKER, et al  
47 ACRE SECOND TRACT  
VOLUME 345, PAGE 376  
O.P.R.E.C.T.

CALLLED 0.5 ACRE  
H. A. PIERCE  
VOLUME 76, PAGE 15 &  
VOLUME 105, PG. 96  
O.P.R.E.C.T.

ZONED: GR

GORDON L. WALKER, et al  
20 ACRE THIRD TRACT  
VOLUME 345, PAGE 376  
D.R.E.C.T.

JAMES C. ARMSTRONG SURVEY  
ABSTRACT NO. 6

GORDON L. WALKER, et al  
20 ACRE THIRD TRACT  
VOLUME 345, PAGE 376  
O.P.R.E.C.T.

ZONED: SF-2

CALLLED 0.5322 ACRE  
FRANKIE DENISE SORIA  
INST. NO. 1726058  
O.P.R.E.C.T.

CALLLED 0.0161 ACRE (TRACT II)  
BRACY JONES &  
CAROL J. HANKERSON  
INST. NO. 1524206  
O.P.R.E.C.T.

ROW dedication per Thoroughfare  
plan (120 foot ROW)  
35 foot dedication necessary on the  
north side of the street

FRANCIS-HAYES  
723, PAGE 1612  
D.R.E.C.T.

OSGIE H. KIRKLAND  
VOLUME 1154, PAGE 934  
D.R.E.C.T.

### OWNER/APPLICANT:

BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP.  
1301 S. CAPITAL OF TEXAS HIGHWAY, SUITE B-201  
AUSTIN, TEXAS 78746  
PH: (512) 369-3030  
CONTACT: MIKE RILEY

### ENGINEER:

STANTEC CONSULTING SERVICES INC.  
12222 MERIT DRIVE, SUITE 400  
DALLAS, TEXAS 75251  
PH: (972) 991-0011  
CONTACT: KYLON WILSON, P.E.

### SURVEYOR:

STANTEC CONSULTING SERVICES INC.  
12222 MERIT DRIVE, SUITE 400  
DALLAS, TEXAS 75251  
PH: (972) 991-0011  
CONTACT: MICHAEL J. MURPHY, R.P.L.S.  
TBPLS REGISTRATION NO. 10194229

## LOT 1, BLOCK A 17.820 ACRES (776,218 SQ. FT.)

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(ORDINANCE NO. 2885)

ZONED: PD-MF-1  
(ORDINANCE NO. 2885)



OWNER'S CERTIFICATE

COUNTY OF ELLIS §

STATE OF TEXAS §

WHEREAS BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP IS THE OWNER OF A 17.820 ACRE (776,218 SQUARE FEET) TRACT OF LAND SITUATED IN THE EMORY W. ROGERS SURVEY, ABSTRACT NUMBER 896, CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING A 18 ACRE TRACT OF A CALLED 38.4658 ACRE TRACT OF LAND DESCRIBED IN A GENERAL WARRANTY DEED TO BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP, RECORDED IN INSTRUMENT NUMBER 1530557, OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS, (O.P.R.E.C.T.) AND BEING ALL OF A CALLED 0.0796 ACRE TRACT OF LAND (TRACT 1), AND A 1.105 ACRE TRACT OF LAND (TRACT 2) DESCRIBED IN A GENERAL WARRANTY DEED TO BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP, RECORDED IN INSTRUMENT NUMBER 1633511, (O.P.R.E.C.T.); SAID 17.820 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 4466" FOUND FOR THE SOUTHEAST CORNER OF SAID 38.4658 ACRE TRACT OF LAND, SAME BEING THE SOUTHWEST CORNER OF A CALLED 0.6028 ACRE TRACT OF LAND DESCRIBED IN A GENERAL WARRANTY DEED TO PEEL COUNTRY, INC., ET AL, RECORDED IN VOLUME 2582, PAGE 2339, O.P.R.E.C.T., AND BEING IN THE NORTHERLY RIGHT-OF-WAY LINE OF CANTRELL STREET (ALSO KNOWN AS FARM TO MARKET ROAD 1446, A CALLED 50-FOOT PUBLIC RIGHT-OF-WAY);

THENCE SOUTH 83°35'52" WEST, ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID CANTRELL STREET, A DISTANCE OF 436.61 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE SOUTHEAST CORNER OF SAID 0.0796 ACRE TRACT OF LAND SAME BEING THE POINT OF BEGINNING;

THENCE SOUTH 89°35'52" WEST, CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, AND ALONG THE SOUTH LINE OF SAID 0.0796 ACRE TRACT OF LAND, A DISTANCE OF 58.12 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE SOUTHWEST CORNER OF SAID 0.0796 ACRE TRACT OF LAND;

THENCE NORTH 13°57'00" EAST, ALONG THE NORTHWESTERLY LINE OF SAID 0.0796 ACRE TRACT OF LAND, A DISTANCE OF 123.22 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" FOUND FOR THE NORTH CORNER OF SAID 0.0796 ACRE TRACT OF LAND, BEING IN THE SOUTHERLY LINE OF SAID 38.4658 ACRE TRACT OF LAND, AND BEING IN THE EASTERLY LINE OF A CALLED 24.224 ACRE TRACT OF LAND DESCRIBED IN A GENERAL WARRANTY DEED TO O. DIANE JOHNSON RECORDED IN VOLUME 1745, PAGE 607, O.P.R.E.C.T.;

THENCE NORTH 13°24'10" WEST, ALONG THE COMMON LINE OF SAID 24.224 ACRE TRACT OF LAND, SAID 38.4658 ACRE TRACT OF LAND, A DISTANCE OF 232.58 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE MOST EASTERLY SOUTHEAST CORNER OF SAID 1.105 ACRE TRACT OF LAND, AND SAID 38.4658 ACRE TRACT OF LAND, SAME BEING THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS HAVING A RADIUS OF 8.98 FEET;

THENCE ALONG THE SOUTH AND EAST LINE OF SAID 1.105 ACRE TRACT OF LAND THE FOLLOWING CALLS:

NORTHWESTERLY WITH SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 64°41'50", FOR AN ARC LENGTH OF 10.14 FEET, A CHORD BEARING OF NORTH 45°45'05" WEST AND A CHORD DISTANCE OF 9.61 FEET TO A 5/8-INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE POINT OF COMPOUND CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS POINT WHICH BEARS SOUTH 11°54'00" WEST, A DISTANCE OF 216.00 FEET;

SOUTHWESTERLY WITH SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 49°58'31", FOR AN ARC LENGTH OF 188.40 FEET, A CHORD BEARING OF SOUTH 76°54'45" WEST AND A CHORD DISTANCE OF 182.49 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE POINT OF COMPOUND CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS POINT WHICH BEARS SOUTH 38°04'31" WEST, A DISTANCE OF 10.00 FEET;

SOUTHWESTERLY WITH SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 78°30'43", FOR AN ARC LENGTH OF 13.70 FEET, A CHORD BEARING OF SOUTH 12°40'07" WEST AND A CHORD DISTANCE OF 12.66 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE POINT OF TANGENCY;

SOUTH 26°35'14" EAST A DISTANCE OF 39.06 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR CORNER;

SOUTH 02°54'24" EAST A DISTANCE OF 269.02 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" FOUND FOR THE MOST SOUTHERN SOUTHEAST CORNER OF SAID 1.105 ACRE TRACT OF LAND, AND BEING IN THE NORTH RIGHT-OF-WAY LINE OF SAID CANTRELL STREET, SAID POINT BEING THE POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS POINT WHICH BEARS SOUTH 04°34'38" EAST, A DISTANCE OF 1457.39 FEET;

THENCE SOUTHWESTERLY ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID CANTRELL STREET WITH SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 08°21'18", FOR AN ARC LENGTH OF 212.52 FEET, A CHORD BEARING OF SOUTH 81°14'43" WEST, A CHORD DISTANCE OF 212.33 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 4466" FOUND FOR AN ANGLE POINT IN THE SOUTH LINE OF SAID 38.4658 ACRE TRACT OF LAND, SAME BEING THE SOUTHEAST CORNER OF A CALLED 1.353 ACRE TRACT OF LAND, DESIGNATED AS TRACT 1 AND DESCRIBED IN A WARRANTY DEED WITH VENDOR'S LIEN WITH MINERAL RESERVATIONS TO BRACY JONES AND CAROL J. HANKERSON-JONES, RECORDED IN INSTRUMENT NUMBER 1524206, O.P.R.E.C.T.;

THENCE ALONG THE COMMON LINE OF SAID 38.4658 ACRE TRACT OF LAND AND SAID 1.353 ACRE TRACT OF LAND THE FOLLOWING CALLS:

NORTH 13°36'36" WEST, A DISTANCE OF 231.96 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR THE NORTHEAST CORNER OF SAID 1.353 ACRE TRACT OF LAND;

SOUTH 75°14'55" WEST, A DISTANCE OF 298.23 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 4466" FOUND FOR THE NORTHWEST CORNER OF SAID 1.353 ACRE TRACT OF LAND, AND BEING IN THE NORTHEASTERLY LINE OF A CALLED 0.5322 ACRE TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY WITH VENDOR'S LEIN TO FRANKIE DENISE SORIA, RECORDED IN INSTRUMENT NUMBER 1725008, O.P.R.E.C.T.;

THENCE NORTH 34°40'21" WEST, ALONG THE COMMON LINE OF SAID 38.4658 ACRE TRACT OF LAND AND SAID 0.5322 ACRE TRACT OF LAND, A DISTANCE OF 7.50 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID 0.5322 ACRE TRACT OF LAND;

THENCE SOUTH 59°39'23" WEST, ALONG THE COMMON LINE OF SAID 38.4658 ACRE TRACT OF LAND AND SAID 0.5322 ACRE TRACT OF LAND, AT A DISTANCE OF 93.26 PASSING THE NORTHWEST CORNER OF SAID 0.5322 ACRE TRACT OF LAND, SAME BEING THE NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A WARRANTY DEED RESERVING LIFE ESTATE TO LINDA KAREN BAGGETT, RECORDED IN INSTRUMENT NUMBER 1604413, O.P.R.E.C.T., CONTINUING ALONG THE COMMON LINE OF SAID 38.4658 ACRE TRACT OF LAND AND SAID BAGGETT TRACT OF LAND, IN ALL FOR A TOTAL DISTANCE OF 164.26 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY" FOUND FOR THE MOST WESTERLY SOUTHWEST CORNER OF SAID 38.4658 ACRE TRACT OF LAND, SAME BEING THE MOST SOUTHERLY SOUTHEAST CORNER OF A CALLED 0.5 ACRE TRACT OF LAND DESCRIBED IN A DEED TO H. A. PIERCE, RECORDED IN VOLUME 76, PAGE 15 AND VOLUME 105, PAGE 96, DEED RECORDS OF ELLIS COUNTY, TEXAS (D.R.E.C.T.);

THENCE NORTH 30°47'47" WEST, ALONG THE COMMON LINE OF SAID 38.4658 ACRE TRACT OF LAND AND SAID 0.5 ACRE TRACT OF LAND, A DISTANCE OF 414.47 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

THENCE DEPARTING SAID COMMON LINE OVER AND ACROSS SAID 38.4658 ACRE TRACT OF LAND THE FOLLOWING CALLS;

NORTH 70°28'04" EAST, A DISTANCE OF 222.55 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 76°29'28" EAST, A DISTANCE OF 321.17 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 61°27'44" EAST, A DISTANCE OF 282.51 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 27°51'39" EAST, A DISTANCE OF 50.97 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 70°03'21" EAST A DISTANCE OF 111.82 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

SOUTH 81°46'08" EAST, A DISTANCE OF 136.51 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 86°52'47" EAST, A DISTANCE OF 111.71 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 75°33'23" EAST, A DISTANCE OF 138.53 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 62°39'56" EAST, A DISTANCE OF 66.28 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

NORTH 85°33'16" EAST, A DISTANCE OF 64.97 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" FOUND FOR CORNER;

NORTH 66°54'10" EAST, A DISTANCE OF 160.61 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" FOUND FOR CORNER;

SOUTH 61°06'53" EAST, A DISTANCE OF 113.31 FEET TO A POINT FOR CORNER IN A WESTERLY LINE OF A CALLED 12.0676 ACRE TRACT OF LAND DESIGNATED AS TRACT TWO, AND DESCRIBED IN A WARRANTY DEED TO SECURE MORE STORAGE CORPORATION, RECORDED IN VOLUME 1388, PAGE 1041, D.R.E.C.T.;

THENCE SOUTH 28°37'25" WEST, ALONG THE COMMON LINE OF SAID 38.4658 ACRE TRACT OF LAND AND SAID 12.0676 ACRE TRACT OF LAND, AT A DISTANCE OF 36.33 FEET PASSING THE MOST WESTERLY CORNER OF SAID 12.0676 ACRE TRACT OF LAND, CONTINUING OVER AND ACROSS SAID 38.4658 ACRE TRACT OF LAND, IN ALL FOR A TOTAL DISTANCE OF 127.89 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

THENCE CONTINUING OVER AND ACROSS SAID 38.4658 ACRE TRACT OF LAND THE FOLLOWING CALLS;

SOUTH 05°52'53" WEST, A DISTANCE OF 271.54 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

SOUTH 29°05'42" WEST, A DISTANCE OF 143.85 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

SOUTH 22°58'41" WEST, A DISTANCE OF 46.31 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

SOUTH 41°34'23" WEST A DISTANCE OF 127.51 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" FOUND FOR CORNER;

SOUTH 63°27'40" WEST, A DISTANCE OF 51.77 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" FOUND FOR CORNER;

SOUTH 77°33'29" WEST, A DISTANCE OF 112.63 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

SOUTH 32°27'57" WEST, A DISTANCE OF 154.31 FEET TO THE POINT OF BEGINNING AND CONTAINING A COMPUTED AREA OF 776,218 SQUARE FEET OR 17.820 ACRES OF LAND, MORE OR LESS.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP, ACTING HEREIN BY AND THROUGH THEIR DULY AUTHORIZED OFFICERS, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS ASPEN HEIGHTS, AN ADDITION TO THE CITY OF WAXAHACHIE, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. THE STREETS AND ALLEYS ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF WAXAHACHIE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF WAXAHACHIE'S USE THEREOF. THE CITY OF WAXAHACHIE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHIE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WAXAHACHIE, TEXAS

WITNESS, MY HAND, THIS THE DAY OF , 2018.

BY: BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP.

AUTHORIZED SIGNATURE OF OWNER

PRINTED NAME AND TITLE

STATE OF TEXAS §  
COUNTY OF §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED OWNER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS DAY OF , 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

OWNER/APPLICANT:

BRECKENRIDGE GROUP WAXAHACHIE TEXAS, LP.  
1301 S. CAPITAL OF TEXAS HIGHWAY, SUITE B-201  
AUSTIN, TEXAS 78746  
PH: (512) 369-3030  
CONTACT: MIKE RILEY

ENGINEER:

STANTEC CONSULTING SERVICES INC.  
12222 MERIT DRIVE, SUITE 400  
DALLAS, TEXAS 75251  
PH: (972) 991-0011  
CONTACT: KYLON WILSON, P.E.

SURVEYOR:

STANTEC CONSULTING SERVICES INC.  
12222 MERIT DRIVE, SUITE 400  
DALLAS, TEXAS 75251  
PH: (972) 991-0011  
CONTACT: MICHAEL J. MURPHY, R.P.L.S.  
TBPLS REGISTRATION NO. 10194229

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS:

THAT I, MICHAEL J. MURPHY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WAXAHACHIE.

MICHAEL J. MURPHY, R.P.L.S.  
TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5724

Preliminary

This document shall not be recorded for any purpose.

For Review Purposes Only

Michael J. Murphy, R.P.L.S.  
Registration No. 5724  
May 30, 2018

CERTIFICATE OF APPROVAL

APPROVED BY: PLANNING AND ZONING COMMISSION, CITY OF WAXAHACHIE

CHAIRPERSON DATE

APPROVED BY: CITY COUNCIL, CITY OF WAXAHACHIE

MAYOR DATE

ATTEST DATE

FINAL PLAT  
ASPEN HEIGHTS  
LOT 1, BLOCK A

SITUATED IN THE EMORY W. ROGERS SURVEY, ABSTRACT NO. 896,  
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

1 LOT- 17.820 ACRES

PREPARATION DATE:  
MAY 30, 2018

STANTEC PROJECT NO. 222210455 SHEET 2 OF 2

Does not match plat

# Planning & Zoning Department

## Plat Staff Report

**Case: FP-18-0097**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by Kars Tamminga for a **Final Plat** of Pioneer Point Phase 1 and 2 for 20 lots, being 29.068 acres situated in the Charles Atteberry Survey, Abstract 10 (Property ID 210780) in the Extra Territorial Jurisdiction – Owner: TAMMINGA FAMILY PRTNSP LTD (FP-18-0097).

### CASE INFORMATION

*Applicant:* Kars Tamminga

*Property Owner(s):* Tamminga Family Partnership LTD

*Site Acreage:* 29.068 acres

*Number of Lots:* 20 lots

*Number of Dwelling Units:* 19 units

*Adequate Public Facilities:* Buena Vista-Bethel has indicated that their existing system can furnish the requested service in conformity with the Texas Commission on Environmental Quality standards for water distribution and the ISO fire flow requirements

### SUBJECT PROPERTY

*General Location:* West of intersection at Richard Road and FM 66, located on North side of FM 66

*Parcel ID Number(s):* 210780

*Current Zoning:* N/A (ETJ)

*Existing Use:* Currently undeveloped

*Platting History:* PLM2014-50 was approved by City Council on February 4, 2015. The extension request for one year was approved

Site Aerial:



### **STAFF CONCERNS**

1. None outstanding.

### **APPLICANT RESPONSE TO CONCERNS**

1. Applicant has submitted revised drawings.

### **RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

### **ATTACHED EXHIBITS**

1. Plat drawing

### **APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

### **STAFF CONTACT INFORMATION**

*Prepared by:*  
Kelly Dent, MPA  
Planner  
[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



OWNER'S CERTIFICATE  
State of Texas  
County of Ellis  
City of Waxahachie

Phase 1

Whereas, Pioneer Point Farms, LLC are the owners of that certain parcel of land being all that certain parcel of land lying in the ETJ of the City of Waxahachie, Texas and being situated in the CHARLES ATTEBERRY SURVEY, ABSTRACT NO. 10, Ellis County, Texas, and being a portion of the 194.502 acre tract of land conveyed to Pioneer Point Farms, LLC by Texas Warranty Deed recorded in Instrument Number 1708565 of the Official Public Records of Ellis County, Texas (OPRECT), and a portion of the 3.262 acre tract of land conveyed to Pioneer Point Farms, LLC by Texas Warranty Deed recorded in Instrument Number 1813740, OPRECT, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the north line of Farm to Market Highway 66 for the southwest corner of said 194.502 tract and the southerly southeast corner of the 1.57 acre tract of land conveyed to Buena Vista – Bethel Water Supply Corporation by Warranty Deed recorded in Volume 1620, Page 1038, OPRECT;

THENCE N 28°08'14" W, along the southerly west line of said 194.502 acre tract and the southerly east line of said 1.57 acre tract, a distance of 394.52 feet to a 1/2" iron rod found with cap for the southerly northwest corner of said 194.502 acre tract and the southwest corner of the 1.07 acre tract of land conveyed to Buena Vista – Bethel Water Supply Corporation by Warranty Deed recorded in Volume 1684, Page 287, OPRECT;

THENCE N 61°52'19" E, along the southerly north line of said 194.502 acre tract and the south line of said 1.07 acre tract, a distance of 267.78 feet to a 1/2" iron rod found with cap for an interior corner of said 194.502 acre tract and the southeast corner of said 1.07 acre tract;

THENCE N 28°04'10" W, along the middle west line of said 194.502 acre tract and the east line of said 1.07 acre tract, a distance of 75.82 feet to a 1/2" iron rod set with cap marked "WLSC RPLS 5331" for the northerly northwest corner of this tract;

THENCE S 59°06'36" E, along the easterly north line of this tract, a distance of 347.81 feet to a 1/2" iron rod set with cap marked "WLSC RPLS 5331" in the east line of said 3.262 acre tract and in the current west line of the 14.78 acre tract land conveyed to Howard K. Bowman by Deed recorded in Volume 1906, Page 1512, OPRECT for the northeast corner of this tract;

THENCE S 30°07'46" E, along the east line of said 3.262 acre tract and the current west line of said 14.78 acre tract, a distance of 469.56 feet to a 1/2" iron rod found with cap marked "WLSC RPLS 5331" in the north line of F.M. 66 for the southeast corner of said 3.262 acre tract and the current southwest corner of said 14.78 acre tract;

THENCE along the south line of said 3.262 acre tract and the westerly south line of said 194.502 acre tract and the north line of F.M. 66 as follows:  
S 59°51'47" W, a distance of 401.53 feet to a 5/8" iron rod found for corner; and  
S 60°56'15" W, a distance of 230.34 feet to the PLACE OF BEGINNING and containing 6.229 acres of land.

Phase 2

Whereas, Pioneer Point Farms, LLC are the owners of that certain parcel of land being all that certain parcel of land lying in the ETJ of the City of Waxahachie, Texas and being situated in the CHARLES ATTEBERRY SURVEY, ABSTRACT NO. 10, Ellis County, Texas, and being a portion of the 194.502 acre tract of land conveyed to Pioneer Point Farms, LLC by Texas Warranty Deed recorded in Instrument Number 1708565 of the Official Public Records of Ellis County, Texas (OPRECT), and being more particularly described as follows:

BEGINNING at a 5/8" iron rod found with cap marked "TX GLO" in the north line of Farm to Market Highway 66 for the southerly southeast corner of said 194.502 acre tract and the southwest corner of the 14.02 acre tract of land conveyed to Brint Walker and Clint Walker by Deed from the State of Texas recorded in Volume 1636, Page 310, OPRECT;

THENCE S 59°52'01" W, along the south line of said 194.502 acre tract and the north line of F.M. 66, a distance of 1319.33 feet to a 1/2" iron rod found with cap marked "WLSC RPLS 5331" for the easterly southwest corner of said 194.5021 acre tract and the current southeast corner of the residual of the 14.83 acre tract of land (Tract One) conveyed to Howard K. Bowman by Warranty Deed recorded in Volume 2728, Page 1933, OPRECT;

THENCE N 30°53'58" W, along the easterly west line of said 194.502 acre tract and the current east line of said 14.83 acre tract, a distance of 799.55 feet to a 1/2" iron rod set with cap marked "WLSC RPLS 5331" for the northwest corner of this tract;

THENCE along the north line of this tract as follows:  
N 59°52'01" E, a distance of 969.11 feet to a 1/2" iron rod set with cap marked "WLSC RPLS 5331" for corner;  
S 30°53'04" E, a distance of 173.52 feet to a 1/2" iron rod set with cap marked "WLSC RPLS 5331" for corner; and  
N 59°06'56" E, a distance of 350.30 feet to a 1/2" iron rod set with cap marked "WLSC RPLS 5331" in the southerly east line of said 194.502 acre tract and in the west line of said 14.02 acre tract for the northeast corner of this tract;

THENCE S 30°53'35" E, along the southerly east line of said 194.502 acre tract and the west line of said 14.02 acre tract, a distance of 630.62 feet to the PLACE OF BEGINNING and containing 22.838 acres of land.

Survey's Declaration

KNOW ALL MEN BY THESE PRESENTS:

That I, J. Shawne Walker, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that corner monuments shown thereon as set were properly placed by myself or under my direct and personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

FOR INSPECTION PURPOSES ONLY.  
AND IN NO WAY OFFICIAL OR  
APPROVED FOR RECORD PURPOSES.  
J. Shawne Walker, R.P.L.S.  
Texas Registration 5331

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, Pioneer Point Farms, LLC, do hereby adopt this plat designating the herein above described property as the Final Plat of Pioneer Point, Phase 1 and 2, an addition in the ETJ of the City of Waxahachie, Texas, and do hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie and Ellis County, In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use of particular utilities, said use being subordinate to the Public's and City of Waxahachie's and Ellis County's use thereof. The City of Waxahachie, Ellis County and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie, Ellis County and public utility entities shall at all times have the full right of Ingress and Egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas.

WITNESS, my hand, this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Kars Tamminga  
Pioneer Point Farms, LLC

STATE OF TEXAS  
COUNTY OF ELLIS

Before me the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Kars Tamminga, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose herein expressed and in the capacity stated.

Given under my hand and seal this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public in and for the State of Texas

APPROVED BY: Planning and Zoning Commission City of Waxahachie

Chairman \_\_\_\_\_ Date \_\_\_\_\_

APPROVED BY: City Council

Mayor \_\_\_\_\_ Date \_\_\_\_\_

Attest \_\_\_\_\_ Date \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ELLIS:

Certificate of Approval by the Commissioners Court of Ellis County, Texas.

Approved this date, the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Honorable Carol Bush, County Judge

Randy Stinson \_\_\_\_\_ Layne Grayson \_\_\_\_\_  
Commissioner Precinct #1 Commissioner Precinct #2

Paul Perry \_\_\_\_\_ Kyle Butler \_\_\_\_\_  
Commissioner Precinct #3 Commissioner Precinct #4

This plat has approval by the Department of Development for an on-site sewage facility system pending any and all information as may be required by the Ellis County Department of Development.

Department of Development \_\_\_\_\_ Date \_\_\_\_\_

Submittal Date: June, 2018

Final Plat

PIONEER POINT, PHASE 1 AND 2

29.068 Acres

19 Residential Lots - 21.935 Acres

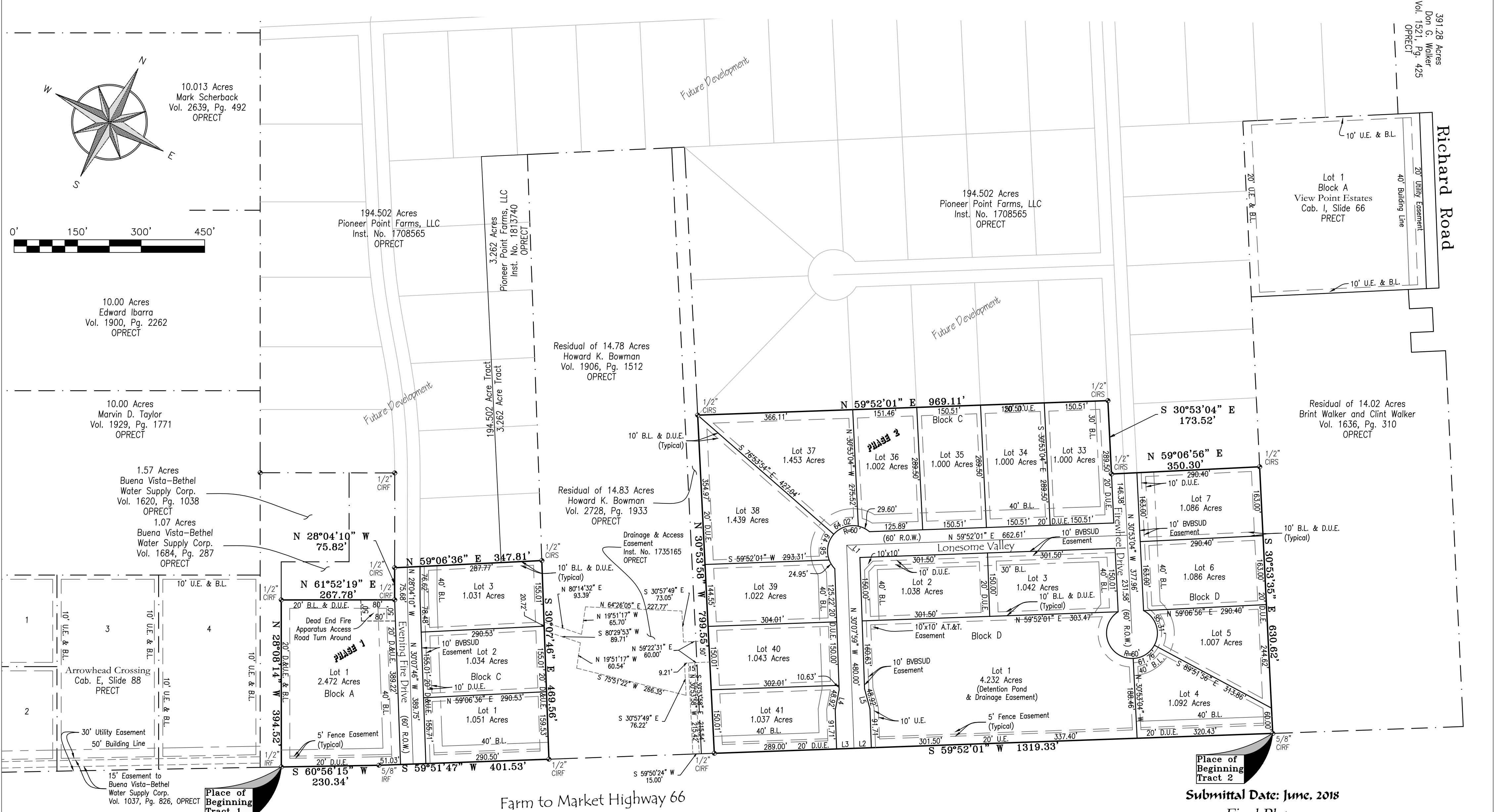
1 HOA Tract (Detention Pond) - 4.232 Acres

Charles Atteberry Survey, Abstract No. 10

In the ETJ of the City of Waxahachie

Ellis County, Texas

Sheet 1 of 2



PIONEER POINT, PHASE 1 AND 2

29.068 Acres  
19 Residential Lots - 21.935 Acres  
1 HOA Tract (Detention Pond) - 4.232 Acres  
Charles Atteberry Survey, Abstract No. 10  
In the ETJ of the City of Waxahachie  
Ellis County, Texas

# Planning & Zoning Department

## Plat Staff Report

**Case: FP-18-0092**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by Wes Dorough, JH-Development LLC, for a **Final Plat** of The Cove Phase Two for 94 residential and 1 open space lots, being 24.329 acres in the Henry Sange Survey, Abstract 1009, the Robert Russell Survey, Abstract 911, and the Henri Levy Survey, Abstract 629 (Property ID 223031) – Owner: MORITZ INTERESTS LTD (FP-18-0092)

### CASE INFORMATION

*Applicant:* Wes Dorough, JH-Development LLC

*Property Owner(s):* Moritz Interests LTD

*Site Acreage:* 24.329 acres

*Number of Lots:* 94 residential and 1 open space lots

*Number of Dwelling Units:* 94 units

*Park Land Dedication:* This is covered under the North Grove park agreement.

*Adequate Public Facilities:* This will be on City services.

### SUBJECT PROPERTY

*General Location:* South of North Grove Blvd

*Parcel ID Number(s):* 223031

*Current Zoning:* North Grove Planned Development

*Existing Use:* Currently undeveloped

*Platting History:* PLM2016-41 North Grove Phase 3-7 & 12 was approved by City Council on November 21, 2016.

Site Aerial:



### **STAFF CONCERNS**

**CITY ENGINEER** – James Gaertner (469) 309-4293; [jgaertner@waxahachie.com](mailto:jgaertner@waxahachie.com)

1. The Public Works letter of acceptance is necessary prior to the recording.

### **APPLICANT RESPONSE TO CONCERNS**

1. Applicant submitted revisions. The above comment remains outstanding.

### **RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
  1. The Public Works letter of acceptance is necessary prior to the recording.

### **ATTACHED EXHIBITS**

1. Plat drawing
2. Landscape plan

### **APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.



**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

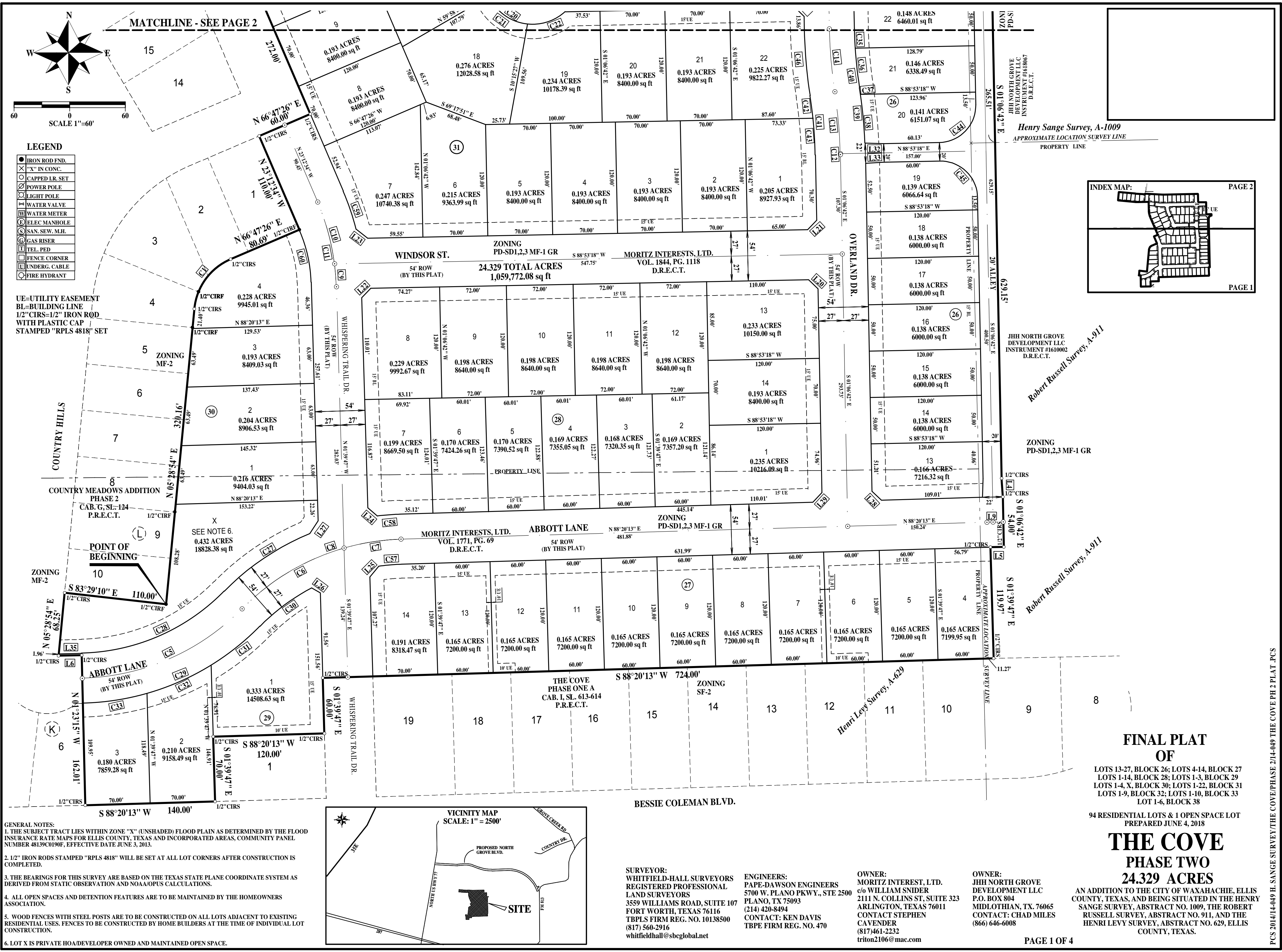
[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

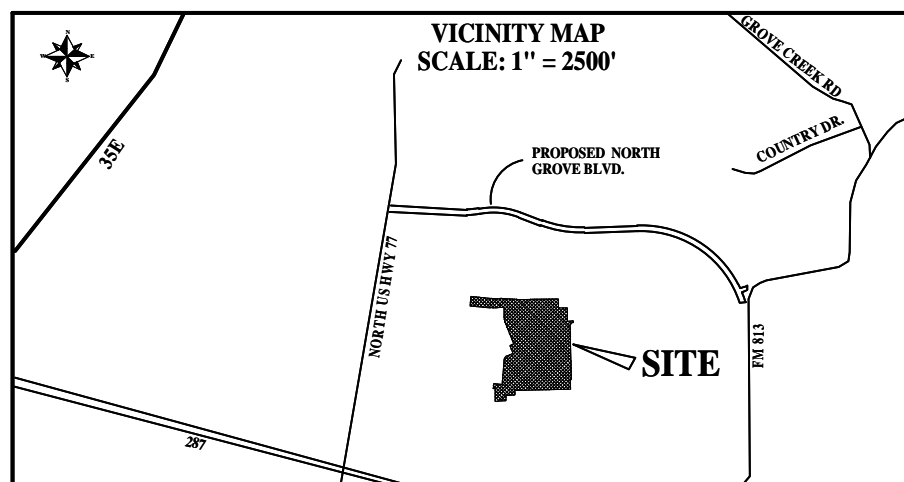
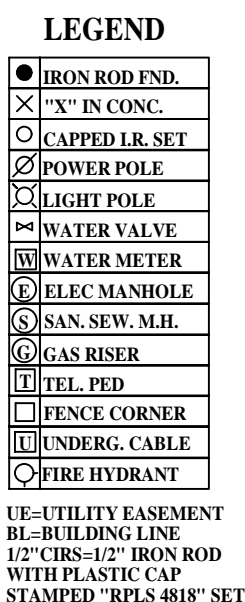
*Reviewed by:*

Shon Brooks, AICP

Director of Planning

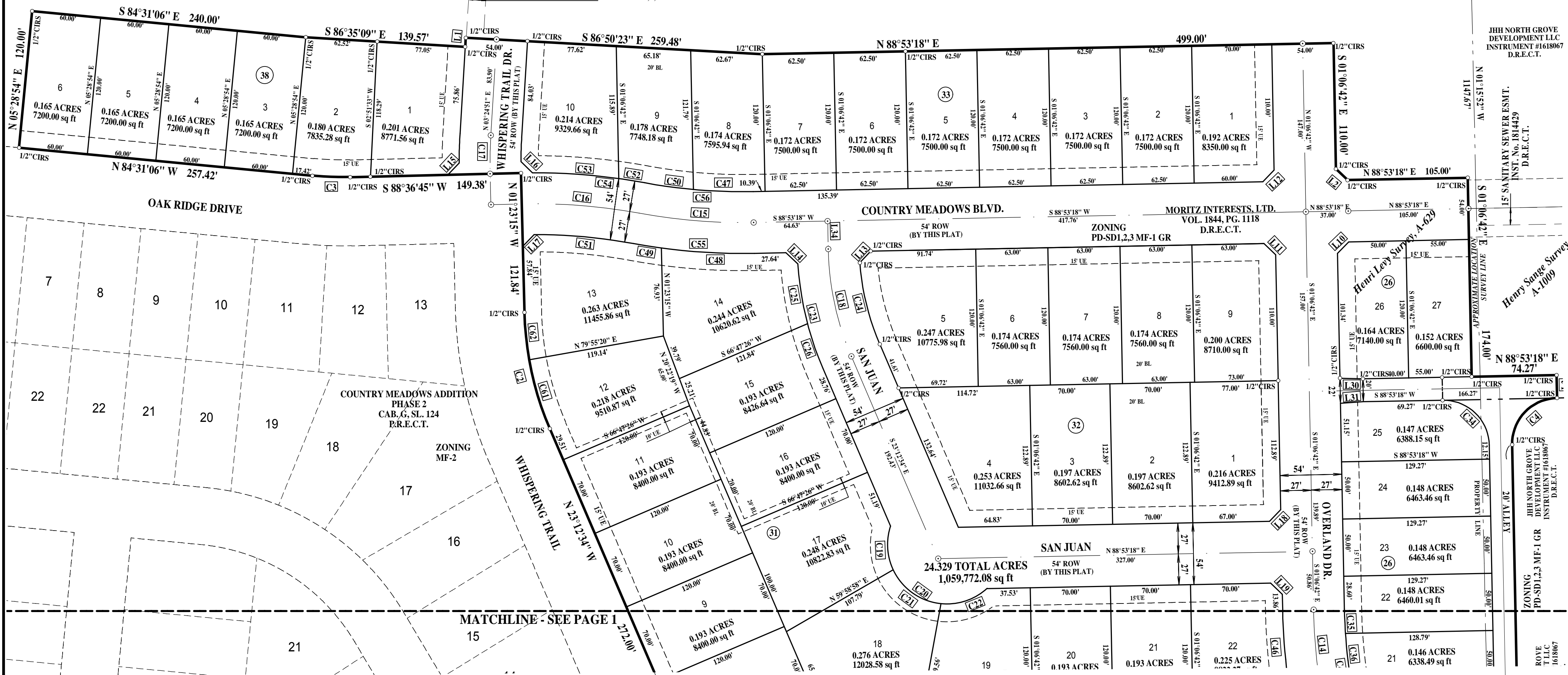
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)





15' WATER LINE ESMT.  
INST. No. 1814434  
D.R.E.C.T.

**ZONING**  
**PD-SD1,2,3 MF-1 GR**



**JHH NORTH GROVE  
DEVELOPMENT LLC  
INSTRUMENT #1618067  
D.R.E.C.T.**

VER ESMT.  
4429

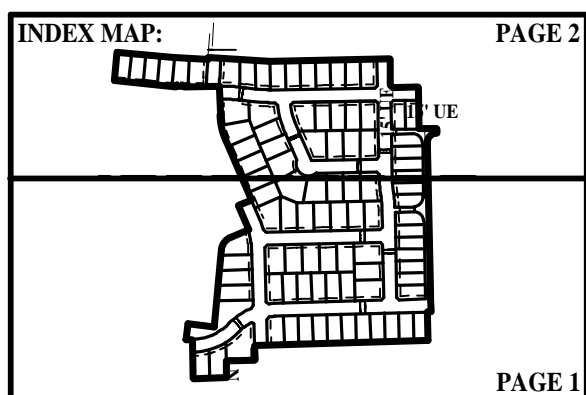
Henry Sange Survey  
A-1009

DEVELOPMENT IN  
INSTRUMENT #161  
D.R.E.C.T.

PROVE  
T LLC  
1618067

GENERAL NOTES:

1. THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) FLOOD PLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS FOR ELLIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 48139C0190F, EFFECTIVE DATE JUNE 3, 2013.
2. 1/2" IRON RODS STAMPED "RPLS 4818" WILL BE SET AT ALL LOT CORNERS AFTER CONSTRUCTION IS COMPLETED.
3. THE BEARINGS FOR THIS SURVEY ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM AS DERIVED FROM STATIC OBSERVATION AND NOAA/OPUS CALCULATIONS.
4. ALL OPEN SPACES AND DETENTION FEATURES ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
5. WOOD FENCES WITH STEEL POSTS ARE TO BE CONSTRUCTED ON ALL LOTS ADJACENT TO EXISTING RESIDENTIAL USES. FENCES TO BE CONSTRUCTED BY HOME BUILDERS AT THE TIME OF INDIVIDUAL LOT CONSTRUCTION.
6. LOT X IS PRIVATE HOA/DEVELOPER OWNED AND MAINTAINED OPEN SPACE.



**SURVEYOR:  
WHITFIELD-HALL SURVEYORS  
REGISTERED PROFESSIONAL  
LAND SURVEYORS  
3559 WILLIAMS ROAD, SUITE 107  
FORT WORTH, TEXAS 76116  
TBPLS FIRM REG. NO. 10138500  
(817) 560-2916  
whitfieldhall@sbcglobal.net**

**ENGINEERS:  
PAPE-DAWSON ENGINEERS  
5700 W. PLANO PKWY., STE 2500  
PLANO, TX 75093  
(214) 420-8494  
CONTACT: KEN DAVIS  
TBPE FIRM REG. NO. 470**

**OWNER:**  
**MORITZ INTEREST, LTD.**  
**c/o WILLIAM SNIDER**  
**2111 N. COLLINS ST, SUITE 323**  
**ARLINGTON, TEXAS 76011**  
**CONTACT STEPHEN**  
**CAVENDER**  
**(817)461-2232**  
**triton2106@mac.com**

**OWNER:**  
**JHH NORTH GROVE**  
**DEVELOPMENT LLC**  
**P.O. BOX 804**  
**MIDLOTHIAN, TX. 76065**  
**CONTACT: CHAD MILES**  
**(866) 646-6008**

**FINAL PLAT  
OF**

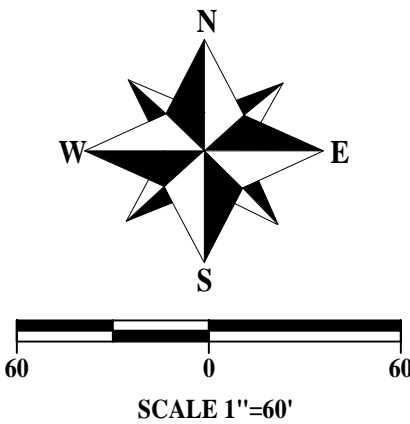
**LOTS 13-27, BLOCK 26; LOTS 4-14, BLOCK 27  
LOTS 1-14, BLOCK 28; LOTS 1-3, BLOCK 29  
LOTS 1-4, X, BLOCK 30; LOTS 1-22, BLOCK 31  
LOTS 1-9, BLOCK 32; LOTS 1-10, BLOCK 33  
LOT 1-6, BLOCK 38**

**94 RESIDENTIAL LOTS & 1 OPEN SPACE LOT**

**PREPARED JUNE 4, 2018**

**THE COVE  
PHASE TWO  
24.329 ACRES**

**AN ADDITION TO THE CITY OF WAXAHACHIE, ELLIS  
COUNTY, TEXAS, AND BEING SITUATED IN THE HENRY  
SANGE SURVEY, ABSTRACT NO. 1009, THE ROBERT  
RUSSELL SURVEY, ABSTRACT NO. 911, AND THE  
HENRI LEVY SURVEY, ABSTRACT NO. 629, ELLIS  
COUNTY, TEXAS.**



LEGEND

●	IRON ROD FND.
×	"X" IN CONC.
○	CAPPED I.R. SET
⊗	POWER POLE
⊙	LIGHT POLE
⊞	WATER VALVE
⊞	WATER METER
Ⓔ	ELEC MANHOLE
Ⓔ	SAN. SEW. M.H.
Ⓔ	GAS RISER
⊞	TEL. PED
⊞	FENCE CORNER
⊞	UNDERG. CABLE
⊞	FIRE HYDRANT

UE=UTILITY EASEMENT  
BL=BUILDING LINE  
1/2" CIR=1/2" IRON ROD  
WITH PLASTIC CAP  
STAMPED "RPLS 4818" SET

CURVE TABLE					
Id	Delta	Radius	Arc Length	Chord	Ch Bear
C1	61°18'26"	65.00'	69.55'	66.28'	N 36°08'10" E
C2	21°49'22"	275.00'	104.74'	104.11'	N 12°17'54" W
C3	06°52'09"	275.00'	32.97'	32.95'	S 87°57'11" E
C4	90°00'00"	40.00'	62.83'	56.57'	S 43°53'18" W
C5	44°12'18"	250.00'	192.88'	188.13'	N 66°29'09" E
C6	29°38'32"	250.00'	129.34'	127.90'	S 59°12'16" W
C7	14°18'42"	250.00'	62.45'	62.28'	S 81°10'52" W
C8	43°57'13"	250.00'	191.78'	187.12'	S 66°21'37" W
C9	05°39'59"	250.00'	24.72'	24.71'	S 04°29'46" E
C10	15°52'49"	250.00'	69.29'	69.07'	N 15°16'10" W
C11	21°32'47"	250.00'	94.01'	93.46'	N 12°26'10" W
C12	00°06'30"	500.00'	0.95'	0.95'	S 01°09'57" E
C13	07°41'56"	500.00'	67.19'	67.14'	N 05°04'10" W
C14	07°48'26"	500.00'	68.13'	68.08'	S 05°00'55" E
C15	11°31'27"	500.00'	100.57'	100.40'	S 85°20'59" E
C16	11°48'00"	500.00'	102.97'	102.79'	N 85°29'15" W
C17	04°49'30"	400.00'	33.69'	33.68'	S 01°01'30" W
C18	22°05'52"	250.00'	96.42'	95.82'	S 12°09'38" E
C19	43°12'42"	52.00'	39.22'	38.29'	S 03°24'20" E
C20	150°43'18"	52.00'	136.79'	100.62'	S 57°09'38" E
C21	58°56'34"	52.00'	53.49'	51.17'	S 54°28'58" E
C22	48°34'02"	52.00'	44.08'	42.77'	N 71°45'44" E
C23	19°31'24"	277.00'	94.39'	93.93'	S 13°26'52" E
C24	18°54'00"	223.00'	73.56'	73.23'	S 13°45'34" E
C25	10°57'41"	277.00'	52.99'	52.91'	S 09°10'00" E
C26	08°33'43"	277.00'	41.39'	41.36'	S 18°55'42" E
C27	23°11'15"	277.00'	112.10'	111.34'	S 55°58'38" W
C28	44°12'18"	223.00'	172.05'	167.81'	N 66°29'09" E
C29	44°12'18"	277.00'	213.71'	208.45'	N 66°29'09" E
C30	17°55'07"	223.00'	69.74'	69.46'	S 53°20'34" W
C31	14°00'57"	277.00'	67.76'	67.59'	N 51°23'28" E
C32	15°40'34"	277.00'	75.79'	75.55'	N 66°14'14" E
C33	14°30'47"	277.00'	70.16'	69.98'	N 81°19'55" E
C34	90°00'00"	40.00'	62.83'	56.57'	N 46°06'42" W
C35	02°35'33"	473.00'	21.40'	21.40'	N 02°24'29" W
C36	05°12'53"	473.00'	43.05'	43.03'	N 06°18'42" W
C37	00°46'59"	527.00'	7.20'	7.20'	N 08°31'39" W
C38	05°43'31"	527.00'	52.66'	52.64'	N 05°16'23" W
C39	06°30'30"	527.00'	59.86'	59.83'	S 05°39'53" E
C40	07°48'26"	473.00'	64.45'	64.40'	S 05°00'55" E
C41	07°48'26"	473.00'	64.45'	64.40'	S 05°00'55" E
C42	02°59'33"	473.00'	24.70'	24.70'	N 07°25'22" W
C43	04°48'53"	473.00'	39.75'	39.74'	N 03°31'09" W
C44	90°00'00"	40.00'	62.83'	56.57'	N 43°53'18" E
C45	90°00'00"	40.00'	62.83'	56.57'	N 46°06'42" W
C46	07°48'26"	527.00'	71.81'	71.75'	S 05°00'55" E
C47	06°19'30"	473.00'	52.22'	52.19'	S 87°56'57" E
C48	08°50'53"	527.00'	81.38'	81.30'	S 86°41'16" E
C49	02°40'35"	527.00'	24.62'	24.61'	S 80°55'32" E
C50	05°11'57"	473.00'	42.92'	42.91'	S 82°11'13" E
C51	10°35'19"	473.00'	87.41'	87.29'	N 84°52'55" W
C52	02°29'56"	527.00'	22.98'	22.98'	S 80°50'13" E
C53	08°12'50"	527.00'	75.55'	75.49'	S 86°11'36" E
C54	10°42'46"	527.00'	98.53'	98.39'	N 84°56'38" W
C55	11°31'27"	527.00'	106.00'	105.82'	S 85°20'59" E
C56	11°31'27"	473.00'	95.14'	94.98'	S 85°20'58" E
C57	06°24'29"	223.00'	24.94'	24.93'	S 85°07'59" W
C58	05°08'54"	277.00'	24.89'	24.88'	S 85°45'46" W
C59	08°54'57"	280.00'	43.57'	43.53'	N 18°45'05" W
C60	21°32'47"	150.00'	56.41'	56.08'	N 12°26'10" W
C61	13°07'55"	275.00'	63.03'	62.89'	S 16°38'37" E
C62	08°41'27"	275.00'	41.71'	41.67'	S 05°43'56" E

LINE TABLE		
Id	Bearing	Distance
L1	N 03°24'51" E	7.91'
L2	S 46°06'42" E	14.14'
L3	S 01°06'42" E	20.00'
L4	S 03°58'27" E	20.02'
L5	S 88°53'18" W	14.42'
L6	S 88°36'45" W	24.84'
L9	N 88°53'18" E	17.76'
L10	S 43°53'18" W	14.14'
L11	N 46°06'42" W	14.14'
L12	N 43°53'18" E	14.14'
L13	N 42°55'54" E	13.90'
L14	S 46°52'54" E	14.33'
L15	N 43°56'53" E	14.22'
L16	S 45°43'54" E	14.11'
L17	N 43°54'55" E	14.07'
L18	N 43°53'18" E	14.14'
L19	S 46°06'42" E	14.14'
L20	S 46°06'42" E	14.14'
L21	S 43°53'18" W	14.14'
L22	N 43°36'46" E	14.07'
L23	N 52°11'28" W	15.56'
L24	S 49°45'16" E	13.36'
L25	S 39°29'26" W	15.06'
L26	N 59°02'04" W	10.78'
L27	N 33°28'16" E	16.36'
L28	S 46°23'14" E	14.07'
L29	N 43°36'46" E	14.21'
L30	N 88°14'58" W	20.02'
L31	S 86°01'33" W	20.02'
L32	S 88°15'00" E	20.03'
L33	N 86°01'33" E	20.02'
L34	S 01°06'42" E	24.56'
L35	S 88°36'45" W	24.59'

LAND USE SUMMARY:

LOTS 18.107 ACRES  
OPEN SPACE 0.432 ACRES  
ROW 5.790 ACRES

TOTAL ACRES 24.329 ACRES

FINAL PLAT  
OF

LOTS 13-27, BLOCK 26; LOTS 4-14, BLOCK 27  
LOTS 1-14, BLOCK 28; LOTS 1-3, BLOCK 29  
LOTS 1-4, X, BLOCK 30; LOTS 1-22, BLOCK 31  
LOTS 1-9, BLOCK 32; LOTS 1-10, BLOCK 33  
LOT 1-6, BLOCK 38

94 RESIDENTIAL LOTS & 1 OPEN SPACE LOT  
PREPARED JUNE 4, 2018

THE COVE  
PHASE TWO  
24.329 ACRES

AN ADDITION TO THE CITY OF WAXAHACHIE, ELLIS  
COUNTY, TEXAS, AND BEING SITUATED IN THE HENRY  
SANGE SURVEY, ABSTRACT NO. 1009, THE ROBERT  
RUSSELL SURVEY, ABSTRACT NO. 911, AND THE  
HENRI LEVY SURVEY, ABSTRACT NO. 629, ELLIS  
COUNTY, TEXAS.

- GENERAL NOTES:
1. THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) FLOOD PLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS FOR ELLIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 48139C0190F, EFFECTIVE DATE JUNE 3, 2013.
  2. 1/2" IRON RODS STAMPED "RPLS 4818" WILL BE SET AT ALL LOT CORNERS AFTER CONSTRUCTION IS COMPLETED.
  3. THE BEARINGS FOR THIS SURVEY ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM AS DERIVED FROM STATIC OBSERVATION AND NOAA/OPUS CALCULATIONS.
  4. ALL OPEN SPACES AND DETENTION FEATURES ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
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  6. LOT X IS PRIVATE HOA/DEVELOPER OWNED AND MAINTAINED OPEN SPACE.

SURVEYOR:  
WHITFIELD-HALL SURVEYORS  
REGISTERED PROFESSIONAL  
LAND SURVEYORS  
3559 WILLIAMS ROAD, SUITE 107  
FORT WORTH, TEXAS 76116  
TBPLS FIRM REG. NO. 10138500  
(817) 560-2916  
whitfieldhall@sbcglobal.net

ENGINEERS:  
PAPE-DAWSON ENGINEERS  
5700 W. PLANO PKWY., STE 2500  
PLANO, TX 75093  
(214) 420-8494  
CONTACT: KEN DAVIS  
TBPE FIRM REG. NO. 470

OWNER:  
MORITZ INTEREST, LTD.  
c/o WILLIAM SNIDER  
2111 N. COLLINS ST, SUITE 323  
ARLINGTON, TEXAS 76011  
CONTACT STEPHEN  
CAVENDER  
(817)461-2232  
triton2106@mac.com

OWNER:  
JHH NORTH GROVE  
DEVELOPMENT LLC  
P.O. BOX 804  
MIDLOTHIAN, TX. 76065  
CONTACT: CHAD MILES  
(866) 646-6008



STATE OF TEXAS §

COUNTY OF ELLIS §

WHEREAS, MORITZ INTERESTS, LTD, and JHH NORTH GROVE DEVELOPMENT LLC, being the owners of a 24.329 acre tract of land in the HENRY SANGE SURVEY, ABSTRACT NUMBER 1009, THE ROBERT RUSSELL SURVEY, ABSTRACT NUMBER 911, AND THE HENRI LEVY SURVEY, ABSTRACT NUMBER 629, City of Waxahachie, Ellis County, Texas and being a portion of those certain tracts of land described in deeds to MORITZ INTERESTS, LTD, according to the deeds recorded in Volume 1844, Page 1118, and Volume 1771, Page 69, Deed Records, Ellis County, Texas and being a portion of those certain tracts of land described in deeds to JHH NORTH GROVE DEVELOPMENT LLC, according to the deeds recorded in Instrument Number 1618067 and Instrument Number 1610002, Deed Records, Ellis County, Texas. The hearing for this survey are based upon The Texas State Plane Coordinate System, Texas North Central Zone (4202), North American Datum 1983, using Static Observation and NOAA/OPUS calculations. Said 24.329 acres being described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod with plastic cap found at the southeast corner of Lot 10, Block L of Country Meadows Addition, Phase 2, an addition to the City of Waxahachie, Ellis County, Texas according to the Plat recorded in Cabinet G, Slide 124, Plat Records, Ellis County, Texas;

THENCE along the east lines of said Country Meadows Addition, Phase 2, the following courses and distances;

North 05°28'54" East, at a distance of 138.12 Feet pass the common line of said MORITZ INTERESTS, LTD, tract recorded in Volume 1771, Page 69 and said MORITZ INTERESTS, LTD, tract recorded in Volume 1844, Page 1118, continuing a total distance of 320.16 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a tangent curve, concave to the southeast, having a radius of 65.00 Feet a central angle of 61°18'26", and a chord of 66.28 Feet bearing North 36°08'10" East;

Northerly along said curve, a distance of 69.55 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 66°47'26" East, a distance of 80.69 Feet to a 1/2" inch iron rod with plastic cap found for the southeast corner of Lot 1 of said Block L, Country Meadows Addition, Phase 2;

North 23°12'34" West, a distance of 110.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the northeast corner of said Lot 1;

North 66°47'26" East, a distance of 60.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set at the most easterly northeast corner of said Country Meadows Addition, Phase 2;

North 23°12'34" West, a distance of 272.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a tangent curve, concave to the east, having a radius of 275.00 Feet a central angle of 21°49'22", and a chord of 104.11 Feet bearing North 12°17'54" West;

Northwesterly along said curve, a distance of 104.74 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 01°23'15" West, a distance of 121.84 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the most northerly northeast corner of said Country Meadows Addition, Phase 2;

THENCE departing said east line and continuing along the north line of said Country Meadows Addition, Phase 2, the following courses and distances;

South 88°36'45" West, a distance of 149.38 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a tangent curve, concave to the north, having a radius of 275.00 Feet a central angle of 06°52'09", and a chord of 32.95 Feet bearing North 87°57'11" West;

Westerly along said curve, a distance of 32.97 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 84°31'06" West, a distance of 257.42 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

THENCE departing said north line and continuing over and across said Moritz Interests, LTD tract recorded in Volume 1844, Page 1118, and said JHH North Grove Development, LLC tract, recorded in Instrument Number 1618067, the following courses and distances;

North 05°28'54" East, a distance of 120.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the most northerly northwest corner of said tract being described herein;

South 84°31'06" East, a distance of 240.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 86°35'09" East, a distance of 139.57 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 03°24'51" East, a distance of 7.91 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 86°50'23" East, a distance of 259.48 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 88°53'18" East, a distance of 499.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the most northerly northeast corner of said tract being described herein;

South 01°06'42" East, a distance of 110.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 46°06'42" East, a distance of 14.14 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 88°53'18" East, a distance of 105.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 01°06'42" East, a distance of 174.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 88°53'18" East, a distance of 74.27 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 01°06'42" East, a distance of 20.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the point of curvature of a non-tangent curve, concave to the southeast, having a radius of 40.00 Feet a central angle of 90°00'00", and a chord of 56.57 Feet bearing South 43°53'18" West;

Westerly along said curve, a distance of 62.83 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 01°06'42" East, at a distance of 265.51 Feet pass the common line of said JHH North Grove Development LLC tract, recorded in Instrument Number 1618067 and said JHH North Grove Development LLC tract, recorded in Instrument Number 1610002, departing said JHH North Grove Development LLC tract, recorded in Instrument Number 1618067 and continuing over and across said JHH North Grove Development LLC tract, recorded in Instrument Number 1610002, for a total distance of 629.15 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

THENCE continuing over and across said JHH North Grove Development LLC tract, recorded in Instrument Number 1610002, the following courses and distances;

South 03°58'27" East, a distance of 20.02 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 01°06'42" East, a distance of 54.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 88°53'18" West, a distance of 14.42 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 01°39'47" East a distance of 119.97 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the southeast corner of said tract being described herein;

THENCE South 88°20'13" West, at a distance of 11.27 feet pass the common line of said JHH North Grove Development LLC tract, recorded in Instrument Number 1610002 and said MORITZ INTERESTS, LTD, tract recorded in Volume 1771, Page 69 and being the northeast corner of Lot 10, Block Q, The Cove Phase One A, an addition to the City of Waxahachie, Ellis County, Texas recorded in Cabinet I, Slides 613-614, Plat Records, Ellis County, Texas, departing said JHH North Grove Development LLC tract, recorded in Instrument Number 1610002 and continuing along the north line of said The Cove, Phase One A, for a total distance of 724.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the most northerly northwest corner of said The Cove Phase One A;

THENCE continuing along the said north lines of The Cove, Phase One A, the following courses and distances;

South 01°39'47" East, a distance of 60.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 88°20'13" West, a distance of 120.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 01°39'47" East, a distance of 70.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 88°20'13" West, a distance of 140.00 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set for the southeast corner of Lot 6, Block K, of said Country Meadows Addition, Phase 2;

THENCE departing said north line and continuing along the said east lines of Country Meadows Addition, Phase 2, the following courses and distances;

North 01°23'15" West, a distance of 162.01 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 88°36'45" West, a distance of 24.84 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

North 05°28'54" East, a distance of 68.25 Feet to a 1/2" inch iron rod with plastic cap stamped "RPLS 4818" set;

South 83°29'10" East, a distance of 110.00 Feet to the POINT OF BEGINNING and containing a computed area of 24.329 Acres, more or less. Acres, more or less.

GENERAL NOTES:

1. THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) FLOOD PLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS FOR ELLIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 48139C0190F, EFFECTIVE DATE JUNE 3, 2013.

2. 1/2" IRON RODS STAMPED "RPLS 4818" WILL BE SET AT ALL LOT CORNERS AFTER CONSTRUCTION IS COMPLETED.

3. THE BEARINGS FOR THIS SURVEY ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM AS DERIVED FROM STATIC OBSERVATION AND NOAA/OPUS CALCULATIONS.

4. ALL OPEN SPACES AND DETENTION FEATURES ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

5. WOOD FENCES WITH STEEL POSTS ARE TO BE CONSTRUCTED ON ALL LOTS ADJACENT TO EXISTING RESIDENTIAL USES. FENCES TO BE CONSTRUCTED BY HOME BUILDERS AT THE TIME OF INDIVIDUAL LOT CONSTRUCTION.

6. LOT X IS PRIVATE HOA/DEVELOPER OWNED AND MAINTAINED OPEN SPACE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That JHH North Grove Development, LLC, and MORITZ INTEREST, LTD, acting herein by and though their duly authorized officers, do hereby adopt this plat designating the hereinabove described property as ESTATES OF NORTH GROVE, PHASE SIX, an addition to the City of Waxahachie, Texas and do hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The Easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of Ingress and Egress to or from their respective easements for the purpose of construction, reconstruction, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas.

Witness my hand this the \_\_\_\_ day of \_\_\_\_\_, 2018.

JHH North Grove Development, LLC

By: \_\_\_\_\_  
CHAD MILES

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE me, the undersigned, a Notary Public in and for the state of Texas, on this day personally appeared Chad Miles known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public State of Texas  
My Commission expires \_\_\_\_\_

MORITZ INTEREST, LTD

By: \_\_\_\_\_  
WILLIAM SNIDER

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE me, the undersigned, a Notary Public in and for the state of Texas, on this day personally appeared William Snider known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, JOHNNY D.L. WILLIAMS, R.P.L.S. No. 4818, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

*Johnny D.L. Williams* 6-04-2018  
JOHNNY D.L. WILLIAMS DATE  
Whitfield-Hall Surveyors  
3559 Williams Road, Suite 107  
Fort Worth, Texas 76116



APPROVED BY: PLANNING AND ZONING COMMISSION  
CITY OF WAXAHACHIE, TEXAS

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CHAIRPERSON

APPROVED: BY: CITY COUNCIL, CITY OF WAXAHACHIE.

BY: \_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_ DATE: \_\_\_\_\_

SURVEYOR:  
WHITFIELD-HALL SURVEYORS  
REGISTERED PROFESSIONAL  
LAND SURVEYORS  
3559 WILLIAMS ROAD, SUITE 107  
FORT WORTH, TEXAS 76116  
TBPLS FIRM REG. NO. 10138500  
(817) 560-2916  
whitfieldhall@sbcglobal.net

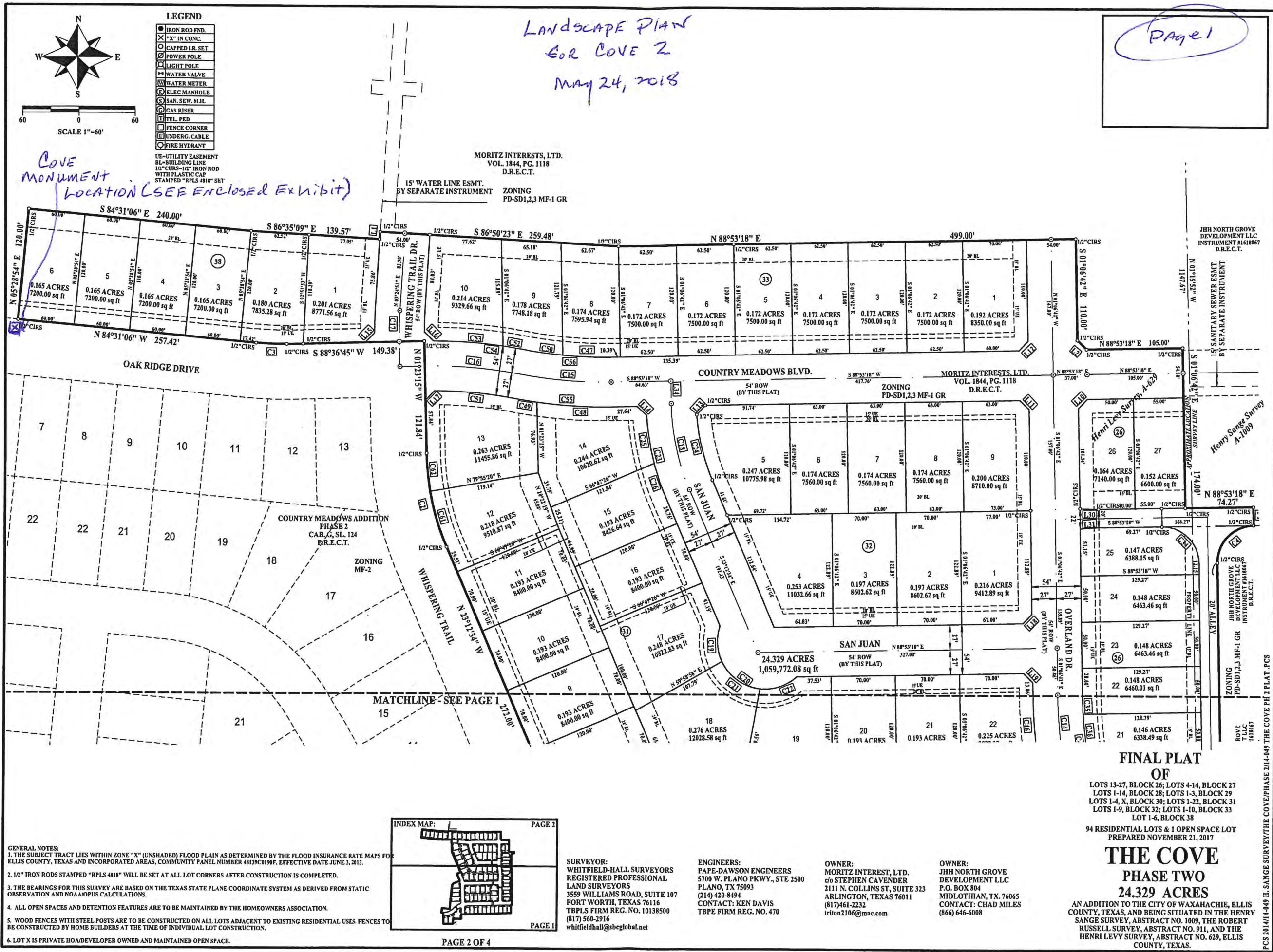
ENGINEERS:  
PAPE-DAWSON ENGINEERS  
5700 W. PLANO PKWY., STE 2500  
PLANO, TX 75093  
(214) 420-8494  
CONTACT: KEN DAVIS  
TBPE FIRM REG. NO. 470

OWNER:  
MORITZ INTEREST, LTD.  
c/o WILLIAM SNIDER  
2111 N. COLLINS ST, SUITE 323  
ARLINGTON, TEXAS 76011  
CONTACT STEPHEN  
CAVENDER  
(817) 461-2232  
triton2106@mac.com

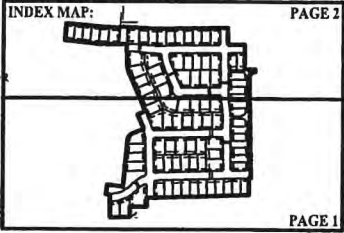
OWNER:  
JHH NORTH GROVE  
DEVELOPMENT LLC  
P.O. BOX 804  
MIDLOTHIAN, TX. 76065  
CONTACT: CHAD MILES  
(866) 646-6008

**FINAL PLAT  
OF**  
LOTS 13-27, BLOCK 26; LOTS 4-14, BLOCK 27  
LOTS 1-14, BLOCK 28; LOTS 1-3, BLOCK 29  
LOTS 1-4, X, BLOCK 30; LOTS 1-22, BLOCK 31  
LOTS 1-9, BLOCK 32; LOTS 1-10, BLOCK 33  
LOT 1-6, BLOCK 38  
94 RESIDENTIAL LOTS & 1 OPEN SPACE LOT  
PREPARED JUNE 4, 2018  
**THE COVE  
PHASE TWO  
24.329 ACRES**  
AN ADDITION TO THE CITY OF WAXAHACHIE, ELLIS  
COUNTY, TEXAS, AND BEING SITUATED IN THE HENRY  
SANGE SURVEY, ABSTRACT NO. 1009, THE ROBERT  
RUSSELL SURVEY, ABSTRACT NO. 911, AND THE  
HENRI LEVY SURVEY, ABSTRACT NO. 629, ELLIS  
COUNTY, TEXAS.





GENERAL NOTES:  
1. THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED) FLOOD PLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS FOR ELLIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 48139C0109F, EFFECTIVE DATE JUNE 3, 2013.  
2. 1/2" IRON RODS STAMPED "RPLS 4818" WILL BE SET AT ALL LOT CORNERS AFTER CONSTRUCTION IS COMPLETED.  
3. THE BEARINGS FOR THIS SURVEY ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM AS DERIVED FROM STATIC OBSERVATION AND NOAA/USPUS CALCULATIONS.  
4. ALL OPEN SPACES AND DETENTION FEATURES ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.  
5. WOOD FENCES WITH STEEL POSTS ARE TO BE CONSTRUCTED ON ALL LOTS ADJACENT TO EXISTING RESIDENTIAL USES. FENCES TO BE CONSTRUCTED BY HOME BUILDERS AT THE TIME OF INDIVIDUAL LOT CONSTRUCTION.  
6. LOT X IS PRIVATE HOA/DEVELOPER OWNED AND MAINTAINED OPEN SPACE.



SURVEYOR:  
WHITFIELD-HALL SURVEYORS  
REGISTERED PROFESSIONAL  
LAND SURVEYORS  
3559 WILLIAMS ROAD, SUITE 107  
FORT WORTH, TEXAS 76116  
TBPFS FIRM REG. NO. 10138500  
(817) 560-2916  
whitfieldhall@shglobal.net

ENGINEERS:  
PAPE-DAWSON ENGINEERS  
5700 W. PLANO PKWY., STE 2500  
PLANO, TX 75093  
(214) 420-8494  
CONTACT: KEN DAVIS  
TBPFS FIRM REG. NO. 470

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MORITZ INTEREST, LTD.  
c/o STEPHEN CAVENDER  
2111 N. COLLINS ST., SUITE 323  
ARLINGTON, TEXAS 76011  
(817) 461-2232  
triton2106@mac.com

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LOT 1-6, BLOCK 38  
94 RESIDENTIAL LOTS & 1 OPEN SPACE LOT  
PREPARED NOVEMBER 21, 2017

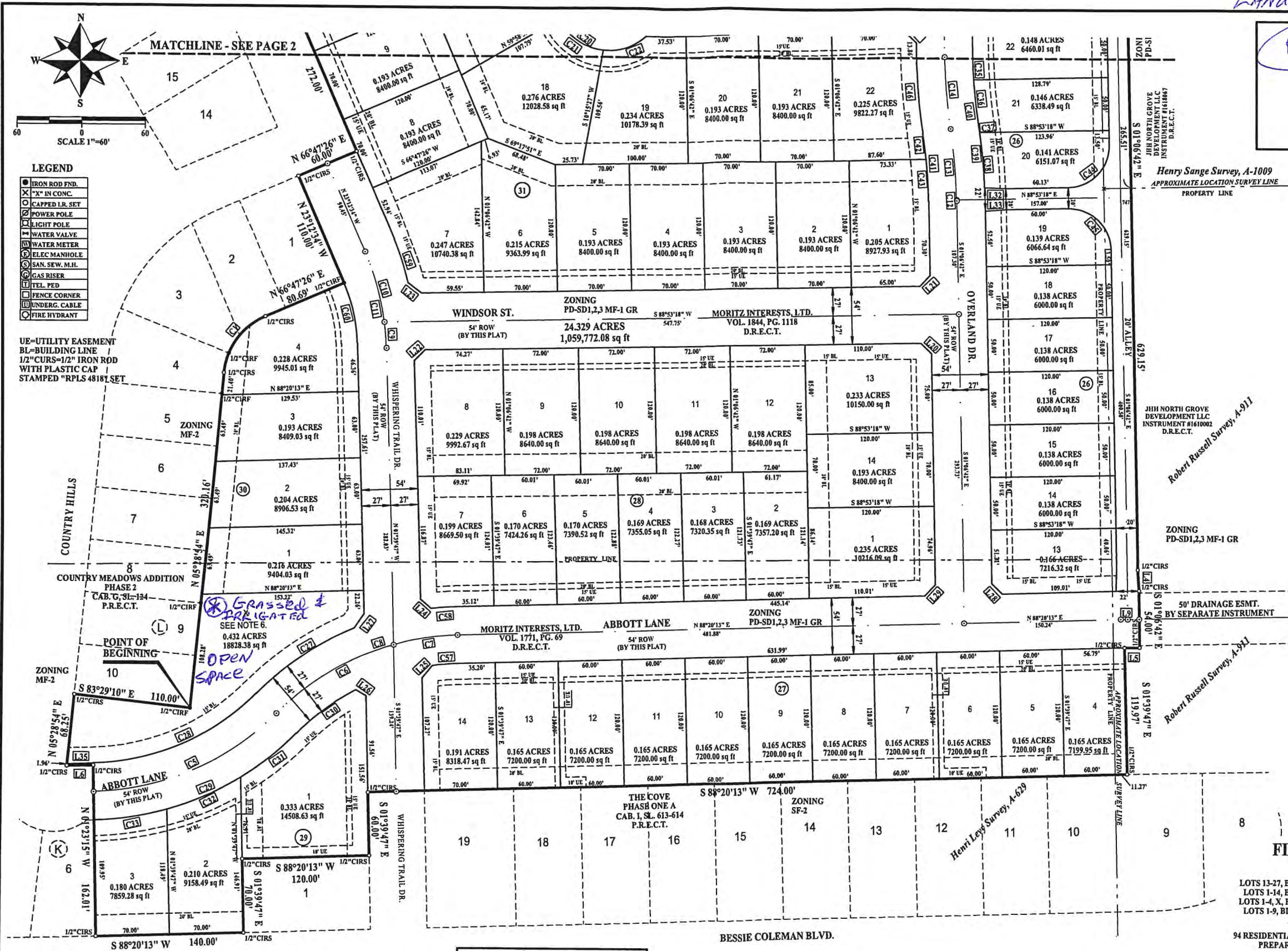
**THE COVE  
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AN ADDITION TO THE CITY OF WAXAHACHIE, ELLIS  
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SANGE SURVEY, ABSTRACT NO. 911, AND THE  
HENRI LEVY SURVEY, ABSTRACT NO. 629, ELLIS  
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PCS 2014/11-049 H. SANGE SURVEY/PHASE 2/114-049 THE COVE PH 2 PLAT PCS

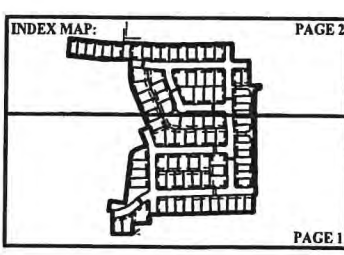


LANDSCAPE PLAN COVE 2

PAGE 2



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REGISTERED PROFESSIONAL  
LAND SURVEYORS  
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ARLINGTON, TEXAS 76011  
(817) 461-2232  
trilon2106@mac.com

OWNER:  
JHH NORTH GROVE  
DEVELOPMENT LLC  
P.O. BOX 804  
MIDLOTHIAN, TX. 76065  
CONTACT: CHAD MILES  
(866) 646-6008

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RUSSELL SURVEY, ABSTRACT NO. 911, AND THE  
HENRI LEVY SURVEY, ABSTRACT NO. 629, ELLIS  
COUNTY, TEXAS.

Not Filled

PCS 201414-049 H. SANGE SURVEY/THE COVE/PHASE 2/14-049 THE COVE PH 2 PLAT .PCS





**DODD CREATIVE GROUP**

doddcreative.com | P 214 821 6990 | F 214 821 6992

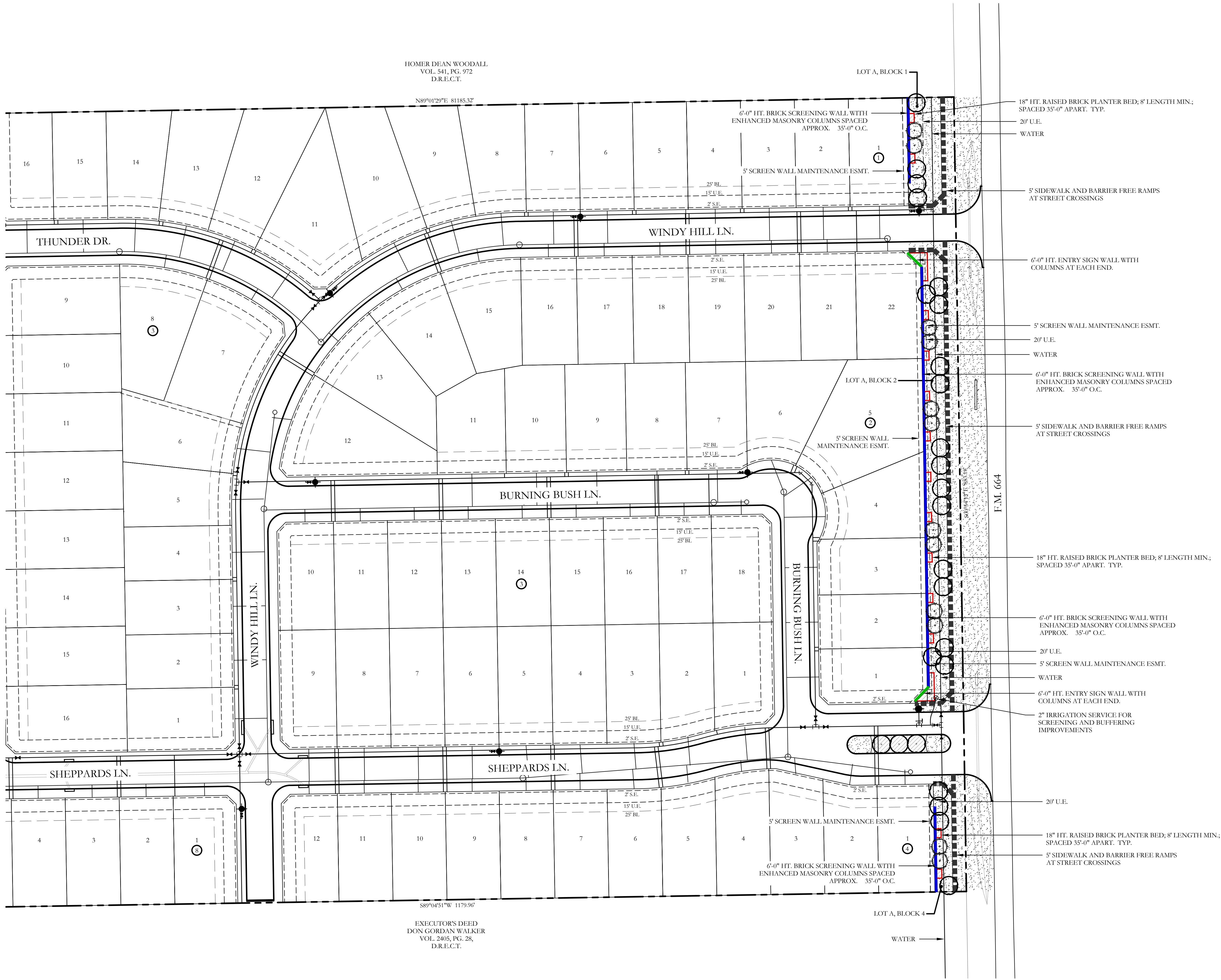
3720 Canton Street | Suite 200 | Dallas | 75226

CLIENT NORTH GROVE  
PROJECT NORTH GROVE  
SIGN TYPE PILLER SIGNS\_C

DA  
2.8







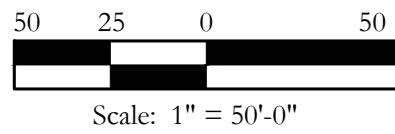
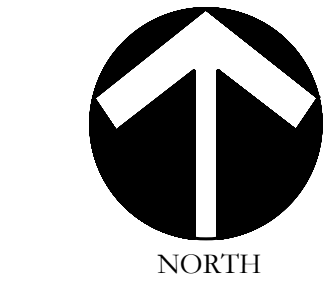
**SCREENING LEGEND**

- 6'-0" HT. BRICK SCREENING WALL WITH ENHANCED MASONRY COLUMNS SPACED APPROX. 35'-0" O.C.
- 6'-0" HT. ENTRY SIGN WALL WITH COLUMNS AT EACH END.
- 18" HT. RAISED BRICK PLANTER BED; 8' LENGTH MIN.; SPACED 35'-0" APART.
- 5' SIDEWALK AND BARRIER FREE RAMPS AT STREET CROSSINGS
- 4" CALIPER LARGE TREE; 10' MIN. HEIGHT. (1) - 4" LARGE TREE PER 40 LINEAR FEET OF FRONTAGE SHALL BE REQUIRED. (22 TREES REQUIRED)
- 3" CALIPER EASTERN RED CEDAR TO CREATE CONTINUOUS LIVING SCREEN IN ORDER TO PROVIDE HORIZONTAL RELIEF OF SCREENING WALL. TREES SHALL BE 8' HT. MINIMUM.
- SHRUB AND GROUND COVER BED. 3 GALLON CONTAINER SHRUBS SHALL BE PLANTED WITHIN EACH RAISED PLANTER BED.
- COMMON BERMUDA GRASS. SOLID SOD IN DISTURBED AREAS. DRILL SEED OR HYDROMULCH IN BAR DITCH IF NECESSARY.

- GENERAL SCREENING NOTES**
- ANY EASEMENTS TO BE ESTABLISHED WILL BE IDENTIFIED AND PROVIDED AT TIME OF PLATTING.
  - GRAPHIC ILLUSTRATIONS IN THE OPEN SPACES ARE NOT INTENDED TO COMMUNICATE, SHOW, OR REPRESENT ACTUAL LAYOUT, OR DETAILED LANDSCAPE DESIGN.
  - ALL ROADS, SIDEWALKS, FIRE LANES, DRIVE AISLES AND INTERSECTIONS WILL COMPLY WITH THE CITY OF WAXAHACHIE ENGINEERING DESIGN STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
  - SIDEWALKS WILL BE CONSTRUCTED ALONG ALL CITY STREETS. INTER-CONNECTIVITY WILL BE PROVIDED THAT MEETS CITY OF WAXAHACHIE AND ADA STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
  - TREE PLACEMENT ALONG CITY STREETS SHALL COMPLY WITH CITY OF WAXAHACHIE STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT. FURTHERMORE, TREES SHALL NOT OBSTRUCT OR IMPEDE THE VIEW OF ANY STOP SIGN.
  - ALL MASONRY SCREENING WALLS SHOWN ON THESE EXHIBITS SHALL BE OWNED AND MAINTAINED BY THE HOA.
  - ALL OPEN SPACE AREAS SHALL RECEIVE 100% COVERAGE OF COMMON BERMUDA GRASS.
  - ALL LANDSCAPE AREAS SHOWN SHALL BE IRRIGATED WITH A FULLY AUTOMATIC LANDSCAPE IRRIGATION SYSTEM DESIGNED AND INSTALLED PER CURRENT TEXAS COMMISSION OF ENVIRONMENTAL QUALITY AND THE CITY OF WAXAHACHIE LANDSCAPE IRRIGATION STANDARDS.

**SHEPPARD'S PLACE  
PHASE 1  
Landscape Plan  
(Sheet 1 of 2)**

City of Waxahachie, Ellis County, Texas



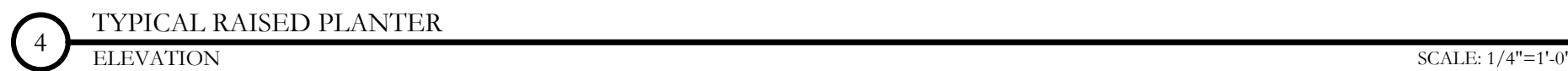
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**CODY JOHNSON**  
s · t · u · d · i · o

9720 COIT ROAD, SUITE 220-333, PLANO, TEXAS 75025  
PH. (903) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM





9720 COIT ROAD, SUITE 220-333, PLANO, TEXAS 75025  
PH. (903) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

# Planning & Zoning Department

## Zoning Staff Report

Case: SU-18-0090



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Public Hearing** on a request by Alyssa Martel, Solar City dba Tesla Energy, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Planned Development-Single Family-2 zoning district, located at 119 Rain Cloud Drive, being LOT 10 BLK Q BUFFALO RIDGE ADDN PH IIIB 0.173 AC (Property ID 267470) - Owner: MAU STEFAN & APRIL ROMAN (SU-18-0090)

### CASE INFORMATION

*Applicant:* Alyssa Martel, Solar City dba Tesla Energy

*Property Owner(s):* Stefan Mau & April Roman

*Site Acreage:* 0.173 acres

*Current Zoning:* Planned Development-Single Family-2 (Ordinance 2218)

*Requested Zoning:* PD-SF-2 with Specific Use Permit

### SUBJECT PROPERTY

*General Location:* 119 Rain Cloud Drive

*Parcel ID Number(s):* 267470

*Existing Use:* Single family residence

*Development History:* The Final Plat for Buffalo Ridge Phase III B was approved by City Council on October 17, 2016.

*Adjoining Zoning & Uses:*

Direction	Zoning	Current Use
North	PD-SF2	Single family residence
East	PD-SF2	Currently undeveloped
South	PD-SF2	Single family residence
West	PD-SF2	Single family residence

*Future Land Use Plan:* Low Density Residential

*Comprehensive Plan:*

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

*Thoroughfare Plan:*

The site is accessed via Rain Cloud Drive, a local street.



*Site Image:*

**PLANNING ANALYSIS**

The applicant seeks to install solar panels on the roof of this single family residence. Solar panels are permitted, with a Specific Use Permit, and must be installed so that they do not front onto the right-of-way.

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 6 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 06/08/2018.

**STAFF CONCERNS**

1. None outstanding.

**APPLICANT RESPONSE TO CONCERNS**

1. Applicant submitted revisions and cleared all comments.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

**ATTACHED EXHIBITS**

1. Site plan

**APPLICANT REQUIREMENTS**

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

[kdent@waxahachie.com](mailto:kdent@waxahachie.com)


*Reviewed by:*

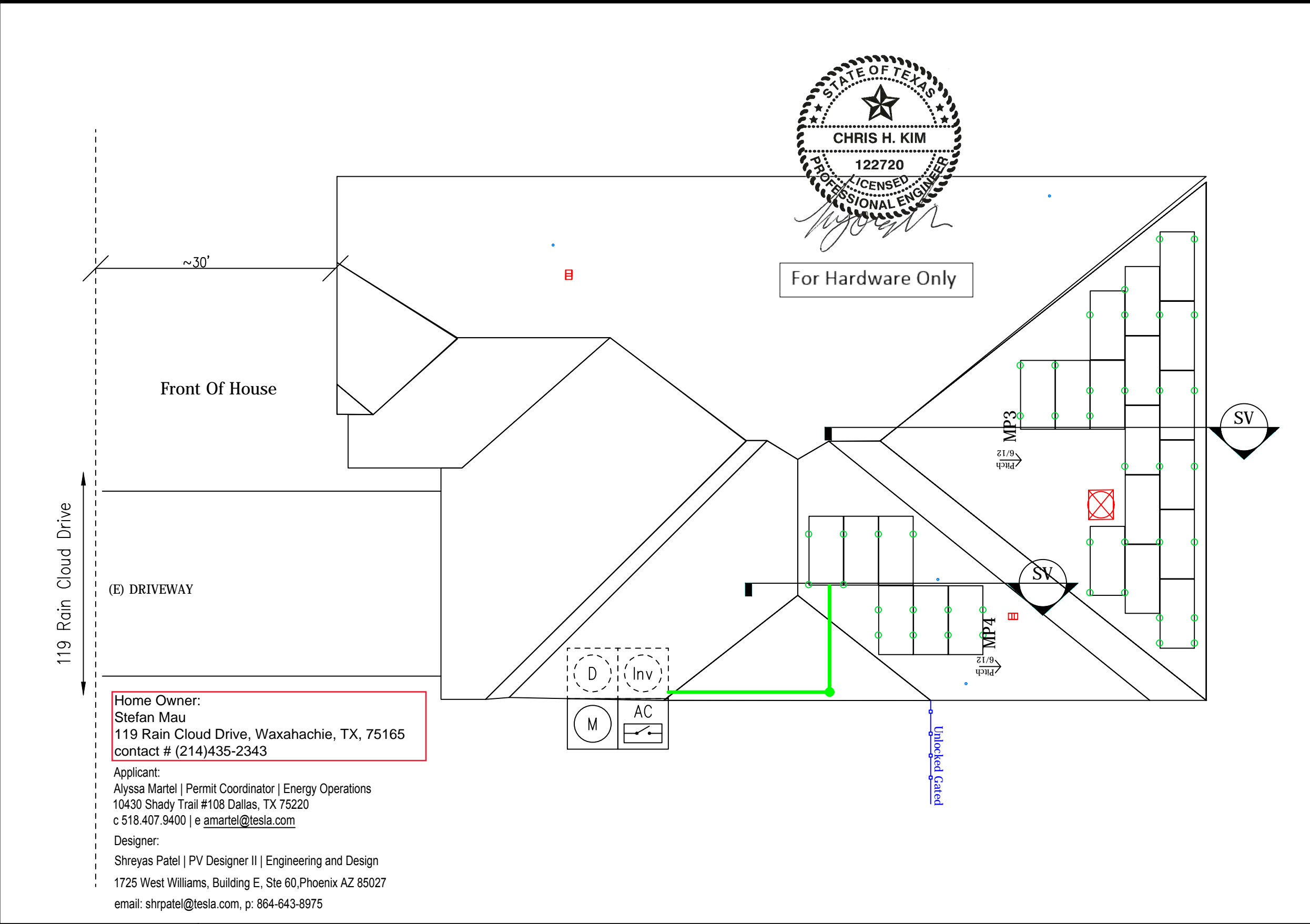
Shon Brooks, AICP

Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



<div>ABBREVIATIONS</div> <div>A AMPERE AC ALTERNATING CURRENT BLDG BUILDING CONC CONCRETE DC DIRECT CURRENT EGC EQUIPMENT GROUNDING CONDUCTOR (E) EXISTING EMT ELECTRICAL METALLIC TUBING FSB FIRE SET-BACK GALV GALVANIZED GEC GROUNDING ELECTRODE CONDUCTOR GND GROUND HDG HOT DIPPED GALVANIZED I CURRENT Imp CURRENT AT MAX POWER Isc SHORT CIRCUIT CURRENT kVA KILOVOLT AMPERE kW KILOWATT LBW LOAD BEARING WALL MIN MINIMUM (N) NEW NEUT NEUTRAL NTS NOT TO SCALE OC ON CENTER PL PROPERTY LINE POI POINT OF INTERCONNECTION PV PHOTOVOLTAIC SCH SCHEDULE S STAINLESS STEEL STC STANDARD TESTING CONDITIONS TYP TYPICAL UPS UNINTERRUPTIBLE POWER SUPPLY V VOLT Vmp VOLTAGE AT MAX POWER Voc VOLTAGE AT OPEN CIRCUIT W WATT 3R NEMA 3R, RAINTIGHT</div>		<div>ELECTRICAL NOTES</div> <div>1. THIS SYSTEM IS GRID-INTERTIED VIA A UL-LISTED POWER-CONDITIONING INVERTER. 2. THIS SYSTEM HAS NO BATTERIES, NO UPS. 3. A NATIONALLY-RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART. 110.3. 4. WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A SIGN WILL BE PROVIDED WARNING OF THE HAZARDS PER ART. 690.17. 5. EACH UNGROUNDED CONDUCTOR OF THE MULTIWIRE BRANCH CIRCUIT WILL BE IDENTIFIED BY PHASE AND SYSTEM PER ART. 210.5. 6. CIRCUITS OVER 250V TO GROUND SHALL COMPLY WITH ART. 250.97, 250.92(B). 7. DC CONDUCTORS EITHER DO NOT ENTER BUILDING OR ARE RUN IN METALLIC RACEWAYS OR ENCLOSURES TO THE FIRST ACCESSIBLE DC DISCONNECTING MEANS PER ART. 690.31(E). 8. ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY UL LISTING. 9. MODULE FRAMES SHALL BE GROUNDED AT THE UL-LISTED LOCATION PROVIDED BY THE MANUFACTURER USING UL LISTED GROUNDING HARDWARE. 10. MODULE FRAMES, RAIL, AND POSTS SHALL BE BONDED WITH EQUIPMENT GROUND CONDUCTORS.</div>		<div>JURISDICTION NOTES</div> <div><div>Home Owner: Stefan Mau 119 Rain Cloud Drive, Waxahachie, TX, 75165 contact # (214)435-2343</div><div>Applicant: Alyssa Martel   Permit Coordinator   Energy Operations 10430 Shady Trail #108 Dallas, TX 75220 c 518.407.9400   e <a href="mailto:amartel@tesla.com">amartel@tesla.com</a></div><div>Designer: Shreyas Patel   PV Designer II   Engineering and Design 1725 West Williams, Building E, Ste 60,Phoenix AZ 85027 email: <a href="mailto:shrpatel@tesla.com">shrpatel@tesla.com</a>, p: 864-643-8975</div></div>																													
<div>LICENSE</div> <div>TYPE EC # 27006</div> <div>MODULE GROUNDING METHOD: ZEP SOLAR</div> <div>AHJ: Waxahachie</div> <div>UTILITY: Oncor (MP2 Energy-Dallas)</div>		<div>GENERAL NOTES</div> <div>1. ALL WORK SHALL COMPLY WITH THE 2015 IBC AND 2015 IRC. 2. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2011 NATIONAL ELECTRIC CODE.</div>		<div>VICINITY MAP</div> <div><div>ery Program, U.S. Geological Survey, USDA Farm Service Agency</div></div>			<div>INDEX</div> <div>PV1 COVER SHEET PV2 SITE PLAN PV3 STRUCTURAL VIEWS PV4 UPLIFT CALCULATIONS PV5 THREE LINE DIAGRAM PV6 ROOF ANGLE PV7 SITE PLAN PLACARD CUTSHEETS ATTACHED</div> <table><tr><th>REV</th><th>BY</th><th>DATE</th><th>COMMENTS</th></tr><tr><td>REV A</td><td>NAME</td><td>DATE</td><td>COMMENTS</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr><tr><td>*</td><td>*</td><td>*</td><td>*</td></tr></table>			REV	BY	DATE	COMMENTS	REV A	NAME	DATE	COMMENTS	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
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<div>CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.</div>		<div>JOB NUMBER: JB-7511449 00</div> <div>MOUNTING SYSTEM: ZS Comp V4 w Flashing-Insert</div> <div>MODULES: (22) REC # REC260PEZ</div> <div>INVERTER: (1) SOLAREEDGE #SE5000A-US-ZB-U</div>		<div>CUSTOMER: MAU, STEFAN 119 RAIN CLOUD DRIVE,WAXAHACHIE, TX 75165, PHONE: 214-435-2343 LOT10 BLK Q BUFFALO RIDGE ADDN PH IIIB 0.173AC,Waxahachie,TX,EllisCounty</div>		<div>DESCRIPTION: STEFAN MAU RESIDENCE 5.72 KW PV ARRAY ROOF MOUNTED</div> <div>PAGE NAME: COVER SHEET</div>		<div>DESIGN: Shreyas Patel</div> <div>SHEET: PV 1REV: 4/3/2018DATE:</div> <div>TESLA</div>																									



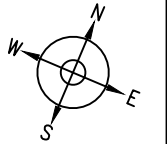
MP3	PITCH: 26 AZIMUTH: 67 MATERIAL: Comp Shingle	ARRAY PITCH: 26 ARRAY AZIMUTH: 67 STORY: 2 Stories
MP4	PITCH: 26 AZIMUTH: 67 MATERIAL: Comp Shingle	ARRAY PITCH: 26 ARRAY AZIMUTH: 67 STORY: 2 Stories

## LEGEND

(M)	(E) UTILITY METER & WARNING LABEL
Inv	INVERTER W/ INTEGRATED DC DISCO & WARNING LABELS
DC	DC DISCONNECT & WARNING LABELS
AC	AC DISCONNECT & WARNING LABELS
(B)	DC JUNCTION/COMBINER BOX & LABELS
(D)	DISTRIBUTION PANEL & LABELS
(LC)	LOAD CENTER & WARNING LABELS
(M)	DEDICATED PV SYSTEM METER
(RSD)	RAPID SHUTDOWN
○	STANDOFF LOCATIONS
—	CONDUIT RUN ON EXTERIOR
- - -	CONDUIT RUN ON INTERIOR
—	GATE/FENCE
○	HEAT PRODUCING VENTS ARE RED
- - -	INTERIOR EQUIPMENT IS DASHED

## SITE PLAN

Scale: 1/8" = 1'



CONFIDENTIAL – THE INFORMATION HEREIN CONTAINED SHALL NOT BE USED FOR THE BENEFIT OF ANYONE EXCEPT TESLA INC., NOR SHALL IT BE DISCLOSED IN WHOLE OR IN PART TO OTHERS OUTSIDE THE RECIPIENT'S ORGANIZATION, EXCEPT IN CONNECTION WITH THE SALE AND USE OF THE RESPECTIVE TESLA EQUIPMENT, WITHOUT THE WRITTEN PERMISSION OF TESLA INC.

JOB NUMBER: JB-7511449 00

MOUNTING SYSTEM:  
ZS Comp V4 w Flashing-Insert

MODULES:  
(22) REC # REC260PEZ

INVERTER:  
(1) SOLAREDGE #SE5000A-US-ZB-U

CUSTOMER:  
MAU, STEFAN  
119 RAIN CLOUD DRIVE, WAXAHACHIE,  
TX 75165, PHONE: 214-435-2343  
LOT10 BLK Q BUFFALO RIDGE ADDN  
PH IIIB 0.173AC, Waxahachie, TX, Ellis County

DESCRIPTION:  
STEFAN MAU RESIDENCE  
5.72 KW PV ARRAY  
ROOF MOUNTED

PAGE NAME:  
SITE PLAN

DESIGN:  
Shreyas Patel

SHEET:  
PV 2

REV: 4/3/2018

TESLA

# Planning & Zoning Department

## Plat Staff Report

**Case: PP-18-0098**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by Stan Beard, Buc-ee's Ltd, for a **Preliminary Plat** of Buc-ee's Addition for 4 lots, being 58.72 acres in the Elbert C. Newton Survey, Abstract 790, John Shavor Survey, Abstract 1000, and Peter B. Stout Survey, Abstract 1003 (Property ID 188453) – Owner: 60 WAX RE HOLDINGS, LLC (PP-18-0098).

### CASE INFORMATION

*Applicant:* Stan Beard, Buc-ee's

*Property Owner(s):* 60 WAX RE HOLDINGS, LLC

*Site Acreage:* 58.72 acres

*Number of Lots:* 4 lots

*Number of Dwelling Units:* 0 units

*Park Land Dedication:* The cash in lieu of park land dedication for this property is estimated at **\$35,232.00** (58.72 acres at \$600.00 per acre). This is due before the final plat can be filed.

*Adequate Public Facilities:* This will be on City services.

### SUBJECT PROPERTY

*General Location:* SW Corner of I-35E and Butcher Road

*Parcel ID Number(s):* 188453

*Current Zoning:* See Companion Case PD-18-0088

*Existing Use:* Currently undeveloped

*Platting History:* Elbert C. Newton Survey, Abstract 790, John Shavor Survey, Abstract 1000, and Peter B. Stout Survey, Abstract 1003



*Site Aerial:*



**STAFF CONCERNS**

1. Preliminary plat
  - a. 100 feet needs to be dedicated as Butcher Road at the northern border of the development.
  - b. Please update the title block to reflect the new lot count.
2. Concept utility plan
  - a. Private sewer line? This will be hard to maintain in the future without access or along a slope of the pond.

**APPLICANT RESPONSE TO CONCERNS**

1. Applicant has submitted revised drawings that cleared comments except for the comments above.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
  1. 100 feet needs to be dedicated as Butcher Road at the northern border of the development.
  2. Please update the title block to reflect the new lot count.
  3. Private sewer line? This will be hard to maintain in the future without access or along a slope of the pond.

**ATTACHED EXHIBITS**

1. Plat drawing
2. Existing conditions map
3. Drainage area map
4. Concept utility plan
5. Fire flow test

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

*Reviewed by:*

Shon Brooks, AICP

Director of Planning

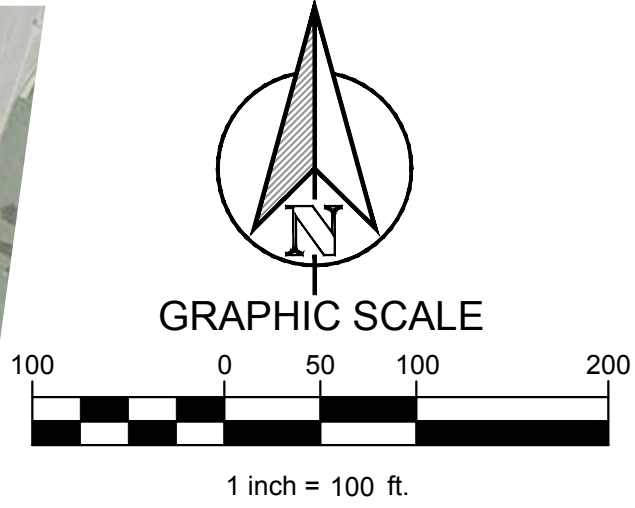
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)







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 PLOT DATE: 8/15/2018 7:39 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2017-153 BUC-EE WAXAHACHIE\CADD\SHEETS\P-1 EXISTING CONDITIONS MAP.DWG  
 LAST SAVED: 8/11/2018 11:38 AM



TEXAS REGISTRATION #14199  
  
 1900 CENTRAL DRIVE SUITE #408  
 BEDFORD, TX 76021  
 PHONE: 817.281.0972  
 WWW.CLAYMOOREENG.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: **MATT MOORE**  
 P.E. No. 95813 Date 06/14/2018

**BUC-EE'S**  
**SWC OF INTERSTATE HWY. 35E**  
**AND BUTCHER ROAD**  
**WAXAHACHIE, TEXAS**

NO.	DATE	REVISION	BY

EXISTING  
 CONDITIONS MAP

DESIGN: BJK  
 DRAWN: BJK  
 CHECKED: MAM  
 DATE: 06/14/2018

SHEET  
**P-1**

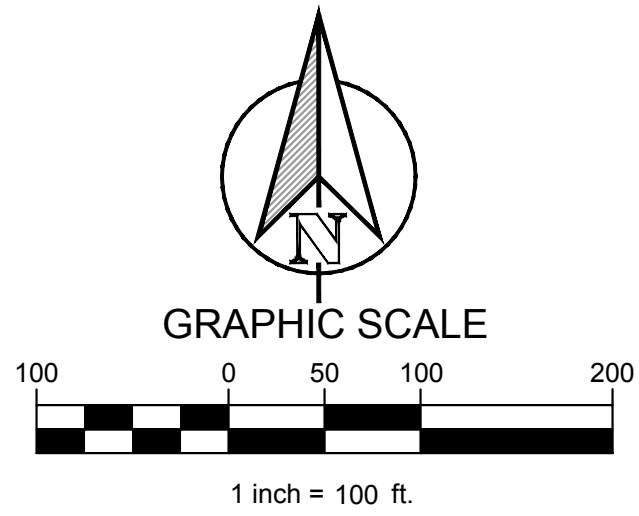
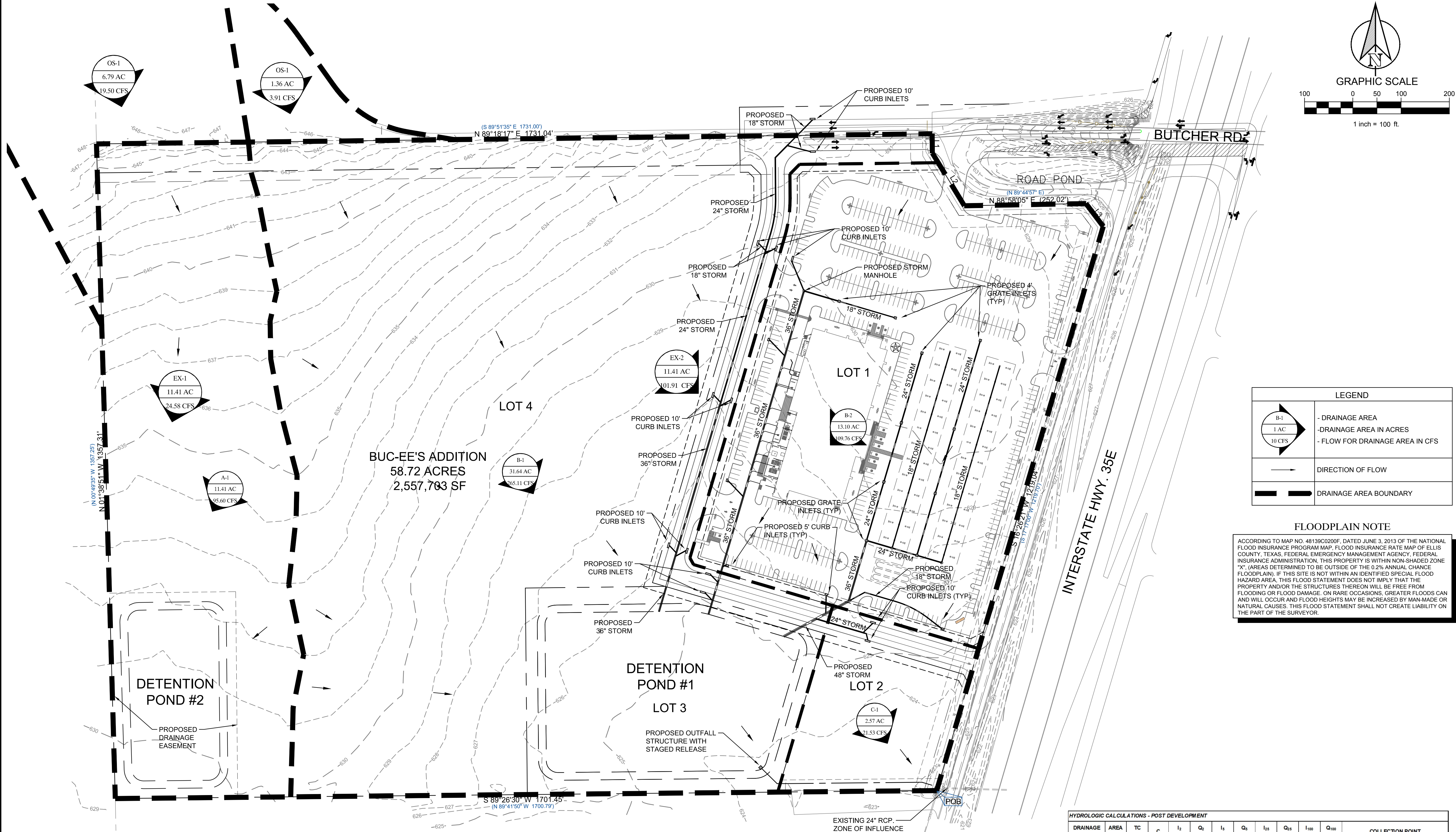
File No. 2017-153

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 48139C0200F, DATED JUNE 3, 2013 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ELLIS COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN NON-SHADED ZONE "X"; (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN). IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



BOBBY KUBIN  
9/15/2018 7:40 AM  
2: \PROJECTS\PROJECTS\2017-153 BUC-EE WAXAHACHIE\CADD\SHEETS\P-2 DRAINAGE AREA MAP.DWG  
6/12/2018 8:02 AM  
PLOTTED BY:  
PLOT DATE:  
LOCATION:  
LAST SAVED:



LEGEND	
	- DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

**FLOODPLAIN NOTE**

ACCORDING TO MAP NO. 48139C0200F, DATED JUNE 3, 2013 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ELLIS COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN NON-SHADED ZONE "X". (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN). IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**Pond #2 - Detention Calculations (100 YEAR EVENT)**  
Modified Rational Method

Required Storage Volume	78,866 cubic-feet
1,811 acre-feet	
Provided Storage Volume	78,866 cubic-feet
1,811 acre-feet	

Onsite Existing Conditions	
Area	11.41 acres
Time (Tc)	20 minutes
C value	0.40
I-100yr	7.18 in/hr
Q100yr	32.78 cfs
Q100yr (BP)	0.00 cfs
Q100yr (OS)	19.51 cfs
Q100yr (T)	52.29 cfs
Q100yr (T)	52.29 cfs

Onsite Existing Flow	
Bypass flow (On-Site flow bypassing detention pond)	
Offsite flow (Pass-through detention pond)	
Total Allowable Release Rate	
Rate of Release by Outfall Structure	

Onsite Proposed Conditions	
Area	11.41 acres
Time (Tc)	10 minutes
C value	0.90
I-100yr	9.31 in/hr
Q100yr	95.57 cfs

Developed Runoff

**Pond #1 - Detention Calculations (100 YEAR EVENT)**  
Modified Rational Method

Required Storage Volume	356,819 cubic-feet
8,191 acre-feet	
Provided Storage Volume	356,819 cubic-feet
8,191 acre-feet	

Onsite Existing Conditions	
Area	44.74 acres
Time (Tc)	20 minutes
C value	0.40
I-100yr	7.18 in/hr
Q100yr	128.55 cfs
Q100yr (BP)	21.53 cfs
Q100yr (OS)	3.91 cfs
Q100yr (T)	110.93 cfs
Q100yr (T)	110.93 cfs

Onsite Existing Flow	
Bypass flow (On-Site flow bypassing detention pond)	
Offsite flow (Pass-through detention pond)	
Total Allowable Release Rate	
Rate of Release by Outfall Structure	

Onsite Proposed Conditions	
Area	44.74 acres
Time (Tc)	10 minutes
C value	0.90
I-100yr	9.31 in/hr
Q100yr	374.72 cfs

Developed Runoff

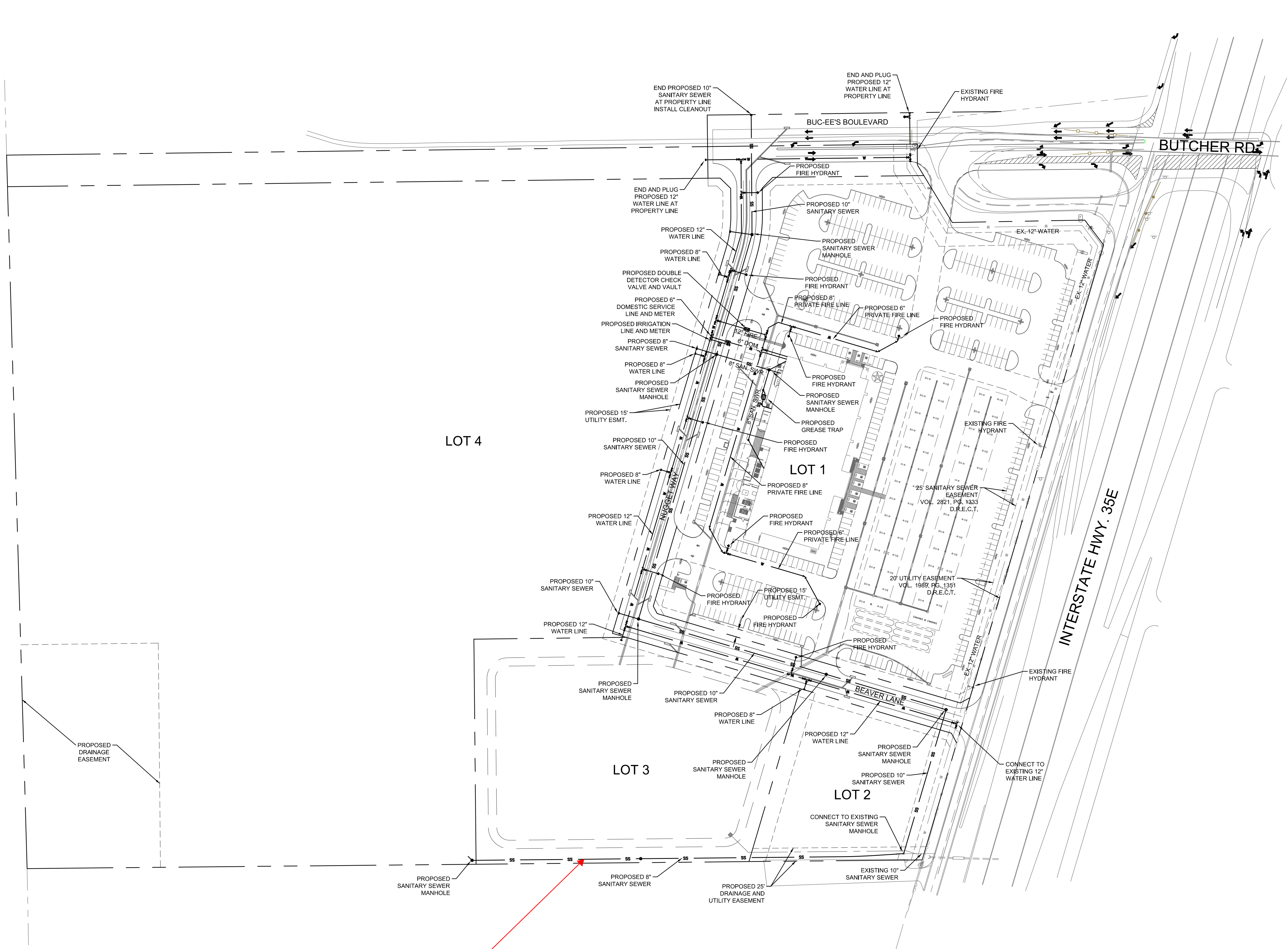
HYDROLOGIC CALCULATIONS - POST DEVELOPMENT												
DRAINAGE AREA	AREA (AC.)	TC (MIN)	C	I <sub>2</sub> (IN/HR)	Q <sub>2</sub> (CFS)	I <sub>5</sub> (IN/HR)	Q <sub>5</sub> (CFS)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	COLLECTION POINT		
A-1	11.41	10	0.90	4.81	49.39	5.84	59.97	7.62	78.25	9.31	95.60	PROPOSED DETENTION POND #2
B-1	31.64	10	0.90	4.81	136.97	5.84	166.30	7.62	216.99	9.31	265.11	PROPOSED DETENTION POND #1
B-2	13.10	10	0.90	4.81	56.71	5.84	68.85	7.62	89.84	9.31	109.76	PROPOSED DETENTION POND #1
C-1	2.57	10	0.90	4.81	11.13	5.84	13.51	7.62	17.63	9.31	21.53	AREA TO BYPASS DETENTION POND
OS-1	1.36	15	0.40	3.45	1.88	4.36	2.37	5.80	3.16	7.18	3.91	SHEET FLOWS FROM OFF-SITE
OS-2	6.79	15	0.40	3.45	9.37	4.36	11.84	5.80	15.75	7.18	19.50	SHEET FLOWS FROM OFF-SITE
TOTAL DRAINAGE	66.87				265.45		322.85		421.61		515.42	

HYDROLOGIC CALCULATIONS - EXISTING CONDITIONS													
DRAINAGE AREA	AREA (AC)	TC (MIN)	C	I <sub>2</sub> (IN/HR)	Q <sub>2</sub> (CFS)	I <sub>5</sub> (IN/HR)	Q <sub>5</sub> (CFS)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	COLLECTION POINT			
EX-1	11.41	20	0.40	3.46	15.79	4.36	19.90	5.80	26.47	7.18	32.77	SHEET FLOWS OFF-SITE	
EX-2	47.31	20	0.40	3.46	65.29	4.36	82.51	5.80	109.76	7.18	135.87	SHEET FLOWS TO EX-24" CULVERT IN ROW	
OS-1	1.36	15	0.40	3.45	1.88	4.36	2.37	5.80	3.16	7.18	3.91	SHEET FLOWS FROM OFF-SITE	
OS-2	6.79	15	0.40	3.45	9.37	4.36	11.84	5.80	15.75	7.18	19.50	SHEET FLOWS FROM OFF-SITE	
TOTAL DRAINAGE	66.87				92.33		116.62		155.14		192.05		

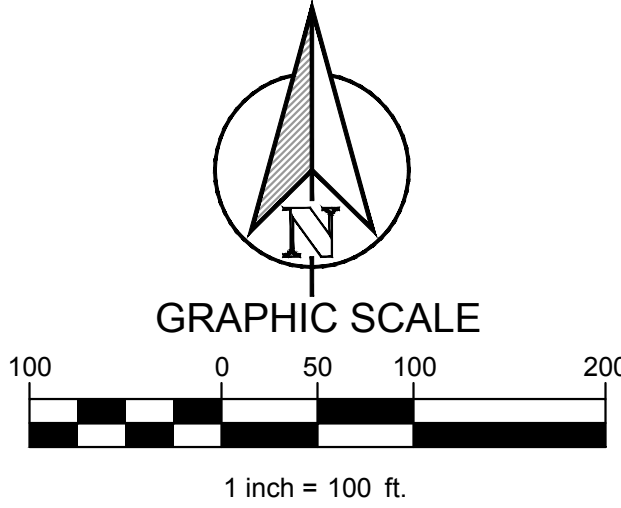
NO.	DATE	REVISION	BY



PLOTTED BY: BOBBY KUBIN  
PLOT DATE: 6/15/2018 7:45 AM  
LOCATION: Z:\PROJECTS\PROJECTS\2017-153 BUC-EE WAXAHACHIE\CADD\SHEETS\P-3 UTILITY PLAN.DWG  
LAST SAVED: 6/15/2018 7:45 AM



Private Sewer line? this will be hard to maintain in the future without access or along a slope of the pond



TEXAS REGISTRATION #14199

**CLAYMOORE**  
ENGINEERING

1900 CENTRAL DRIVE, SUITE #408  
WAXAHACHIE, TX 75091  
PHONE 972.281.0572  
WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**

FOR REVIEW ONLY  
Not for construction purposes.

CLAYMOORE ENGINEERING  
ENGINEERING AND PLANNING  
CONSULTANTS

Engineer: MATT MOORE  
P.E. No. 95813 Date 06/14/2018

**BUC-EE'S**  
**SWC OF INTERSTATE HWY. 35E**  
**AND BUTCHER ROAD**  
**WAXAHACHIE, TEXAS**

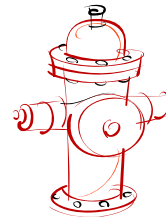
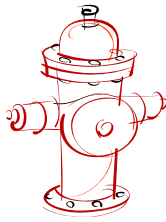
No.	DATE	REVISION	BY

**CONCEPTUAL  
UTILITY PLAN**

DESIGN: BJK  
DRAWN: BJK  
CHECKED: MAM  
DATE: 06/14/2018

SHEET  
**P-3**

File No. 2017-153



# *Fire Hydrant Servicing*

400 Casa Grande Ct.

Irving, Texas 75061

214-563-7782

972-259-2333 fax

*Firehydrantservicing.com*

## *Fire Hydrant Certificate of Flow Test Report*

### General Information

Requested by:	Clay Moore	Date of test:	3-15-2018
Purpose of test:	New Construction	City of test:	Waxahachie, TX
Inspector:	J. Chavez	Time of test:	10:00 am
Contact Name:	Bobby		
Job No.			

### *\*Flow Hydrant Readings\**

<u>Hyd. No.</u>	<u>Outlet size</u>	<u>Static p.s.i.</u>	<u>Flow p.s.i.</u>	<u>Projected flow/ gpm</u>
1	2.5"	64 psi	54 psi	1230 gpm

Location: Hydrant see map.

### *\*Static / Residual Hydrant Readings\**

<u>Hyd. No.</u>	<u>Static p.s.i.</u>	<u>Residual p.s.i.</u>
2	64 psi	56 psi

Location: Hydrant see map.

<u>Hyd. No.</u>	<u>Static p.s.i.</u>	<u>Residual p.s.i.</u>
	N/A	

Location: N/A

\*\*\*Please see attached map if available\*\*\*

# Planning & Zoning Department

## Plat Staff Report

Case: PP-18-0094



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by R. Jay Anthony, AP Land Development LLC, for a **Preliminary Plat** of Springside Estates Phase 1 for 5 residential and 2 non-residential lots, being 88.651 acres situated in the John Collet Survey, Abstract 221 (Property ID 138304, 138712, 138303) in the Extra Territorial Jurisdiction – Owner: AKP STILLWATER PARTNERSHIP and AP WAXAHACHIE LIMITED PARTNERSHIP (PP-18-0094).

### CASE INFORMATION

*Applicant:* R. Jay Anthony, AP Land Development LLC

*Property Owner(s):* AKP Stillwater Partnership and AP Waxahachie Limited Partnership

*Site Acreage:* 88.651 acres

*Number of Lots:* 58 residential and 2 non-residential lots

*Number of Dwelling Units:* 58 units

*Adequate Public Facilities:* Rockett SUD has indicated that their existing system can furnish the requested service in conformity with the Texas Commission on Environmental Quality standards for water distribution and the ISO fire flow requirements. On-site sewage facilities must be installed on each residential lot.

### SUBJECT PROPERTY

*General Location:* NW quadrant of the intersection of Gibson Road and Broadhead Road

*Parcel ID Number(s):* 138304, 138712, and 138303

*Current Zoning:* N/A (ETJ)

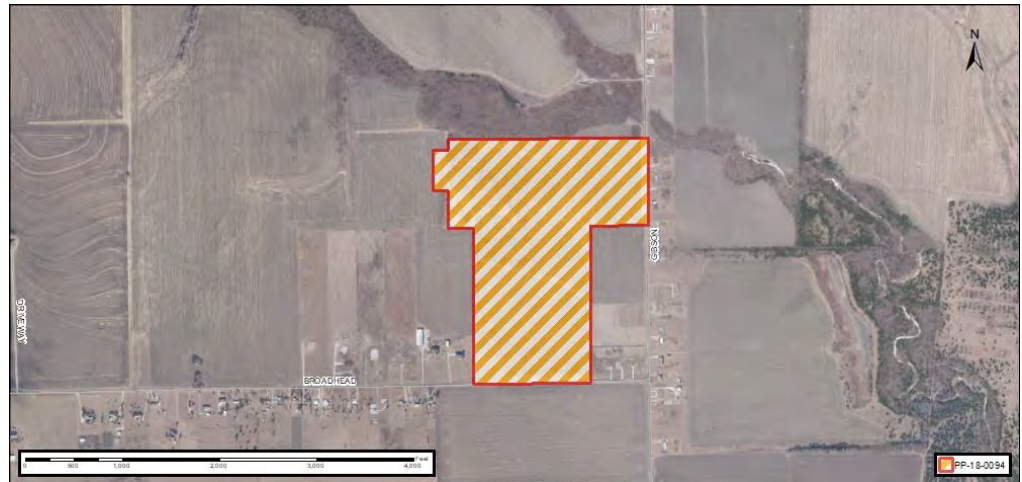
*Existing Use:* Currently undeveloped



*Platting History:*

The preliminary plat of Chautauqua Addition (case no. PLM2015-39) was approved by City Council on February 1, 2016. Preliminary Plats expire with Ellis County after one (1) year and with the City of Waxahachie after two (2) years. This case is to ensure that the final plat can be approved.

*Site Aerial:*



**STAFF CONCERNS**

1. None outstanding

**APPLICANT RESPONSE TO CONCERNS**

1. Applicant submitted revised drawings.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

**ATTACHED EXHIBITS**

1. Plat drawing

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

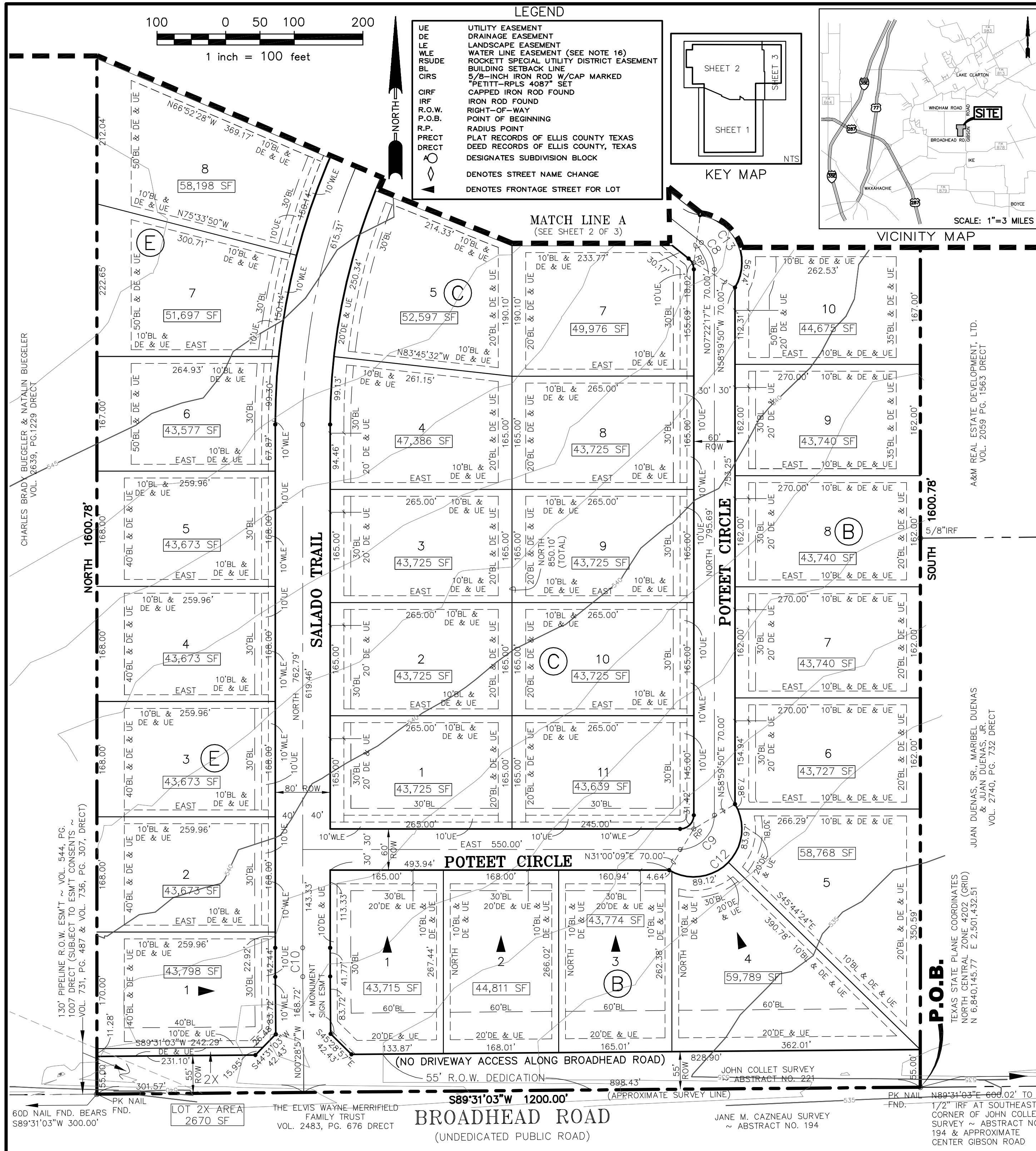
*Reviewed by:*

Shon Brooks, AICP

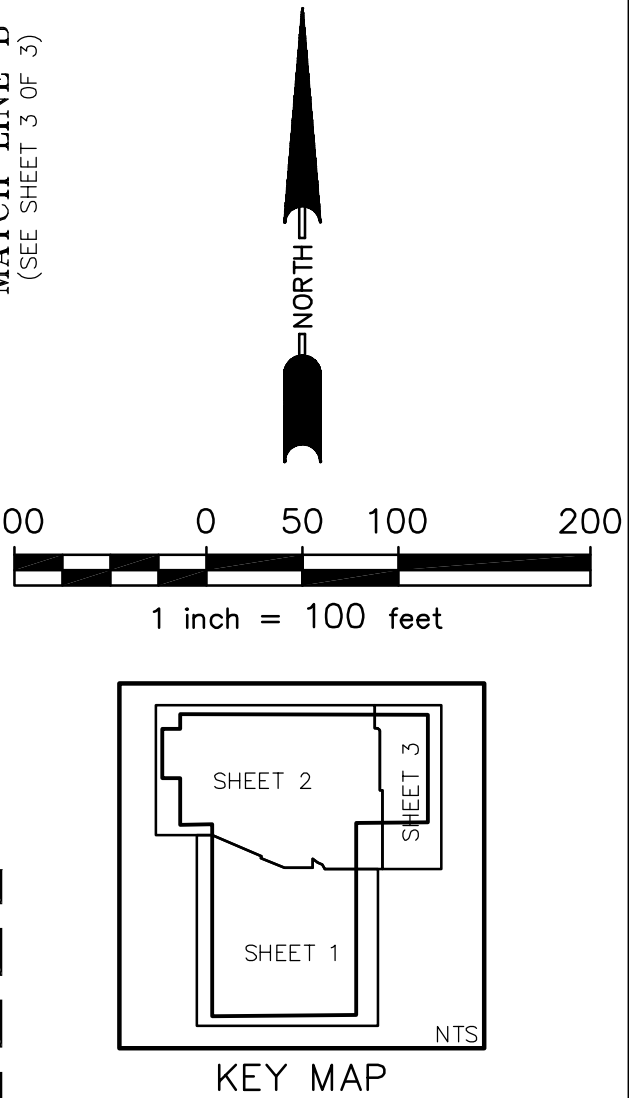
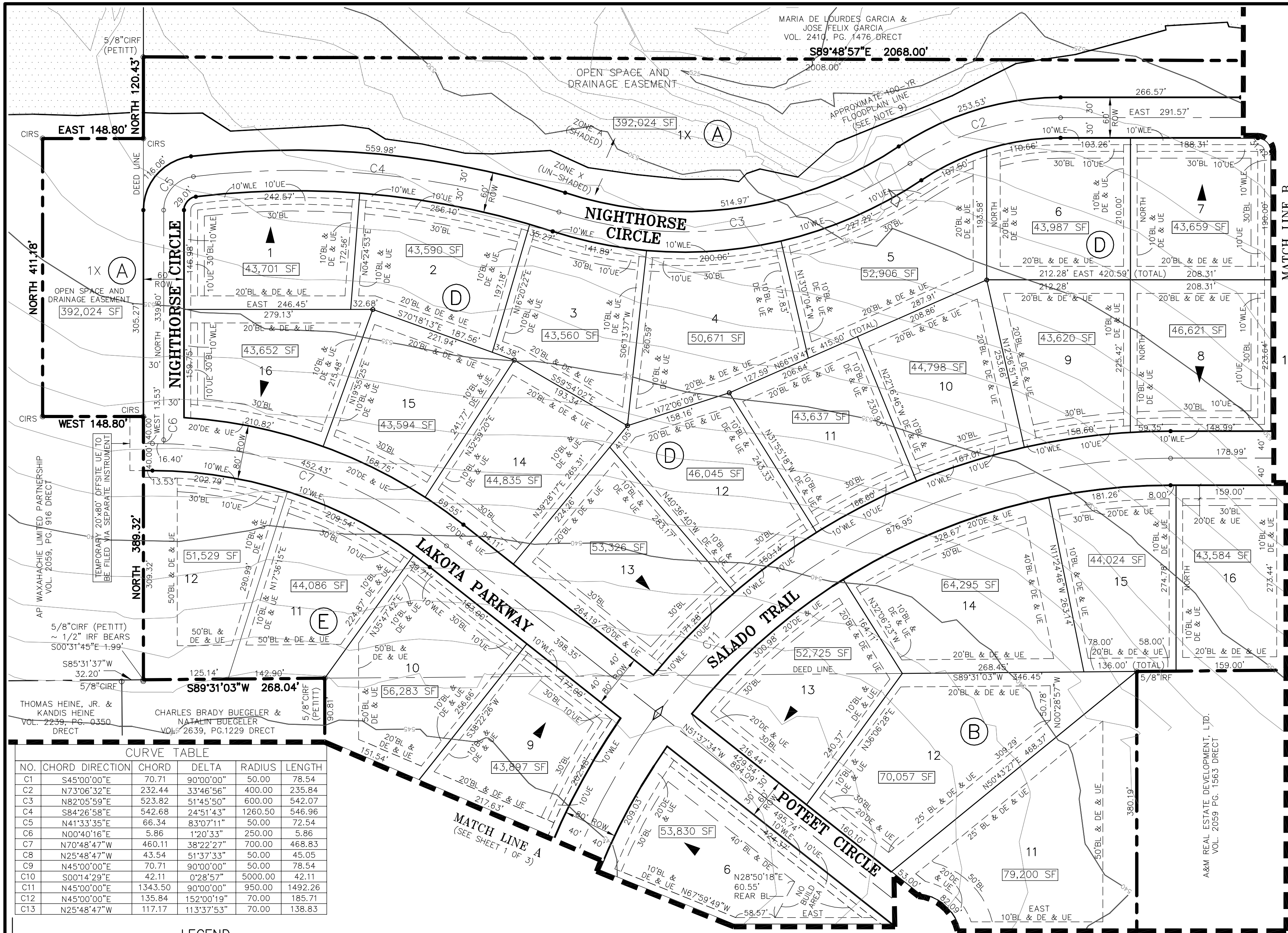
Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

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CURVE TABLE					
NO.	CHORD DIRECTION	CHORD	DELTA	RADIUS	LENGTH
C1	S45°00'00"E	70.71	90°00'00"	50.00	78.54
C2	N73°06'32"E	232.44	33°46'56"	400.00	235.84
C3	N82°05'59"E	523.82	51°45'50"	600.00	542.07
C4	S84°26'58"E	542.68	24°51'43"	1260.50	546.96
C5	N41°33'35"E	66.34	83°07'11"	50.00	72.54
C6	N00°40'16"E	5.86	1°20'33"	250.00	5.86
C7	N70°48'47"W	460.11	38°22'27"	700.00	468.83
C8	N25°48'47"W	43.54	51°37'33"	50.00	45.05
C9	N45°00'00"E	70.71	90°00'00"	50.00	78.54
C10	S00°14'29"E	42.11	0°28'57"	5000.00	42.11
C11	N45°00'00"E	134.35	90°00'00"	950.00	1492.26
C12	N45°00'00"E	135.84	152°00'19"	70.00	185.71
C13	N25°48'47"W	117.17	113°37'53"	70.00	138.83

LEGEND	
UE	UTILITY EASEMENT
DE	DRAINAGE EASEMENT
LE	LANDSCAPE EASEMENT
WLE	WATER LINE EASEMENT (SEE NOTE 16)
RSUDE	ROCKETT SPECIAL UTILITY DISTRICT EASEMENT
BL	BUILDING SETBACK LINE
CIRS	5/8-INCH IRON ROD W/CAP MARKED "PETITT-RPLS 4087" SET
CIRF	CAPPED IRON ROD FOUND
IRF	IRON ROD FOUND
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
R.P.	RADIUS POINT
PRECT	PLAT RECORDS OF ELLIS COUNTY TEXAS
DRECT	DEED RECORDS OF ELLIS COUNTY, TEXAS
⊙	DESIGNATES SUBDIVISION BLOCK
◇	DENOTES STREET NAME CHANGE
▲	DENOTES FRONTAGE STREET FOR LOT


- BENCHMARKS:
- N 6,840,152.17'  
E 2,501,193.19'  
Z 535.62'  
5/8 INCH CAPPED IRON ROD LOCATED ON THE NORTH SIDE OF BROADHEAD ROAD, APPROXIMATELY 990 FEET WEST OF THE INTERSECTION OF BROADHEAD ROAD AND GIBSON ROAD.
  - N 6,840,086.54'  
E 2,496,701.69'  
Z 546.14'  
5/8 INCH CAPPED IRON ROD LOCATED ON THE NORTH SIDE OF BROADHEAD ROAD, APPROXIMATELY 5331 FEET WEST OF THE INTERSECTION OF BROADHEAD ROAD AND GIBSON ROAD.

RPLS OF RECORD:  
JIMMIE D. NICHOLS  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5184

OWNERS:  
AP LAND DEVELOPMENT LLC  
AP WAXAHACHIE LIMITED PARTNERSHIP  
CONTACT:  
ROSS ANTHONY  
ANTHONY PROPERTIES MANAGEMENT, INC.  
12770 COIT RD. STE 970 DALLAS, TEXAS 75251  
PHONE (214) 432-9501

DISTRICT:  
ROCKETT SPECIAL UTILITY DISTRICT  
CONTACT:  
DON WERNER  
P.O. BOX 40  
RED OAK, TEXAS 75154-0040  
PHONE (972) 617-0031

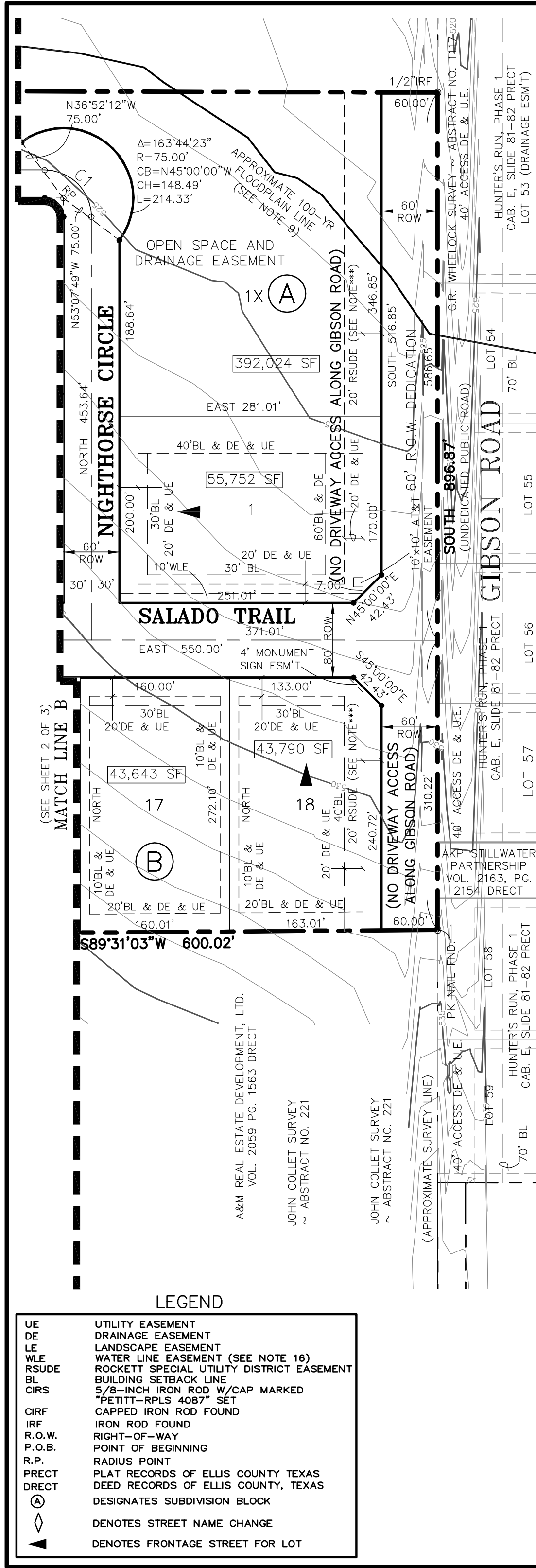
PRELIMINARY PLAT  
SPRINGSIDE ESTATES PHASE 1  
88.651 ACRES  
15.833 ACRES OF RIGHT-OF-WAY DEDICATION  
58 RESIDENTIAL LOTS  
2 NON-RESIDENTIAL LOTS  
SITUATED IN THE  
JOHN COLLET SURVEY ~ ABSTRACT NO. 221  
ROCKETT SPECIAL UTILITY DISTRICT  
CITY OF WAXAHACHIE ETJ  
ELLIS COUNTY, TEXAS



**PETITT BARRAZA**  
ENGINEERING PLANNING SURVEYING  
TBPE FIRM REGISTRATION NO. 1488  
TBPLS FIRM REGISTRATION NO. 101068  
1651 N. Greenville Dr. Ste. 212  
Richardson, Texas 75081  
Tel. No. (214) 221-9955  
Fax No. (214) 340-3550  
DATE: JUNE 2018  
JNICHOLS@PETITTBARRAZA.COM  
SCALE: 1"=100'  
JOB NO. 04009-00



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OWNER'S CERTIFICATION

STATE OF TEXAS §

COUNTY OF ELLIS §

WHEREAS, AP LAND DEVELOPMENT LLC, AND AP WAXAHACHIE LIMITED PARTNERSHIP, ARE THE OWNERS OF THAT CERTAIN TRACT OF LAND SITUATED IN THE JOHN COLLET SURVEY, ABSTRACT NO. 221, ELLIS COUNTY, TEXAS, SAID TRACT BEING ALL OF A CALLED 44.10 ACRE TRACT, AND ALL OF A CALLED 43.150 ACRE TRACT AS DESCRIBED IN SPECIAL WARRANTY DEED TO AKP STILLWATER PARTNERSHIP (NOW KNOWN AS AP LAND DEVELOPMENT LLC ACCORDING TO CERTIFICATE OF CONVERSION FILED IN THE OFFICE OF THE SECRETARY OF STATE OF TEXAS DATED DECEMBER 29, 2015 - FILE NO. 802358665), RECORDED IN DOCUMENT NUMBER 2016-3989, OF THE DEED RECORDS OF ELLIS COUNTY, TEXAS (DIRECT), AND PART OF A CALLED 246.013 ACRE TRACT OF LAND AS DESCRIBED IN SPECIAL WARRANTY DEED TO AP WAXAHACHIE LIMITED PARTNERSHIP, RECORDED IN VOLUME 2059, PAGE 916, DIRECT, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A "PK" NAIL FOUND IN THE APPROXIMATE CENTER OF BROADHEAD ROAD (UNDEDICATED PUBLIC ROAD), SAID NAIL BEING THE SOUTHEAST CORNER OF SAID 44.10 ACRE AKP STILLWATER PARTNERSHIP TRACT, AND THE SOUTHWEST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO JUAN DUENAS SR., MARIBEL DUENAS, AND JUAN DUENAS JR., RECORDED IN VOLUME 2740, PAGE 732, DIRECT, FROM WHICH A 1/2 INCH IRON ROD FOUND AT THE APPROXIMATE CENTER OF GIBSON ROAD (PARTIALLY DEDICATED R.O.W.) BEARS NORTH 89°31'03" EAST, A DISTANCE OF 600.02 FEET;

THENCE SOUTH 89°31'03" WEST, ALONG SAID APPROXIMATE CENTER OF BROADHEAD ROAD, A DISTANCE OF 1200.00 FEET TO A "PK" NAIL FOUND FOR CORNER, SAID NAIL BEING THE SOUTHEAST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO CHARLES BRADY BUEGELER AND NATALIN BUEGELER, RECORDED IN VOLUME 2639, PAGE 1229, DIRECT, FROM WHICH A 60D NAIL FOUND FOR THE SOUTHWEST CORNER OF SAID BUEGELER TRACT BEARS SOUTH 89°31'03" WEST, A DISTANCE OF 300.00 FEET;

THENCE NORTH, WITH THE EAST LINE OF SAID BUEGELER TRACT, A DISTANCE OF 1600.78 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" FOUND FOR CORNER AT THE NORTHEAST CORNER OF SAID BUEGELER TRACT, ALSO BEING LOCATED ON THE SOUTH LINE OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT;

THENCE SOUTH 89°31'03" WEST, WITH THE NORTH LINE OF SAID BUEGELER TRACT AND SAID SOUTH LINE OF THE 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT, A DISTANCE OF 268.04 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" FOUND FOR CORNER AT THE SOUTHWEST CORNER OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT, AND A SOUTHEAST CORNER OF SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT RECORDED IN VOLUME 2059, PAGE 916, DIRECT;

THENCE NORTH, WITH THE WEST LINE OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT, AND THE EAST LINE OF SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT (VOLUME 2059, PAGE 916), A DISTANCE OF 389.32 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" SET FOR CORNER;

THENCE WEST, LEAVING SAID COMMON LINE, AND OVER AND ACROSS SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT (VOLUME 2059, PAGE 916), A DISTANCE OF 148.80 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" SET FOR CORNER;

THENCE NORTH, CONTINUING OVER AND ACROSS SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT (VOLUME 2059, PAGE 916), A DISTANCE OF 411.18 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" SET FOR CORNER;

THENCE EAST, CONTINUING OVER AND ACROSS SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT (VOLUME 2059, PAGE 916), A DISTANCE OF 148.80 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" SET FOR CORNER LOCATED ON SAID WEST LINE OF THE 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT, AND THE EAST LINE OF SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT;

THENCE NORTH, WITH SAID WEST LINE OF THE 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT, AND THE EAST LINE OF SAID AP WAXAHACHIE LIMITED PARTNERSHIP TRACT, A DISTANCE OF 120.43 FEET TO A 5/8 INCH IRON ROD WITH CAP MARKED "PETITT-RPLS 4087" FOUND FOR CORNER AT THE NORTHWEST CORNER OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT AND SOUTHWEST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN DEED TO MARIA DE LOURDES GARCIA AND JOSE FELIX GARCIA, RECORDED IN VOLUME 2410, PAGE 1476, DIRECT;

THENCE SOUTH 89°48'57" EAST, WITH THE NORTH LINE OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT AND THE SOUTH LINE OF SAID GARCIA TRACT, A DISTANCE OF 2068.00 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT AND THE SOUTHEAST CORNER OF SAID GARCIA TRACT, SAID IRON ROD ALSO BEING LOCATED IN SAID APPROXIMATE CENTER OF GIBSON ROAD (UNDEDICATED PUBLIC ROAD);

THENCE SOUTH, ALONG SAID APPROXIMATE CENTER OF GIBSON ROAD, A DISTANCE OF 896.87 FEET TO A "PK" NAIL FOUND FOR CORNER, SAID NAIL BEING THE SOUTHEAST CORNER OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT;

THENCE SOUTH 89°31'03" WEST, WITH THE SOUTH LINE OF SAID 43.150 ACRE AKP STILLWATER PARTNERSHIP TRACT, A DISTANCE OF 600.02 FEET TO A 5/8 INCH IRON ROD FOUND FOR CORNER, SAID IRON ROD ALSO BEING THE NORTHEAST CORNER OF SAID 44.10 ACRE AKP STILLWATER PARTNERSHIP TRACT;

THENCE SOUTH, WITH THE EAST LINE OF SAID 44.10 ACRE AKP STILLWATER PARTNERSHIP TRACT, A DISTANCE OF 1600.78 FEET TO THE POINT OF BEGINNING OF HEREIN DESCRIBED TRACT AND CONTAINING 88.651 ACRES OF LAND.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JIMMIE D. NICHOLS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN HEREON AS SET, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WAXAHACHIE AND ELLIS COUNTY, TEXAS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

"PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT."

JIMMIE D. NICHOLS  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5184

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED JIMMIE D. NICHOLS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.

MY COMMISSION EXPIRES: \_\_\_\_\_

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, AP LAND DEVELOPMENT LLC, AND AP WAXAHACHIE LIMITED PARTNERSHIP, ACTING HEREIN BY AND THROUGH THEIR DULY AUTHORIZED OFFICER, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS SPRINGSIDE ESTATES PHASE 1, AN ADDITION TO ELLIS COUNTY, TEXAS, AND DO HEREBY DEDICATE TO ELLIS COUNTY (THE COUNTY), AND THE CITY OF WAXAHACHIE (THE CITY) IN FEE SIMPLE, THE STREETS AND PUBLIC USE AREAS SHOWN HEREON, AND DO HEREBY DEDICATE THE EASEMENTS SHOWN HEREON FOR THE PURPOSES INDICATED TO THE EXCLUSIVE USE FOREVER OF THE COUNTY AND CITY; SAID DEDICATIONS BEING FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES EXCEPT AS SHOWN HEREIN. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS ON SAID PLAT. AT THE DISCRETION OF THE COUNTY/CITY AND SUBJECT TO ITS WRITTEN APPROVAL, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE THE SAME UNLESS THE EASEMENT LIMITS THE USE TO A PARTICULAR UTILITY OR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE COUNTY/CITY USE THEREOF. ANY PUBLIC UTILITY GIVEN THE RIGHT BY THE COUNTY/CITY TO USE SAID EASEMENTS SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON ANY OF THESE EASEMENTS. ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON ANY SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME PROCURING THE PERMISSION OF ANYONE. I DO HEREBY BIND MYSELF, MY SUCCESSORS AND ASSIGNS TO FOREVER WARRANT AND DEFEND ALL AND SINGULAR THE ABOVE DESCRIBED STREETS, EASEMENTS AND RIGHTS UNTO THE COUNTY/CITY AGAINST EVERY PERSON WHOMSOEVER COMES LAWFULLY CLAIMING OR TO CLAIM THE SAME OR ANY PART THEREOF. THIS PROPERTY IS LOCATED WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF WAXAHACHIE. THIS PLAT APPROVAL IS SUBJECT TO ALL PLATING ORDINANCES, RULES AND REGULATIONS OF ELLIS COUNTY, TEXAS AND THE CITY OF WAXAHACHIE, TEXAS.

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

AP LAND DEVELOPMENT LLC

BY: ANTHONY PROPERTIES MANAGEMENT, INC.,  
ITS MANAGER

R. JAY ANTHONY, PRESIDENT

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED R. JAY ANTHONY, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.

MY COMMISSION EXPIRES: \_\_\_\_\_

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

AP WAXAHACHIE LIMITED PARTNERSHIP

BY: ANTHONY PROPERTIES MANAGEMENT, INC.,  
ITS GENERAL PARTNER

R. JAY ANTHONY, PRESIDENT

STATE OF TEXAS §

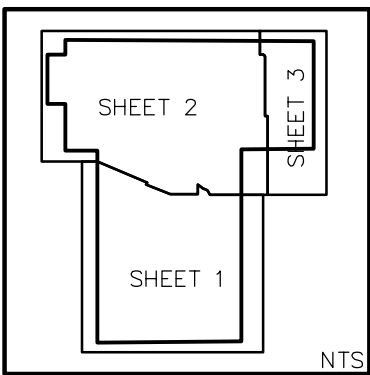
COUNTY OF DALLAS §

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GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2018.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS.

MY COMMISSION EXPIRES: \_\_\_\_\_



KEY MAP

RPLS OF RECORD:  
JIMMIE D. NICHOLS  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5184

OWNERS:  
AP LAND DEVELOPMENT LLC  
AP WAXAHACHIE LIMITED PARTNERSHIP  
CONTACT:  
ROSS ANTHONY  
ANTHONY PROPERTIES MANAGEMENT, INC.  
12770 COIT RD. STE. 970 DALLAS, TEXAS 75251  
PHONE (214) 432-9501

DISTRICT:  
ROCKETT SPECIAL UTILITY DISTRICT  
CONTACT:  
DON WERNER  
P.O. BOX 40  
RED OAK, TEXAS 75154-0040  
PHONE (972) 617-0031

PRELIMINARY PLAT  
SPRINGSIDE ESTATES PHASE 1

88.651 ACRES  
15.833 ACRES OF RIGHT-OF-WAY DEDICATION  
58 RESIDENTIAL LOTS  
2 NON-RESIDENTIAL LOTS  
SITUATED IN THE  
JOHN COLLET SURVEY ~ ABSTRACT NO. 221  
ROCKETT SPECIAL UTILITY DISTRICT  
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ELLIS COUNTY, TEXAS

**PETITT BARRAZA**  
ENGINEERING PLANNING SURVEYING  
TBPE FIRM REGISTRATION NO. 1488  
TBPLS FIRM REGISTRATION NO. 101068

1651 N. Glenville Dr. Ste. 212  
Richardson, Texas 75081  
DATE: JUNE 2018  
JNICHOLS@PETITTBARRAZA.COM  
Tel. No. (214) 221-9955  
Fax No. (214) 340-3550  
SCALE: 1"=100'  
JOB NO. 04009-00

# Planning & Zoning Department

## Plat Staff Report

**Case: FP-18-0080**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by R. Jay Anthony, AP Land Development LLC, for a **Final Plat** of Springside Estates Phase 1 for 5 residential and 2 non-residential lots, being 88.651 acres situated in the John Collet Survey, Abstract 221 (Property ID 138304, 138712, 138303) in the Extra Territorial Jurisdiction – Owner: AKP STILLWATER PARTNERSHIP and AP WAXAHACHIE LIMITED PARTNERSHIP (FP-18-0080).

### CASE INFORMATION

*Applicant:* R. Jay Anthony, AP Land Development LLC

*Property Owner(s):* AKP Stillwater Partnership and AP Waxahachie Limited Partnership

*Site Acreage:* 88.651 acres

*Number of Lots:* 58 residential and 2 non-residential lots

*Number of Dwelling Units:* 58 units

*Adequate Public Facilities:* Rockett SUD has indicated that their existing system can furnish the requested service in conformity with the Texas Commission on Environmental Quality standards for water distribution and the ISO fire flow requirements. On-site sewage facilities must be installed on each residential lot.

### SUBJECT PROPERTY

*General Location:* NW quadrant of the intersection of Gibson Road and Broadhead Road

*Parcel ID Number(s):* 138304, 138712, and 138303

*Current Zoning:* N/A (ETJ)

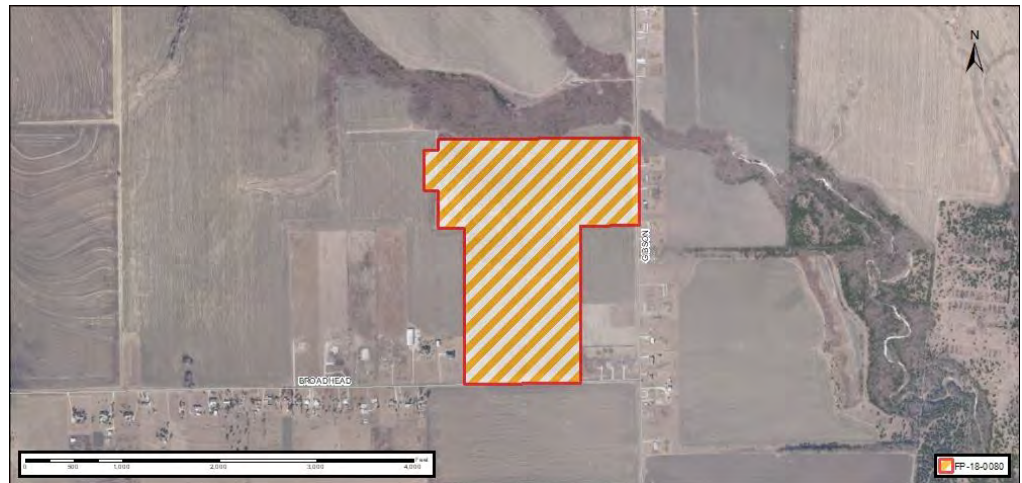
*Existing Use:* Currently undeveloped



*Platting History:*

The preliminary plat of Chautauqua Addition (case no. PLM2015-39) was approved by City Council on February 1, 2016. Preliminary Plats expire with Ellis County after one (1) year and with the City of Waxahachie after two (2) years. Therefore, the companion case, PP-18-0094 is being considered alongside this final plat.

*Site Aerial:*



**STAFF CONCERNS**

1. None outstanding

**APPLICANT RESPONSE TO CONCERNS**

1. Applicant submitted revisions. No comments remain outstanding.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

**ATTACHED EXHIBITS**

1. Plat drawing

**APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.



**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

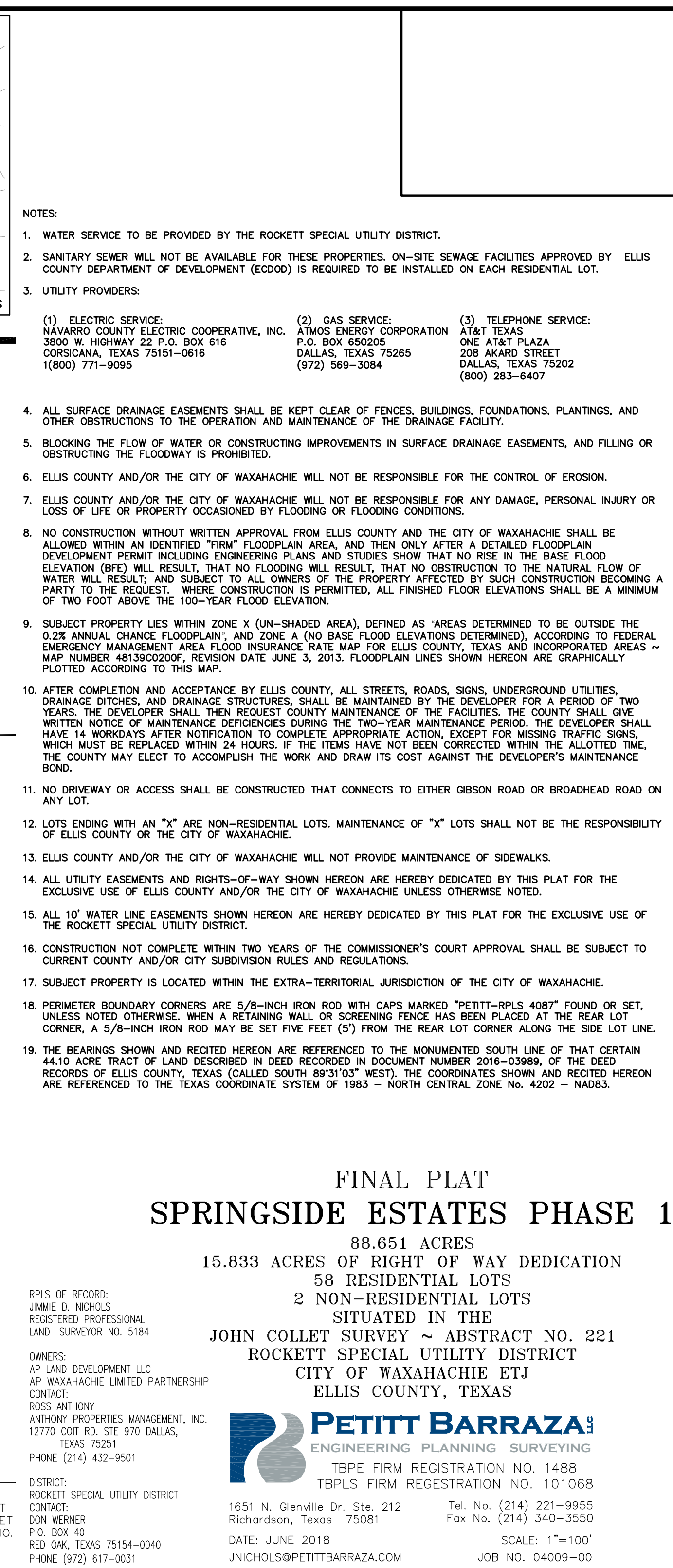
[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

*Reviewed by:*

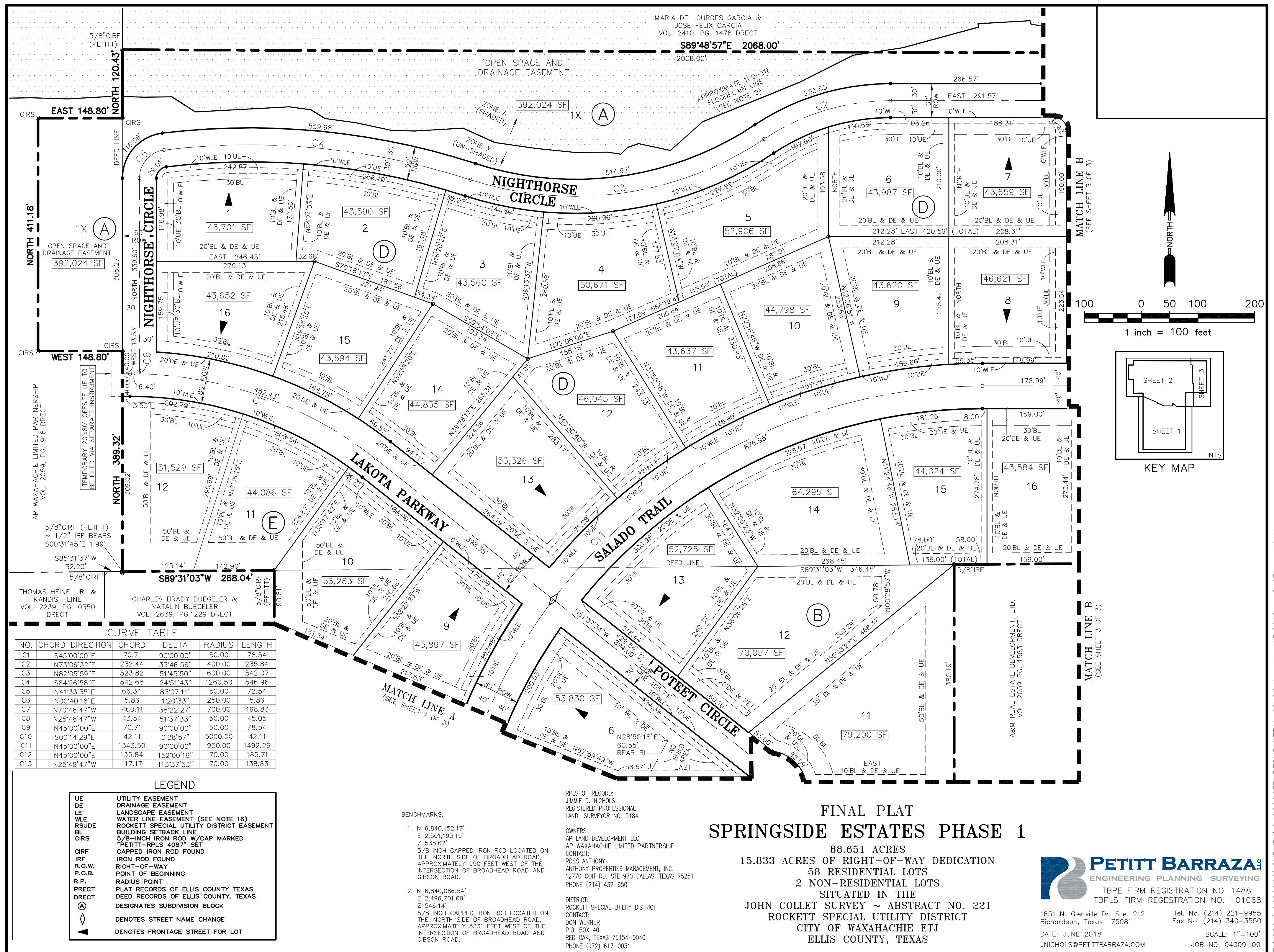
Shon Brooks, AICP

Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)











# Planning & Zoning Department

## Zoning Staff Report

Case: ZC-18-0093



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Public Hearing** on a request by Lance Rust, Joe Rust Co., for a Zoning Change from a Planned Development-Single Family-1 zoning district to **Single Family-1** located on Lone Elm Road before the turn near Meadow Crest Drive (Property ID 180711) - Owner: WALKER BRINT & WALKER CLINT (ZC-18-0093).

### CASE INFORMATION

*Applicant:* Lance Rust, Joe Rust Co.

*Property Owner(s):* Brint Walker & Clint Walker

*Site Acreage:* 21.607 acres

*Current Zoning:* Planned Development-Single Family-1 (Ordinance 2330)

*Requested Zoning:* Single Family-1

### SUBJECT PROPERTY

*General Location:* Lone Elm Road before the turn near Meadow Crest Drive

*Parcel ID Number(s):* 180711

*Existing Use:* Currently undeveloped

*Development History:* Ord. No. 2330 was approved by City Council on September 6, 2005.

*Adjoining Zoning & Uses:*

Direction	Zoning	Current Use
North	PD-SF1	Currently undeveloped
East	PD-SF1 & FD	Currently undeveloped
South	ETJ	Currently undeveloped
West	ETJ	Single family residence

*Future Land Use Plan:* Low Density Residential and Retail



*Comprehensive Plan:*

The Low Density Residential category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

This zoning change will eliminate the retail zoning in its entirety.

*Thoroughfare Plan:*

The site is accessed via Lone Elm Road. Lone Elm on the northern edge of the property is a Major Thoroughfare B (110' ROW); after the curve, it is a Major Thoroughfare A (120' ROW).

*Site Image:*



## PLANNING ANALYSIS

This property is zoned PD-SF1 as part of the Kemp Tract (Ord. No. 2330). As part of the Kemp Tract, each submitted residential plat must have a minimum of three (3) lot types. The property owner's proposed development will have a single lot type, necessitating the need to remove this property from the Kemp Tract's zoning.

## PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 11 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 06/08/2018.

## STAFF CONCERNS

1. None.



### **APPLICANT RESPONSE TO CONCERNS**

1. No comments to respond to.

### **RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

### **ATTACHED EXHIBITS**

1. Survey

### **APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

### **STAFF CONTACT INFORMATION**

*Prepared by:*  
Kelly Dent, MPA  
Planner  
[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



# Planning & Zoning Department

## Plat Staff Report

**Case: PP-18-0083**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by Lance Rust, Joe Rust Co., for a **Preliminary Plat** of Lone Elm Addition for 13 residential lots, being 21.607 acres in the E. H. Belcher Survey, Abstract 143 (Property ID 180711) – Owner: WALKER BRINT & WALKER CLINT (PP-18-0083).

### CASE INFORMATION

*Applicant:* Lance Rust, Joe Rust Co.

*Property Owner(s):* Brint & Clint Walker

*Site Acreage:* 21.607 acres

*Number of Lots:* 13 residential lots

*Number of Dwelling Units:* 13 units

*Park Land Dedication:* The cash in lieu of park land dedication for this case is estimated at **\$5,200.00** (13 residential dwellings at \$400.00 per dwelling).

*Adequate Public Facilities:* All lots shall be served by an on-site sewage facility system for residential use. Buena Vista-Bethel SUD has indicated that their existing system can furnish the requested service in conformity with the Texas Commission on Environmental Quality standards for water distribution and the ISO fire flow requirements.

### SUBJECT PROPERTY

*General Location:* Lone Elm Road, North of FM 1446

*Parcel ID Number(s):* 180711

*Current Zoning:* Planned Development-Single Family-1

*Existing Use:* Currently undeveloped

*Platting History:* E. H. Belcher Survey, Abstract 143



*Site Aerial:*



## STAFF CONCERNS

1. Please create a Block for this.
2. Remove the building lines from the plat.

## APPLICANT RESPONSE TO CONCERNS

1. Applicant submitted revised drawings. The above comments remain outstanding.

## RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
1. Please create a Block for this.
  2. Remove the building lines from the plat.

## ATTACHED EXHIBITS

1. Plat drawing
2. Drainage plan
3. Utility plan

## APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.



**STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

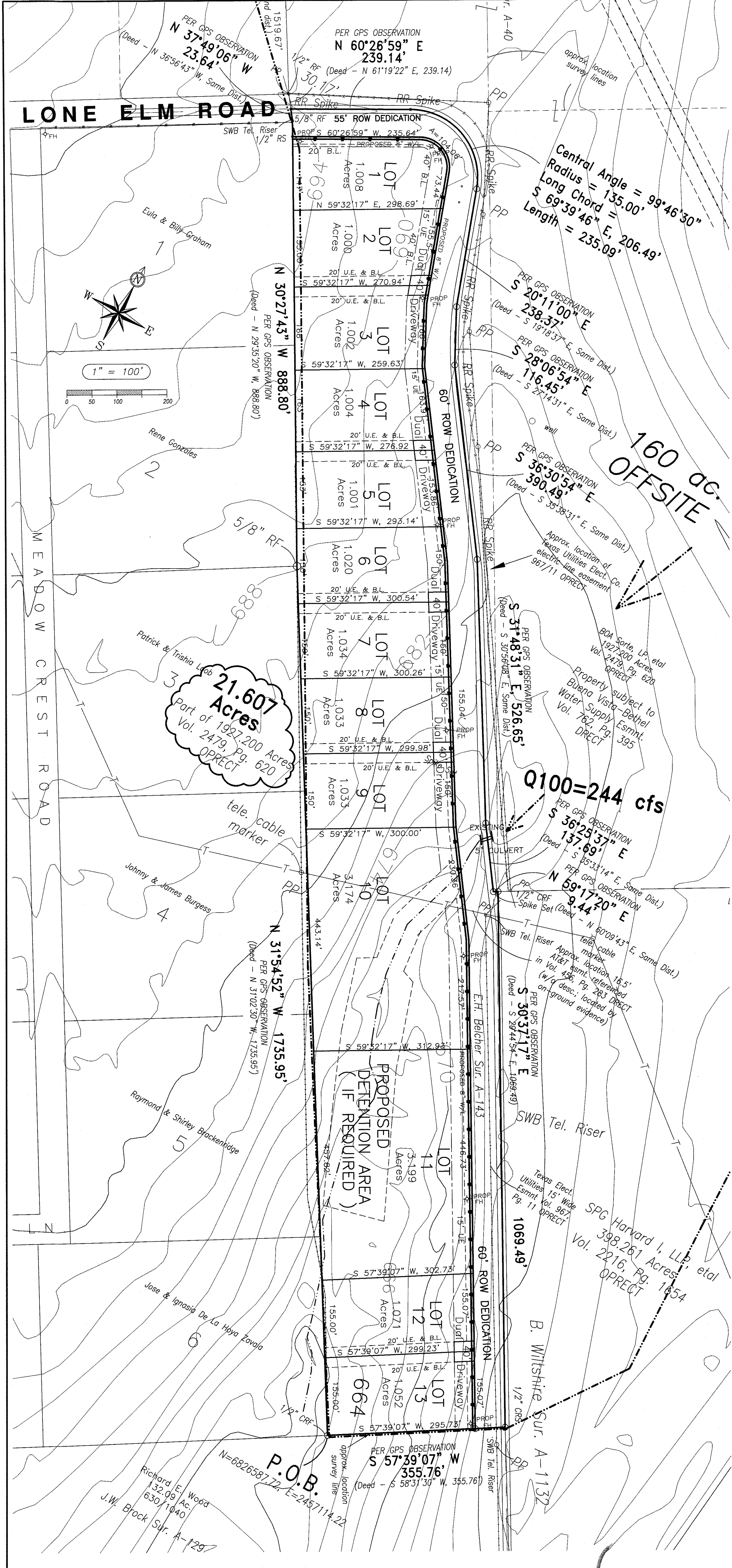
[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

*Reviewed by:*

Shon Brooks, AICP

Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



OWNER'S CERTIFICATE

State of Texas:  
County of Ellis:

WHEREAS We, Brint Walker and Clint Walker, are the owners of all the following described tract of land herein proposed as the Preliminary Plat of Green Meadows, Phase 2, and being more particularly described as follows:

FIELD NOTES

21.607 Acres

BEING all that certain lot, tract, or parcel of land lying in the City of Waxahachie, and in the E.H. BELCHER SURVEY, Abstract No. 143, and being a part of a called 1927.200 acre tract of land as described in Volume 2479, Page 620, Official Public Records, Ellis County, Texas, (OPRECT), and being more particularly described as follows:

BEGINNING at a 1/2" steel rod found for the south corner of this tract and being a westerly south corner of the 1927.200 acre tract and also being in the northwest line of a called 132.09 acre tract of land described in Volume 620, Page 1040, Deed Records, Ellis County, Texas, (DRECT), and also being the east corner of Lot 6 of Green Meadows, a subdivision in Ellis County, Texas, according to the plat thereof recorded in Cabinet A, Slide 443, Plat Records, Ellis County, Texas, (PRECT); and also being the recognized south corner of the said Belcher Survey and in the recognized northwest line of the J.W. Brock Survey, Abstract No. 129, the basis for this description from GPS observation, Texas North Central Zone 4202, NAD 1983 datum, and having a beginning co-ordinate of Northing = 6826587.719, Easting = 2457114.225;

THENCE N 31°54'52" W, 1735.95 feet, (Deed - N 31°02'30" W, 1735.95 feet), along the occupied easterly southwest line of said Belcher survey, a southwesterly line of this tract and same for the said 1927.200 acre tract, and along a northeast line of Lots 4, 3, 2, and 1, respectively, of Green Meadows to a 5/8" steel rod found for corner;

THENCE N 30°27'43" W, 888.80 feet (Deed - N 29°35'20" W, 888.80 feet), continuing along the occupied easterly southwest line of said Belcher survey, a southwesterly line of this tract and same for the said 1927.200 acre tract, and along a northeast line of Lots 4, 3, 2, and 1, respectively, of Green Meadows, to a 5/8" steel rod found in the southeast line of Lone Elm Road for the north corner of Lot 1 of Green Meadows;

THENCE N 37°49'06" W, 23.64 feet (Deed - N 36°56'43" W, 23.64 feet), along the occupied easterly southwest line of said Belcher survey, and along a southwesterly line of this tract and same for the said 1927.200 acre tract, to a spike set in Lone Elm Road (a county road), for the west corner of this tract and being the north corner of the said Green Meadows and also being the east corner of a called 5.084 acre tract of land described in Volume 2185, Page 683, OPRECT;

THENCE through the 1927.200 acre tract and the said Belcher Survey and along the approximate centerline of Lone Elm Road and along northwesterly and northeasterly lines of this tract to spikes set for corners as follows: N 60°26'59" E, 239.14 feet (Deed - N 61°19'22" E, 239.14 feet) to the beginning of a curve oriented clockwise; 235.09 feet along the arc of said curve line (Central angle = 99°46'30"; Radius = 135.00 feet; Long Chord = S 69°39'46" E, 206.49 feet) to the end of the said curve; S 20°11'00" E, 238.37 feet; S 28°06'54" E, 116.45 feet; S 36°30'54" E, 390.49 feet; S 31°48'31" E, 526.65 feet; S 36°25'37" E, 137.69 feet and N 59°17'20" E, 9.44 feet leaving said centerline to a spike found for an interior corner of the 1927.200 acre tract and being the west corner of a called 398.261 acre tract of land described in Volume 2216, Page 1654, OPRECT, and is also the occupied south corner of the J. Barker Survey Abst. No. 40, and is the occupied west corner of the B. Wiltshire Survey, Abst. No. 1132, and also which lies in the occupied northeast line of the Belcher Survey; and S 30°37'17" E, 1069.49 feet (Deed - S 29°44'54" E, 1069.49 feet) along Lone Elm Road and back to its approximate centerline and along the northeast line of this tract and an occupied northeast line of the Belcher Survey and along the southwest line of the 398.261 acres and the occupied southwest line of the Wiltshire Survey to a spike found for the east corner of this tract and an east corner of the 1927.200 acre tract and being the north corner of the said 132.09 acre tract, and also being the occupied east corner of the Belcher Survey and the occupied north corner of the Brock Survey;

THENCE S 57°39'07" W, (Deed - S 58°31'30" W, same distance), along the southeast line of this tract and a southeast line of the 1927.200 acre tract and along the occupied southeast line of the Belcher Survey and the occupied northwest line of the Brock Survey, and along the northwest line of the 132.09 acre tract of 30.00 feet pass a 1/2" steel rod set for witness corner, in all, 355.76 feet to the POINT OF BEGINNING and containing approximately 21.607 acres of land.

Surveyor's Declaration

KNOW ALL MEN BY THESE PRESENTS:

That I, James H. McDill, do hereby declare that I prepared this plat from an actual and accurate survey of the land and that this Preliminary Plat is prepared in accordance with the Subdivision Ordinance of the City of Waxahachie.

CITY OF WAXAHACHIE  
ELLIS COUNTY, TEXAS

City Approval of Preliminary Plat

Approved for preparation of the final plat:

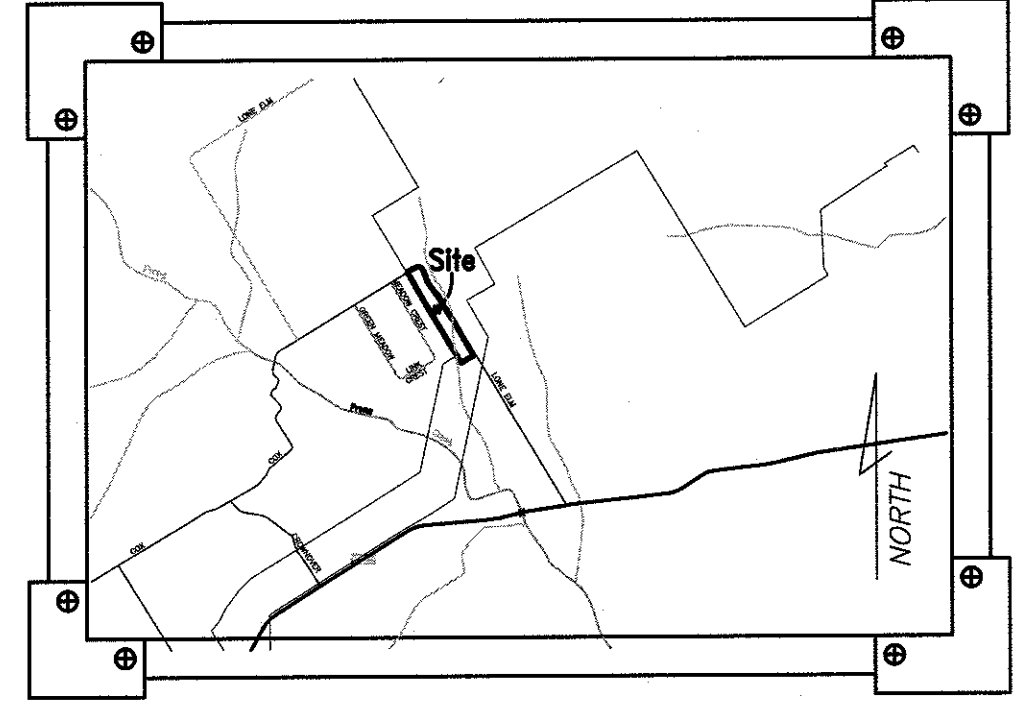
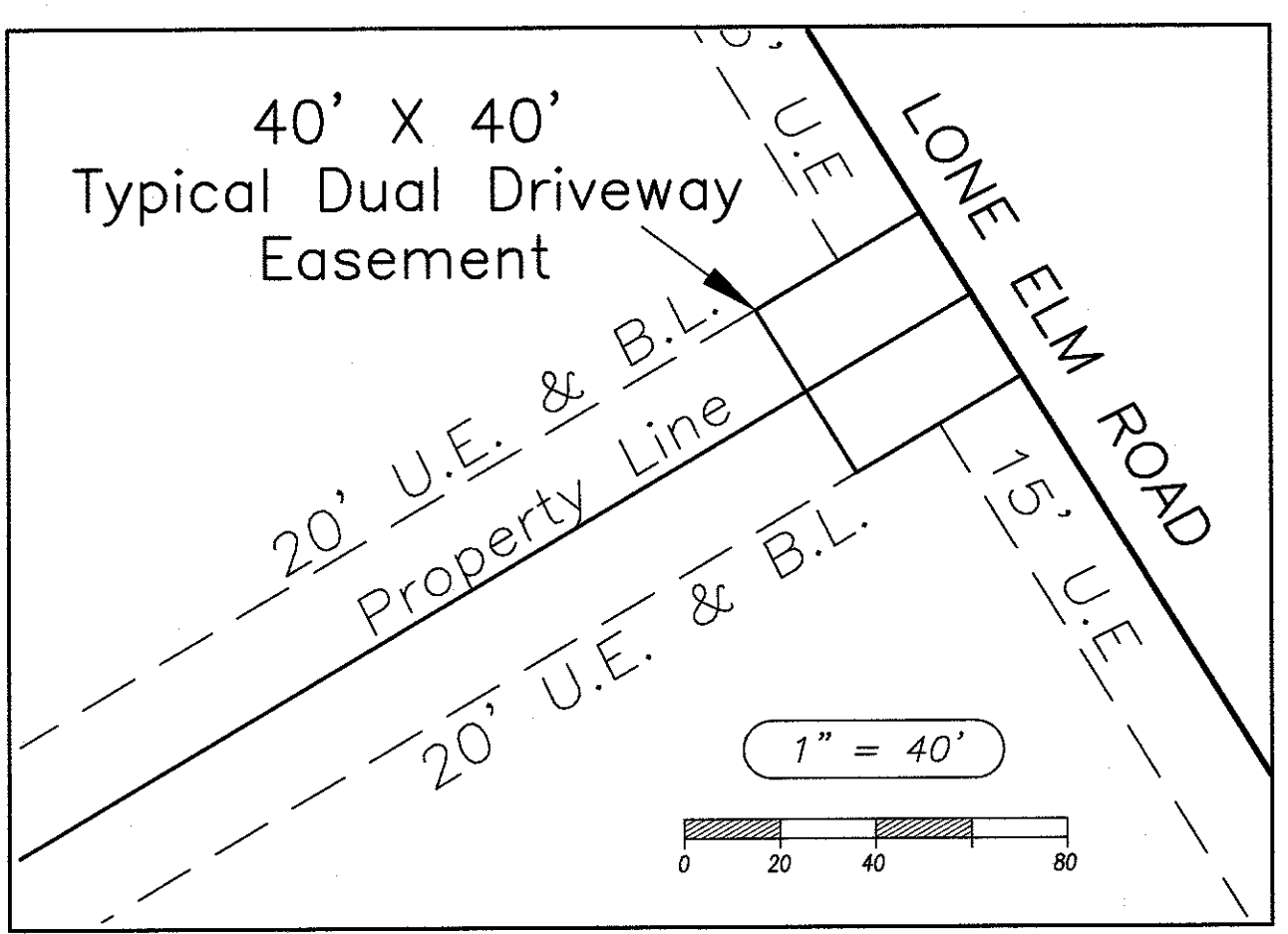
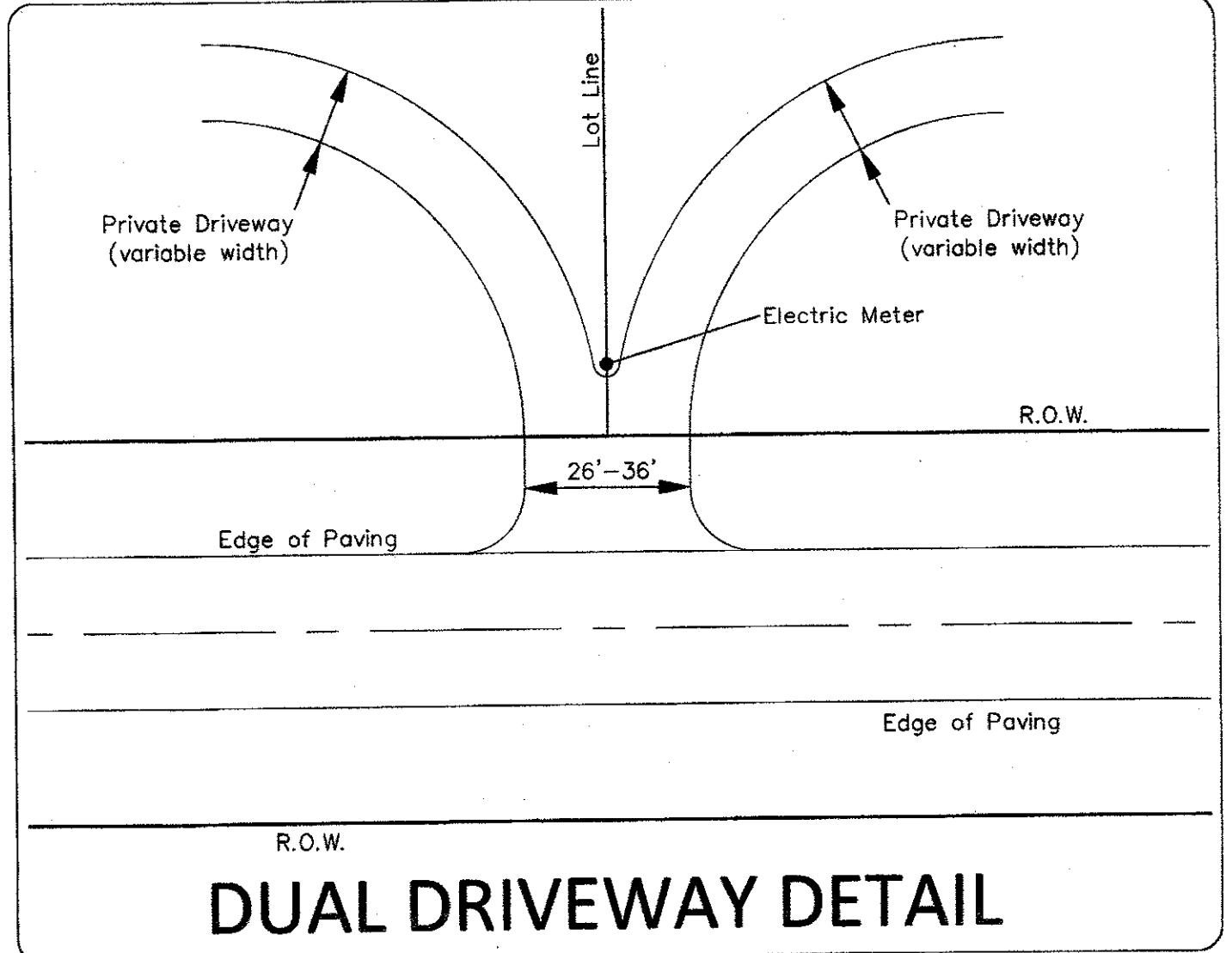
Approved by the Planning and Zoning Commission Date

Approved by the City Council Date

Owner's Acknowledgment

I hereby acknowledge this document as the officially approved preliminary plat:

Owner's Signature Date



PROPOSED SF-1 ZONING  
PRELIMINARY PLAT  
**LONE ELM ADDITION**  
Being 21.607 Acs. (Thirteen Lots) Addition in the  
E. H. Belcher Survey, Abst. 143  
City of Waxahachie Ellis County, Texas  
13 Residential Lots

D&M  
ENGINEERS

**DAVIS & McDILL, Inc.**  
P.O. BOX 428, Waxahachie, Texas 75168  
Phone: Metro 972-938-1185 Fax: 972-937-0307  
(A Texas licensed engineering firm # F-8439)

Date: JUNE 12, 2018  
Scale: 1" = 150'  
Drawn: DWH  
Job: 218-0037  
SHEET 1 OF 2 SHEETS

LEGEND	
---	Wire Fence
---	Wood Fence
---	Iron Fence
---	Chain Link Fence
---	Railroad Track
---	Cable TV
---	Gas Line
---	Petroleum Pipeline
---	Electric Line
---	Sanitary Sewer Line
---	Water Line
---	Underground Telephone
---	Telephone

LEGEND	
O	Property Corner Symbol
Fnd.	Found
S.R.	Steel Rod
U.E.	Utility Easement
PP	Utility Pole
R.O.W.	Right of Way
P.O.B.	Point of Beginning
C/L	Centerline
---	Drainage Flow
X	Spot Elevations
B.L.	Building Line
WH	Sewer Manhole
CO	Cleanout
FH	Fire Hydrant
WV	Water Valve
D.U.E.	Drainage & Utility Easmt

NOTE:  
ALL LOTS SHALL BE SERVED BY AN ON-SITE SEWAGE FACILITY SYSTEM FOR RESIDENTIAL USE. AN ON-SITE SOIL EVALUATION SHALL BE PERFORMED BY A REGISTERED ENGINEER AND/OR REGISTERED SANITARIAN.

Owner/Developer:  
Brint Walker and Clint Walker  
403 Greathouse Circle  
Waxahachie, Texas 75167-8802  
817-825-7071

GENERAL NOTES:  
1. 100 YEAR FLOOD NOTE:  
NO 100 YEAR FLOODPLAIN  
PER FIRM MAP # 48139C0175 F  
ZONE: X UNSHADED  
2. DRAINAGE NOTE:  
PERMANENT FENCING SHALL NOT BE ALLOWED WITHIN DRAINAGE EASEMENTS



## Memorandum

To: Planning and Zoning Commission  
From: Shon Brooks, Director of Planning  
Thru: Tommy Ludwig, Executive Director of Development Services *TL*  
Date: June 21, 2018  
Re: PD-18-0074

---

The applicant has asked that this case be continued to the July 10, 2018, Planning and Zoning Commission meeting and July 16, 2018, City Council meeting.

# Planning & Zoning Department

## Plat Staff Report

**Case: PP-18-0096**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Consider** request by James P. Moon, Attorney and Authorized Representative of Blue Bonnet Trails, LLC, Owner, for a **PETITION TO EXTEND APPROVAL** pursuant to Appendix C – Subdivisions, Section 2.3 – Procedures and Submission Requirements for Preliminary Plat Approval for Blue Bonnet Trail (Property ID 182266 and 182267) – Owner: BLUE BONNET TRAILS LLC (PP-18-0096).

### CASE INFORMATION

*Applicant:* James P. Moon, Attorney

*Property Owner(s):* Blue Bonnet Trails LLC

*Site Acreage:* 57.647 acres

*Number of Lots:* 226 lots

*Number of Dwelling Units:* 225 units

*Park Land Dedication:* Per Ord. No. 2809, the 16.91 acres of floodplain will be dedicated to the city as a park, all of the improvements will be installed in Phase 1.

*Adequate Public Facilities:* This will be on City services.

### SUBJECT PROPERTY

*General Location:* SW Corner of Farley Street and US Highway 287

*Parcel ID Number(s):* 182266 and 182267

*Current Zoning:* Planned Development Ordinances 2619 and 2809

*Existing Use:* Currently undeveloped

*Platting History:* PLM2016-21 was approved by City Council July 5, 2016. Preliminary plats expire with the City of Waxahachie after two (2) years, so the applicant is requesting an extension.



Per the Subdivision Ordinance, Section 2.3.k.1.2, prior to the lapse of approval, the property owner may petition the City to extend approval. This petition shall be considered at a public meeting before both the Commission and Council and such an extension may be granted by the Council at such a public meeting.

In determining whether to grant the extension, the Council shall take into account the reasons for the lapse, the ability of the property owner to comply with conditions attached to the original approval and the extent to which the newly adopted subdivision regulations shall apply to the plat.

The Commission and Council shall extend the preliminary plat, or deny the request, which would require to property owner must submit a new application for approval. The Commission and Council may extend the approval for a specific time period, subject to additional conditions based upon newly enacted regulations, or such as are necessary to ensure compliance with the original conditions of approval.

*Site Aerial:*



#### **STAFF CONCERNS**

1. Preliminary Plat
  - a. Page 4
    - i. Verify scale
    - ii. Marigold Lane appears to be 25 feet instead of 50 feet compared to the other 50-foot ROW. On the construction plans the ROW is within the current flood plain. Update this to match the construction plan ROW.

#### **APPLICANT RESPONSE TO CONCERNS**

1. Applicant submitted revised drawings, the above comments under Preliminary Plat remain outstanding.

### **RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
  - 1. Verify scale
  - 2. Marigold Lane appears to be 25 feet instead of 50 feet compared to the other 50-foot ROW. On the construction plans the ROW is within the current flood plain. Update this to match the construction plan ROW.

### **ATTACHED EXHIBITS**

- 1. Plat drawing
- 2. Drainage area map
- 3. Water and sanitary sewer plan
- 4. Offsite water easements
- 5. Typical road sections
- 6. Landscape plan

### **APPLICANT REQUIREMENTS**

- 1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
- 2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

### **STAFF CONTACT INFORMATION**

*Prepared by:*

Kelly Dent, MPA

Planner

[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

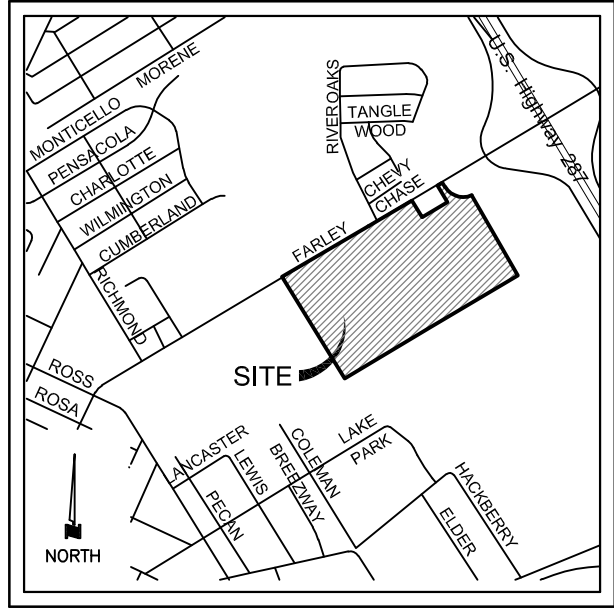
*Reviewed by:*

Shon Brooks, AICP

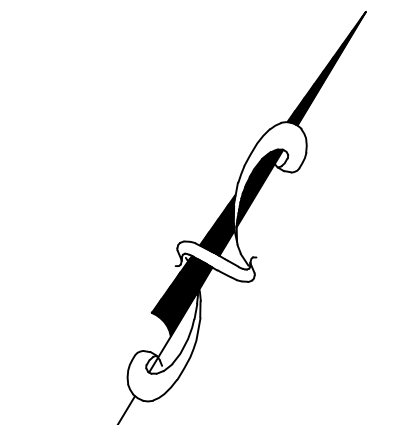
Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

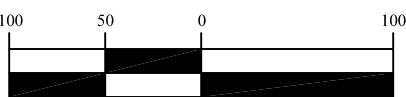




O.P.R.E.C.T. OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS  
D.R.E.C.T. DEED RECORDS, ELLIS COUNTY, TEXAS  
P.R.E.C.T. PLAT RECORDS, ELLIS COUNTY, TEXAS  
<CM> CONTROL MONUMENT  
1/2" IRON ROD SET WITH YELLOW CAP STAMPED  
"RPLS 5674" (UNLESS OTHERWISE NOTED)  
IRON ROD FOUND  
BL BUILDING LINE  
SF SQUARE FEET  
VOL. VOLUME  
PG. PAGE  
CAB. CABINET



GRAPHIC SCALE



(IN FEET)  
1 inch = 100 ft.

POINT OF BEGINNING

CITY OF WAXAHACHIE  
VOL. 1921, PG. 1296  
D.R.E.C.T.

RIVER OAKS NO. 3  
CAB. D, SLIDE 60  
P.R.E.C.T.

RIVER OAKS BLVD.

CHEY CHASE LANE  
BLOCK 10  
1 2 3 4 5 6 7  
RIVER OAKS NO. 1  
CAB. A, SLIDE 710  
P.R.E.C.T.

WAXAHACHIE  
DEVELOPMENT CORP  
VOL. 192, PG. 546  
D.R.E.C.T.

BROWN PROPERTIES, LTD.  
VOL. 1244, PG. 329  
D.R.E.C.T.

FARLEY STREET

R 220.00'  
Δ 84°06'52"  
CB S 72°05'39" E  
CL 294.74'

CITY OF WAXAHACHIE  
INSTRUMENT NUMBER 1531227  
O.P.R.E.C.T.

TRACT 1  
BLUE BONNET TRAILS, LLC  
INSTRUMENT NUMBER 1531073  
O.P.R.E.C.T.

TO BE DEDICATED TO THE CITY OF  
WAXAHACHIE AS PARKLAND

APPROXIMATE LOCATION  
ZONE "AE"  
MAP NUMBER 481580C100 F  
JUNE 3, 2013

S 59°08'31" W 792.09'

S 59°16'15" W 2184.65'

TRACT 1  
FM 1446, LLC.  
VOL. 2576, PG. 1889  
D.R.E.C.T.

BLUE BONNET TRAIL, LLC  
INSTRUMENT NUMBER 1531102  
O.P.R.E.C.T.

TRACT 2  
BLUE BONNET TRAILS, LLC  
INSTRUMENT NUMBER 1531073  
O.P.R.E.C.T.

REMAINDER  
MAMIE TAYLOR, et-al  
VOL. 413, PG. 529  
D.R.E.C.T.

## PRELIMINARY PLAT BLUE BONNET TRAIL

225 RESIDENTIAL LOTS ~ 1 PARKLAND LOT  
57.652 ACRES ~ ZONED "PD-SF-3"  
AN ADDITION TO THE CITY OF WAXAHACHIE  
B.B. DAVIS SURVEY, ABSTRACT NUMBER 290  
W.C. CALDER SURVEY, ABSTRACT NUMBER 235  
ELLIS COUNTY, TEXAS

JUNE, 2018 SCALE: 1"=100'

OWNERS  
BLUE BONNET TRAIL, LLC & BLUE BONNET TRAILS, LLC  
6515 BANDERA  
DALLAS, TEXAS 75225  
SURVEYOR



CL CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING
C1	250.00'	84°44'19"	369.74'	S 72°27'44" E
C2	250.00'	51°29'20"	224.66'	S 33°39'07" W
C3	250.00'	23°20'35"	101.85'	S 41°28'27" E
C4	25.00'	16°33'42"	7.23'	S 22°39'15" W
C5	750.00'	6°01'12"	78.80'	S 62°18'10" W
C6	250.00'	39°50'25"	139.07'	N 29°22'57" W
C7	250.00'	14°05'25"	49.18'	N 16°30'27" W
C8	250.00'	20°41'48"	90.31'	N 10°18'16" W
C9	250.00'	36°34'44"	159.61'	N 18°20'00" E
C10	500.00'	6°18'19"	55.02'	S 27°24'45" E
C11	500.00'	7°25'39"	64.82'	S 27°58'25" E
C12	150.00'	24°37'19"	64.46'	N 46°58'54" E
C13	258.50'	6°18'19"	28.45'	S 27°24'45" E
C14	244.50'	7°25'39"	31.31'	S 27°58'25" E
C15	750.00'	7°25'39"	97.22'	N 27°58'25" W
C16	750.00'	6°17'15"	82.30'	N 27°24'13" W
C17	48.50'	89°01'12"	75.35'	S 76°11'50" E
C18	48.50'	133°43'39"	113.20'	N 07°34'16" W
C19	48.50'	89°03'13"	75.38'	N 76°12'51" W
C20	48.50'	86°27'42"	73.19'	N 16°12'15" E
C21	47.50'	58°43'25"	48.68'	S 28°57'02" W
C22	250.00'	23°08'46"	100.99'	S 11°59'05" E
C23	500.00'	8°07'46"	70.94'	S 27°37'21" E
C24	150.00'	32°04'23"	83.97'	S 43°21'36" W
C25	48.50'	90°00'00"	76.18'	N 14°26'06" E
C26	48.50'	89°37'41"	75.87'	S 75°45'04" E
C27	48.50'	135°22'04"	114.59'	N 37°52'53" E

CL LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 30°56'14" E	50.23'
L2	N 09°27'45" W	8.47'
L3	N 20°39'10" W	51.45'
L4	N 00°02'38" E	76.73'
L5	S 30°33'54" E	55.83'
L6	S 24°15'35" E	57.23'
L7	S 30°33'54" E	61.23'
L8	S 24°15'35" E	88.72'
L9	N 24°15'35" E	54.73'
L10	S 31°41'14" E	86.11'
L11	N 74°26'05" W	64.94'
L12	N 68°54'55" W	25.00'
L13	S 58°55'36" W	14.86'
L14	N 59°26'06" E	21.36'
L15	S 58°18'46" W	56.15'
L16	S 00°24'42" E	64.73'
L17	N 44°46'42" W	2.23'
L18	S 27°19'24" W	8.70'
L19	N 30°33'54" W	95.00'
L20	S 30°56'14" E	59.24'
L21	S 15°29'30" E	17.81'
L22	S 23°06'43" W	31.87'
L23	S 01°57'37" E	22.84'

### BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 59°26'06" E	60.00'
L2	S 30°56'14" E	50.28'

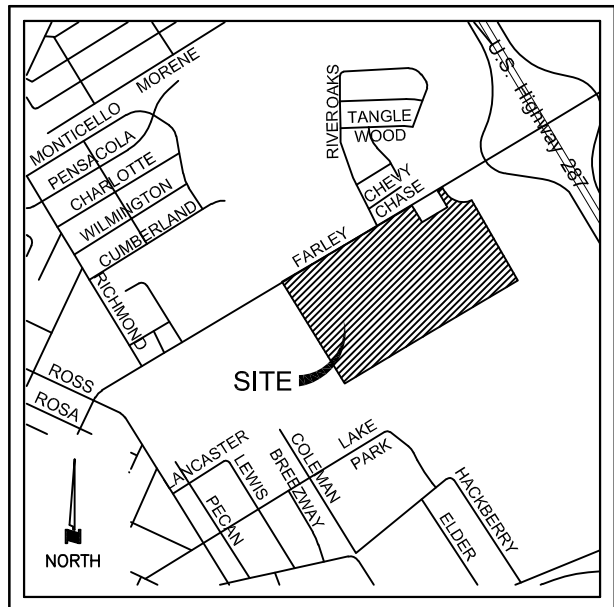
### NOTES

1. BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202 AS DERIVED FROM THE TRIMBLE VRS NETWORK.
2. ALL LOT CORNERS ARE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A YELLOW CAP STAMPED "RPLS 5674" UNLESS OTHERWISE NOTED.
3. DEVELOPMENT SUBJECT TO MANDATORY HOMEOWNERS ASSOCIATION (H.O.A.). ALL COMMON AREA LOTS WILL BE MAINTAINED BY SAID (H.O.A.)
4. ALL BUILDING LINES ARE VARIABLE AND SUBJECT TO THE ZONING REGULATIONS OF THE CITY OF WAXAHACHIE, TEXAS.

### FLOOD STATEMENT:

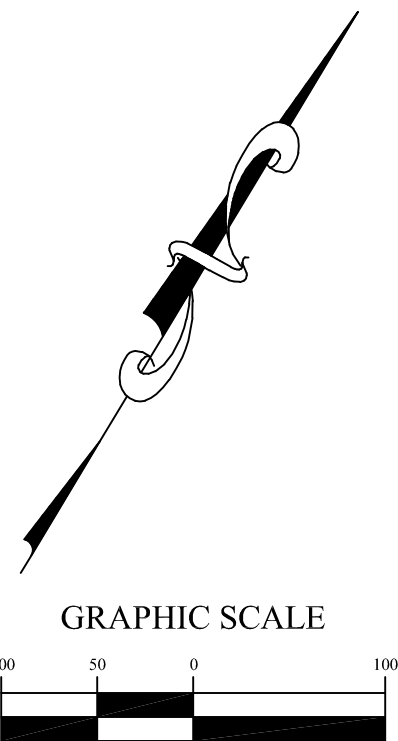
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VICINTY MAP  
LEGEND

O.P.R.E.C.T. OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS  
D.R.E.C.T. DEED RECORDS, ELLIS COUNTY, TEXAS  
P.R.E.C.T. PLAT RECORDS, ELLIS COUNTY, TEXAS  
<CM> CONTROL MONUMENT  
SIRC 1/2" IRON ROD SET WITH YELLOW CAP STAMPED  
"RPLS 5674" (UNLESS OTHERWISE NOTED)  
IRF IRON ROD FOUND  
BL BUILDING LINE  
SF SQUARE FEET  
VOL. VOLUME  
PG. PAGE  
CAB. CABINET



GRAPHIC SCALE

(IN FEET)  
1 inch = 100 ft.

CITY OF WAXAHACHIE  
INSTRUMENT NUMBER 1531227  
O.P.R.E.C.T.

CITY OF WAXAHACHIE  
VOL. 1921, PG. 1296  
D.R.E.C.T.

FARLEY STREET  
N 59°42'47" E  
50' R.O.W.  
DEDICATION

APPROXIMATE LOCATION  
ZONE "AE"  
MAP NUMBER 48139C0190 F  
JUNE 3, 2013

TRACT 1  
BLUE BONNET TRAILS, LLC  
INSTRUMENT NUMBER 1531073  
O.P.R.E.C.T.

8  
691,283 SF  
TO BE DEDICATED TO THE CITY OF  
WAXAHACHIE AS PARKLAND  
BLOCK 1

MATCHLINE

CL CURVE TABLE

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	250.00'	84°44'19"	369.74'	S 72°27'44" E	336.95'
C2	250.00'	51°29'20"	224.66'	S 33°39'07" W	217.18'
C3	250.00'	23°20'35"	101.85'	S 41°28'27" E	101.15'
C4	25.00'	16°33'42"	7.23'	S 22°39'15" W	7.20'
C5	750.00'	6°01'12"	78.80'	S 62°18'10" W	78.77'
C6	200.00'	39°50'25"	139.07'	N 29°22'57" W	136.28'
C7	200.00'	14°05'25"	49.18'	N 16°30'27" W	49.06'
C8	250.00'	20°41'48"	90.31'	N 10°18'16" W	89.82'
C9	250.00'	36°34'44"	159.61'	N 18°20'00" E	156.91'
C10	500.00'	6°18'19"	55.00'	S 27°24'45" E	55.00'
C11	500.00'	7°25'39"	64.82'	S 27°58'25" E	64.77'
C12	150.00'	24°37'19"	64.46'	N 46°58'54" E	63.97'
C13	258.50'	6°18'19"	28.45'	S 27°24'45" E	28.43'
C14	241.50'	7°25'39"	31.31'	S 27°58'25" E	31.28'
C15	750.00'	7°25'39"	97.22'	N 27°58'25" W	97.16'
C16	750.00'	6°17'15"	82.30'	N 27°24'13" W	82.26'
C17	48.50'	89°01'12"	75.35'	S 76°11'50" E	68.00'
C18	48.50'	13°34'39"	113.20'	N 07°34'16" W	89.20'
C19	48.50'	89°03'13"	75.38'	N 76°12'51" W	68.02'
C20	48.50'	86°27'42"	73.19'	N 16°12'15" E	66.44'
C21	47.50'	58°43'28"	48.68'	S 28°57'02" W	46.58'
C22	250.00'	23°08'46"	100.99'	S 11°59'05" E	100.31'
C23	500.00'	8°07'46"	70.94'	S 27°37'21" E	70.88'
C24	150.00'	32°04'23"	83.97'	S 43°21'36" W	82.88'
C25	48.50'	90°00'00"	76.18'	N 14°26'06" E	68.59'
C26	48.50'	89°37'41"	75.87'	S 75°45'04" E	68.37'
C27	48.50'	135°22'04"	114.59'	N 37°52'53" E	89.73'

CL LINE TABLE

LINE	BEARING	DISTANCE
L1	S 30°56'14" E	50.25'
L2	N 09°27'45" W	8.47'
L3	N 20°39'10" W	51.45'
L4	N 00°02'38" E	76.73'
L5	S 30°33'54" E	55.83'
L6	S 24°15'35" E	57.23'
L7	S 30°33'54" E	61.23'
L8	S 24°15'35" E	88.72'
L9	N 24°15'35" W	54.73'
L10	S 31°41'14" E	86.11'
L11	N 74°26'05" W	64.94'
L12	N 68°54'55" W	25.00'
L13	S 98°55'36" W	14.86'
L14	N 59°26'06" E	21.36'
L15	S 58°18'46" W	56.15'
L16	S 00°24'42" E	64.73'
L17	N 44°46'42" W	2.23'
L18	S 27°19'24" W	8.70'
L19	N 30°33'54" E	95.00'
L20	S 30°56'14" E	59.24'
L21	S 15°29'30" E	17.81'
L22	S 23°06'43" W	31.87'
L23	S 01°57'37" E	22.84'

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 59°26'06" E	60.00'
L2	S 30°56'14" E	50.28'

NOTES

- BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202 AS DERIVED FROM THE TRIMBLE VRS NETWORK.
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FLOOD STATEMENT:

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RIVER OAKS NO 3  
CAB. D. SLIDE 60  
P.R.E.C.T.

FARLEY STREET  
N 59°26'06" E

1  
7,386 SF  
20.09'

BLUEBELL LANE (50' RIGHT-OF-WAY)

N 59°26'06" E

168.74'

175.93'

109.67'

157.78'

14.00'

125.24'

8,976 SF

S 58°18'46" W

135.21'

9,329 SF

112.54'

5,550 SF

109.99'

11.07'

6,444 SF

S 58°18'46" W

118.18'

5,757 SF

112.54'

5,550 SF

109.99'

11.07'

6,444 SF

S 58°18'46" W

118.18'

5,757 SF

112.54'

5,550 SF

109.99'

11.07'

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S 58°18'46" W

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S 58°18'46" W

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11.07'

6,444 SF

S 58°18'46" W

118.18'

5,757 SF

112.54'

5,550 SF

109.99'

11.07'

6,444 SF

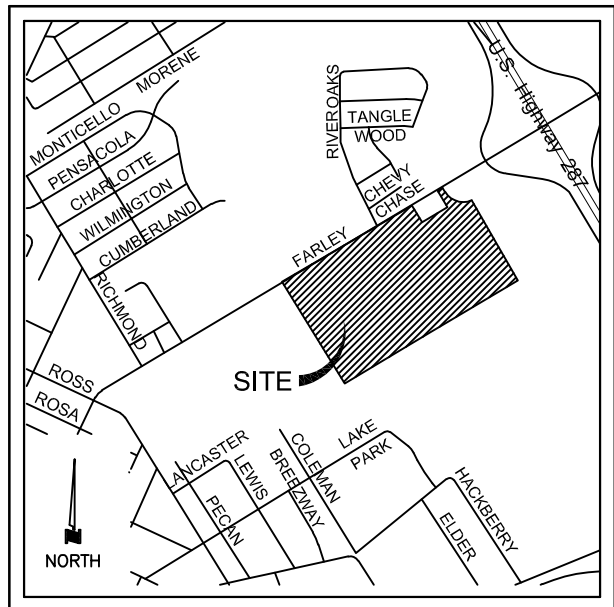
S 58°18'46" W

118.18'

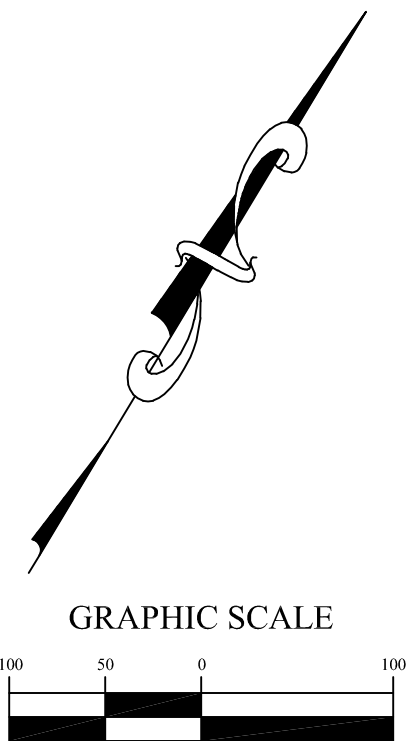
5,757 SF

112.54'





O.P.R.E.C.T. OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS  
D.R.E.C.T. DEED RECORDS, ELLIS COUNTY, TEXAS  
P.R.E.C.T. PLAT RECORDS, ELLIS COUNTY, TEXAS  
<CM> CONTROL MONUMENT  
SIRC 1/2" IRON ROD SET WITH YELLOW CAP STAMPED  
"RPLS 5674" (UNLESS OTHERWISE NOTED)  
IRON ROD FOUND  
IRF BUILDING LINE  
BL SQUARE FOOT  
SF VOLUME  
VOL. PAGE  
PG. CABINET



CL CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING
C1	250.00'	84°44'19"	369.74'	S 72°27'44" E 336.95'
C2	250.00'	51°29'20"	224.66'	S 33°39'07" W 217.18'
C3	250.00'	23°20'35"	101.85'	S 41°28'27" E 101.15'
C4	25.00'	16°33'42"	7.23'	S 22°39'15" W 7.20'
C5	750.00'	6°01'12"	78.80'	S 62°18'10" W 78.77'
C6	250.00'	39°50'25"	139.07'	N 29°22'57" W 136.28'
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C12	150.00'	24°37'19"	64.46'	N 46°58'54" E 63.97'
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C15	750.00'	7°25'39"	97.22'	N 27°58'25" W 97.16'
C16	750.00'	6°17'15"	82.30'	N 27°24'13" W 82.26'
C17	48.50'	89°01'12"	75.35'	S 76°11'50" E 68.00'
C18	48.50'	133°43'39"	113.20'	N 07°34'16" W 89.20'
C19	48.50'	89°03'13"	75.38'	N 76°12'51" W 68.02'
C20	48.50'	86°27'42"	73.19'	N 16°12'15" E 66.44'
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## PRELIMINARY PLAT BLUE BONNET TRAIL

225 RESIDENTIAL LOTS ~ 1 PARKLAND LOT  
57.652 ACRES ~ ZONED "PD-SF-3"  
AN ADDITION TO THE CITY OF WAXAHACHIE  
B.B. DAVIS SURVEY, ABSTRACT NUMBER 290  
W.C. CALDER SURVEY, ABSTRACT NUMBER 235  
ELLIS COUNTY, TEXAS

JUNE, 2018

SCALE: 1"=50'

OWNERS  
BLUE BONNET TRAIL, LLC & BLUE BONNET TRAILS, LLC

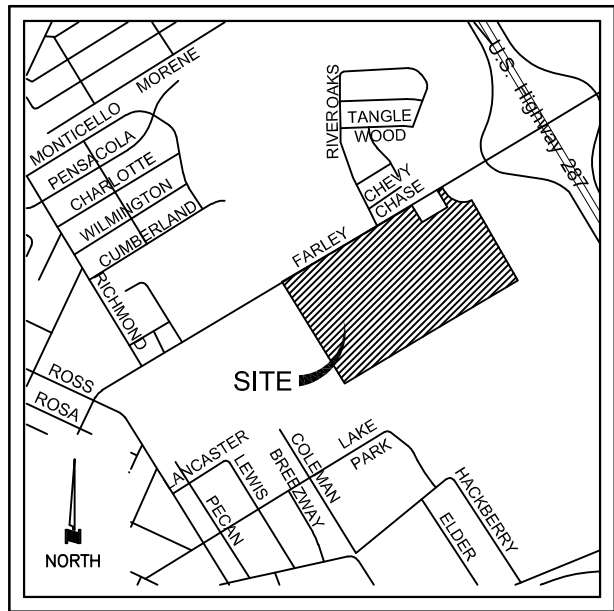
6515 BANDERA  
DALLAS, TEXAS 75225

SURVEYOR



P.O. Box 575 | Waxahachie, Texas 75168  
214.903.8200 | TBPLS Firm No. 10194367  
info@axis-survey.com

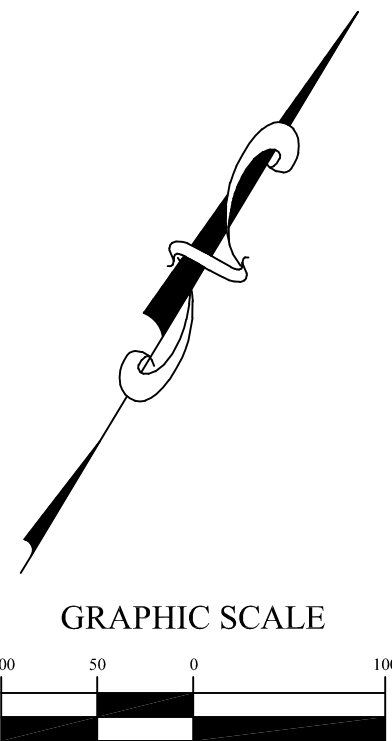




LEGEND

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IRF IRON ROD FOUND  
BL BUILDING LINE  
SF SQUARE FEET  
VOL VOLUME  
PG. PAGE  
CAB. CABINET



CITY OF WAXAHACHIE  
INSTRUMENT NUMBER 1531227  
O.P.R.E.C.T.

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C18	48.50'	133°43'39"	113.20'	N 07°34'16" W 89.20'
C19	48.50'	89°03'13"	75.38'	N 76°12'51" W 68.02'
C20	48.50'	86°27'42"	73.19'	N 16°12'15" E 66.44'
C21	47.50'	58°43'28"	48.68'	S 28°57'02" W 46.58'
C22	250.00'	23°08'46"	100.99'	S 11°59'05" E 100.31'
C23	500.00'	8°07'46"	70.94'	S 27°37'21" E 70.88'
C24	150.00'	32°04'23"	83.97'	S 43°21'36" W 82.88'
C25	48.50'	89°00'00"	76.18'	N 14°26'06" E 68.59'
C26	48.50'	89°37'41"	75.87'	S 75°45'04" E 68.37'
C27	48.50'	135°22'04"	114.59'	N 37°52'53" E 89.73'

CL LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 30°56'14" E	50.25'
L2	N 09°27'45" W	8.47'
L3	N 20°39'10" W	51.45'
L4	N 00°02'38" E	76.73'
L5	S 30°33'54" E	55.83'
L6	S 24°15'35" E	57.23'
L7	S 30°33'54" E	61.23'
L8	S 24°15'35" E	88.72'
L9	N 24°15'35" W	54.73'
L10	S 31°41'14" E	86.11'
L11	N 74°26'05" W	64.94'
L12	N 68°54'55" W	25.00'
L13	S 98°55'36" W	14.86'
L14	N 59°26'06" E	21.36'
L15	S 58°18'46" W	56.15'
L16	S 00°24'42" E	64.73'
L17	N 44°46'42" W	2.23'
L18	S 27°19'24" W	8.70'
L19	N 30°33'54" W	95.00'
L20	S 30°56'14" E	59.24'
L21	S 13°29'30" E	17.81'
L22	S 23°06'43" W	31.87'
L23	S 01°57'37" E	22.84'

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 59°26'06" E	60.00'
L2	S 30°56'14" E	50.28'

NOTES

- BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202 AS DERIVED FROM THE TRIMBLE VRS NETWORK.
- ALL LOT CORNERS ARE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A YELLOW CAP STAMPED "RPLS 5674" UNLESS OTHERWISE NOTED.
- DEVELOPMENT SUBJECT TO MANDATORY HOMEOWNERS ASSOCIATION (H.O.A.). ALL COMMON AREA LOTS WILL BE MAINTAINED BY SAID (H.O.A.)
- ALL BUILDING LINES ARE VARIABLE AND SUBJECT TO THE ZONING REGULATIONS OF THE CITY OF WAXAHACHIE, TEXAS.

FLOOD STATEMENT:

I HAVE EXAMINED THE NATIONAL FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ELLIS COUNTY, TEXAS COMMUNITY PANEL NO. 48139C0190 F, EFFECTIVE DATE OF JUNE 3, 2013 AND SAID MAP INDICATES THAT THIS PROPERTY IS IN ZONE "X" AND ZONE "AE" BY GRAPHIC SCALE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

PRELIMINARY PLAT  
BLUE BONNET TRAIL

225 RESIDENTIAL LOTS ~ 1 PARKLAND LOT  
57.652 ACRES ~ ZONED "PD-SF-3"  
AN ADDITION TO THE CITY OF WAXAHACHIE  
B.B. DAVIS SURVEY, ABSTRACT NUMBER 290  
W.C. CALDER SURVEY, ABSTRACT NUMBER 235  
ELLIS COUNTY, TEXAS

JUNE, 2018

SCALE: 1"=50'

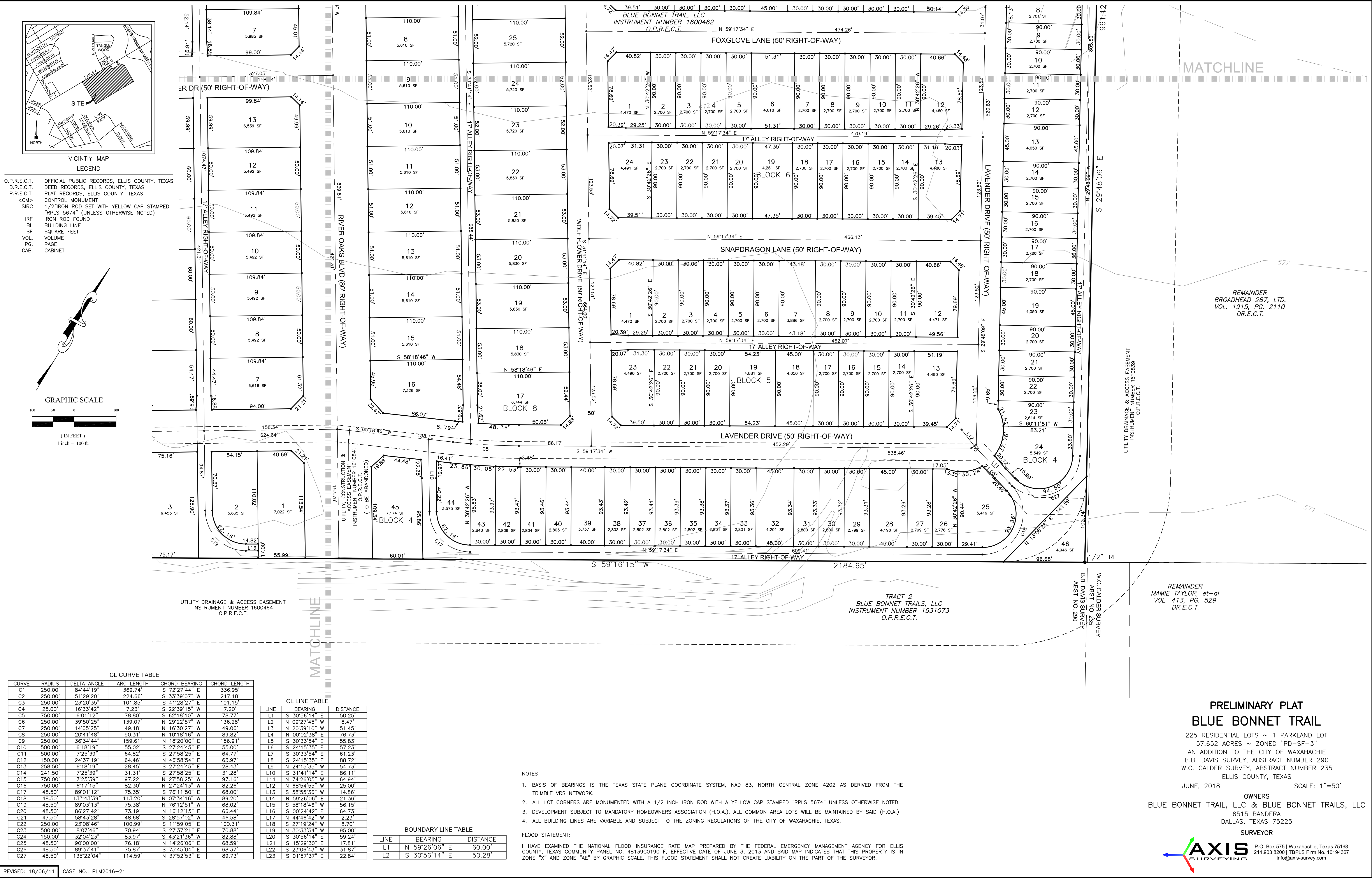
OWNERS  
BLUE BONNET TRAIL, LLC & BLUE BONNET TRAILS, LLC  
6515 BANDERA  
DALLAS, TEXAS 75225

SURVEYOR

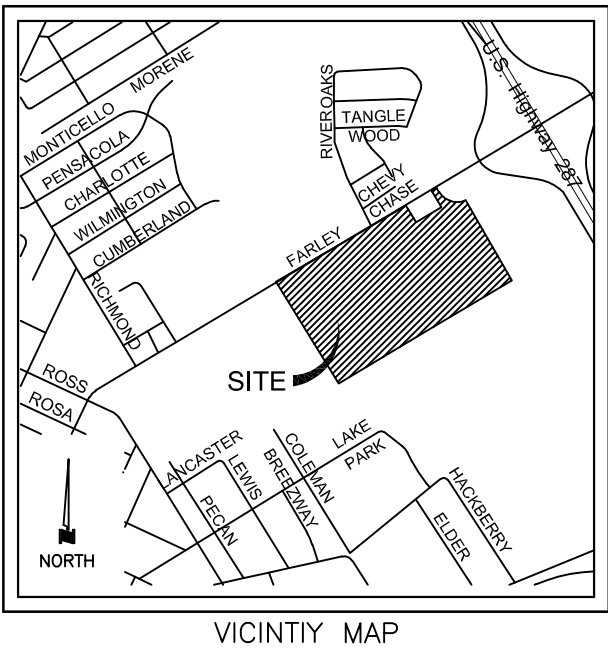


P.O. Box 575 | Waxahachie, Texas 75168  
214.903.8200 | TPLS Firm No. 10194367  
info@axis-survey.com









CITY OF WAXAHACHIE  
ELLIS COUNTY, TEXAS

CITY APPROVAL OF PRELIMINARY PLAT

APPROVED FOR PREPARATION OF THE FINAL PLAT

APPROVED BY THE PLANNING AND ZONING COMMISSION

DATE

APPROVED BY THE CITY COUNCIL

DATE

OWNER'S ACKNOWLEDGMENT

I HEREBY ACKNOWLEDGE THIS DOCUMENT AS THE OFFICIALLY APPROVED PRELIMINARY PLAT.

OWNER'S SIGNATURE

DATE

STATE OF TEXAS §  
COUNTY OF ELLIS §

BEING ALL THAT CERTAIN PARCEL OF LAND LYING IN THE CITY OF WAXAHACHIE, TEXAS AND BEING SITUATED IN THE B.B. DAVIS SURVEY, ABSTRACT NUMBER 290, AND THE W.C. CALDER SURVEY, ABSTRACT NUMBER 235 ELLIS COUNTY, TEXAS, BEING ALL OF A TRACT OF LAND TO BLUE BONNET TRAILS, LLC CALLED TRACT 1 AS RECORDED IN INSTRUMENT NUMBER 1531074 OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS AND ALL OF A 27.988 ACRE TRACT OF LAND TO BLUE BONNET TRAIL, LLC AS RECORDED IN INSTRUMENT NUMBER 1600462 OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A 1/2 INCH IRON ROD FOUND LYING IN FARLEY STREET, (A VARIABLE WIDTH RIGHT-OF-WAY) FOR THE WEST CORNER OF SAID TRACT 1 SAME BEING THE NORTH CORNER OF A TRACT OF LAND TO THE CITY OF WAXAHACHIE AS RECORDED IN INSTRUMENT NUMBER 1531227 OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS;

THENCE NORTH 59 DEGREES 42 MINUTES 47 SECONDS EAST ALONG SAID FARLEY STREET A DISTANCE OF 1041.10 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE NORTH CORNER OF SAID TRACT 1 SAME POINT BEING THE WEST CORNER OF SAID 27.988 ACRE TRACT AT AN ANGLE POINT IN SAME;

THENCE NORTH 59 DEGREES 26 MINUTES 06 SECONDS EAST CONTINUING ALONG SAID FARLEY STREET AND THE NORTH LINE OF SAID 27.988 ACRE TRACT A DISTANCE OF 527.41 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE WEST CORNER OF A CALLED 0.59 ACRE TRACT;

THENCE SOUTH 30 DEGREES 56 MINUTES 14 SECONDS EAST ALONG THE COMMON LINE OF SAID 27.988 ACRE TRACT AND SAID 0.59 ACRE TRACT A DISTANCE OF 204.48 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER;

THENCE NORTH 59 DEGREES 23 MINUTES 47 SECONDS EAST CONTINUING ALONG SAID COMMON LINE AND PASSING THE EAST CORNER OF SAID 0.59 ACRE TRACT SAME BEING THE SOUTH CORNER OF A TRACT OF LAND TO MICHAEL T. ADKINS AND KAYE ADKINS AS RECORDED IN VOLUME 691, PAGE 349 OF THE DEED RECORDS OF ELLIS COUNTY, TEXAS AND CONTINUING A TOTAL DISTANCE OF 308.30 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE WEST CORNER OF SAID ADKINS TRACT;

THENCE NORTH 30 DEGREES 56 MINUTES 14 SECONDS WEST ALONG THE COMMON LINE OF SAID 27.988 ACRE TRACT AND SAID ADKINS TRACT A DISTANCE OF 204.27 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER LYING IN SAID FARLEY STREET;

THENCE NORTH 59 DEGREES 26 MINUTES 06 SECONDS EAST ALONG SAID FARLE STREET A DISTANCE OF 60.00 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER;

THENCE SOUTH 30 DEGREES 56 MINUTES 14 SECONDS EAST DEPARTING SAID FARLEY STREET AND ALONG THE NORTHEAST LINE OF SAID 27.988 ACRE TRACT A DISTANCE OF 50.28 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER AT THE BEGINNING OF A CURVE TO THE LEFT;

THENCE WITH SAID CURVE TO THE LEFT AND CONTINUING ALONG SAID NORTHEAST LINE HAVING A RADIUS OF 220.00 FEET, A CENTRAL ANGLE OF 84 DEGREES 06 MINUTES 52 SECONDS, AN ARC LENGTH OF 322.98 FEET, A CHORD BEARING OF SOUTH 72 DEGREES 05 MINUTES 39 SECONDS EAST A DISTANCE OF 294.74 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER;

THENCE SOUTH 29 DEGREES 48 MINUTES 09 SECONDS EAST CONTINUING ALONG SAID NORTHEAST LINE A DISTANCE OF 961.12 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE EAST CORNER OF SAID 27.988 ACRE TRACT;

THENCE SOUTH 59 DEGREES 16 MINUTES 15 SECONDS WEST ALONG THE SOUTEAST LINE OF SAID 27.988 ACRE TRACT A DISTANCE OF 2184.65 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE SOUTH CORNER OF SAID 27.988 ACRE TRACT AND THE EAST CORNER OF THE AFOREMENTIONED TRACT 1;

THENCE SOUTH 59 DEGREES 08 MINUTES 31 SECONDS WEST ALONG THE SOUTEAST LINE OF SAID TRACT 1 A DISTANCE OF 792.09 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE SOUTH CORNER OF SAID TRACT 1;

THENCE NORTH 31 DEGREES 34 MINUTES 42 SECONDS WEST ALONG THE COMMON LINE OF SAID TRACT 1 AND SAID CITY OF WAXAHACHIE TRACT A DISTANCE OF 1245.00 FEET TO THE POINT OF BEGINNING CONTAINING 2,511,321 SQUARE FEET, OR 57.652 ACRES OF LAND.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, SEAN SHROPSHIRE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WAXAHACHIE, TEXAS.

  
SEAN SHROPSHIRE  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 5674

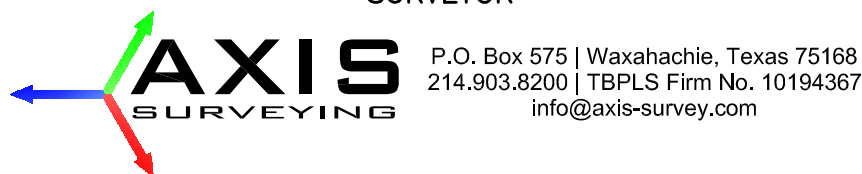


PRELIMINARY PLAT  
BLUE BONNET TRAIL

225 RESIDENTIAL LOTS ~ 1 PARKLAND LOT  
57.652 ACRES ~ ZONED "PD-SF-3"  
AN ADDITION TO THE CITY OF WAXAHACHIE  
B.B. DAVIS SURVEY, ABSTRACT NUMBER 290  
W.C. CALDER SURVEY, ABSTRACT NUMBER 235  
ELLIS COUNTY, TEXAS

JUNE, 2018 SCALE: 1"=50'

OWNERS  
BLUE BONNET TRAIL, LLC & BLUE BONNET TRAILS, LLC  
6515 BANDERA  
DALLAS, TEXAS 75225  
SURVEYOR



CL CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	250.00'	84°44'19"	369.74'	S 72°27'44" E	336.95'
C2	250.00'	51°29'20"	224.66'	S 33°39'07" W	217.18'
C3	250.00'	23°20'35"	101.85'	S 41°28'27" E	101.15'
C4	25.00'	16°33'42"	7.23'	S 22°39'15" W	7.20'
C5	750.00'	6°01'12"	78.80'	S 62°18'10" W	78.77'
C6	250.00'	39°50'25"	139.07'	N 29°22'57" W	136.28'
C7	250.00'	14°05'25"	49.18'	N 16°30'27" W	49.06'
C8	250.00'	20°41'48"	90.31'	N 10°18'16" W	89.82'
C9	250.00'	36°34'44"	159.61'	N 18°20'00" E	156.91'
C10	500.00'	6°18'19"	55.02'	S 27°24'45" E	55.00'
C11	500.00'	7°25'39"	64.82'	S 27°58'25" E	64.77'
C12	150.00'	24°37'19"	64.46'	N 46°58'54" E	63.97'
C13	258.50'	6°18'19"	28.45'	S 27°24'45" E	28.43'
C14	241.50'	7°25'39"	31.31'	S 27°58'25" E	31.28'
C15	750.00'	7°25'39"	97.22'	N 27°58'25" W	97.16'
C16	750.00'	6°17'15"	82.30'	N 27°24'13" W	82.26'
C17	48.50'	89°01'12"	75.35'	S 76°11'50" E	68.00'
C18	48.50'	133°43'39"	113.20'	N 07°34'16" W	89.20'
C19	48.50'	89°03'13"	75.38'	N 76°12'51" W	68.02'
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C22	250.00'	23°08'46"	100.99'	S 11°59'05" E	100.31'
C23	500.00'	8°07'46"	70.94'	S 27°37'21" E	70.88'
C24	150.00'	32°04'23"	83.97'	S 43°21'36" W	82.88'
C25	48.50'	89°00'00"	76.18'	N 14°26'06" E	68.59'
C26	48.50'	89°37'41"	75.87'	S 75°45'04" E	68.37'
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CL LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 30°56'14" E	50.25'
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L7	S 30°33'54" E	61.23'
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L9	N 24°15'35" W	54.73'
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L13	S 98°55'36" W	14.86'
L14	N 59°26'06" E	21.36'
L15	S 58°18'46" W	56.15'
L16	S 00°24'42" E	64.73'
L17	N 44°46'42" W	2.23'
L18	S 27°19'24" W	8.70'
L19	N 30°33'54" W	95.00'
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L21	S 15°29'30" E	17.81'
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L23	S 01°57'37" E	22.84'

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 59°26'06" E	60.00'
L2	S 30°56'14" E	50.28'

NOTES

- BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, NORTH CENTRAL ZONE 4202 AS DERIVED FROM THE TRIMBLE VRS NETWORK.
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- DEVELOPMENT SUBJECT TO MANDATORY HOMEOWNERS ASSOCIATION (H.O.A.). ALL COMMON AREA LOTS WILL BE MAINTAINED BY SAID (H.O.A.)
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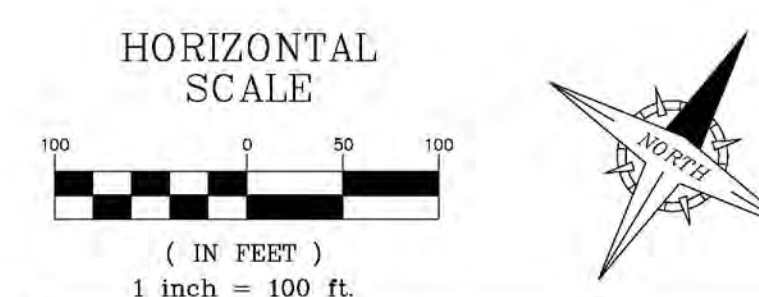
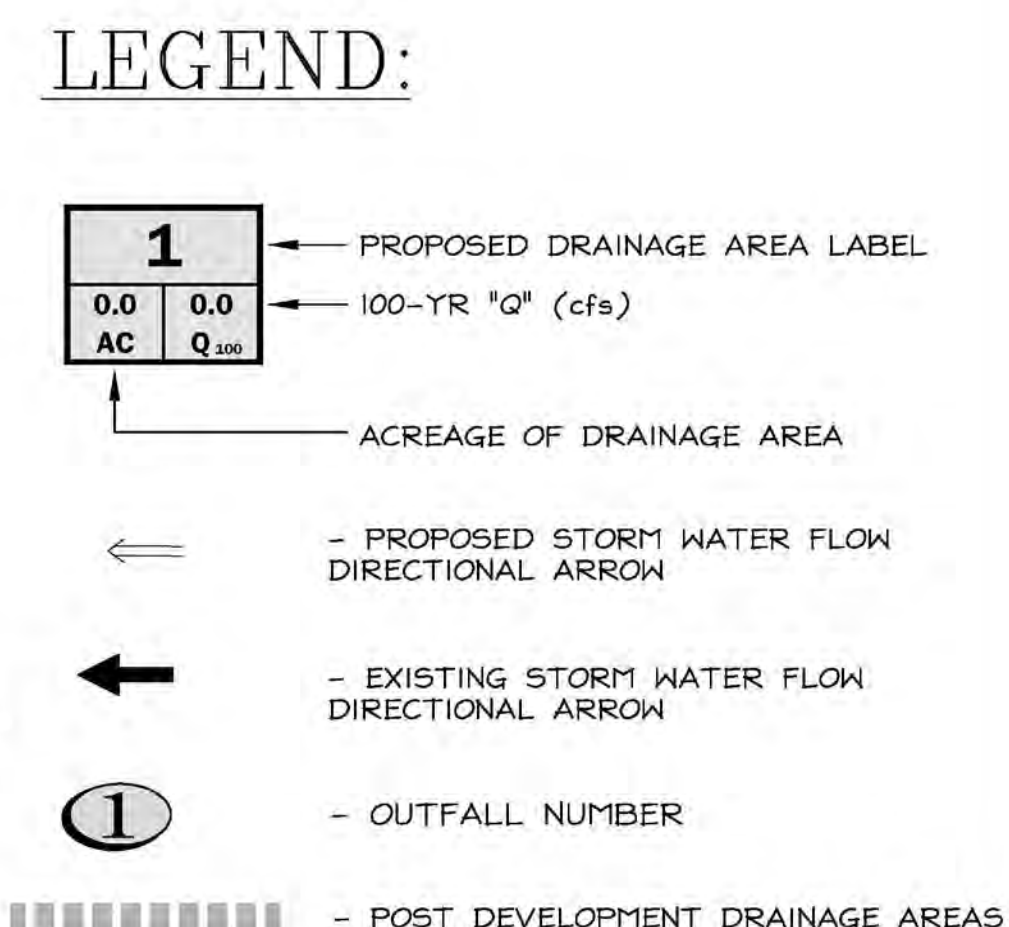
FLOOD STATEMENT:

I HAVE EXAMINED THE NATIONAL FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ELLIS COUNTY, TEXAS COMMUNITY PANEL NO. 48139C0190 F, EFFECTIVE DATE OF JUNE 3, 2013 AND SAID MAP INDICATES THAT THIS PROPERTY IS IN ZONE "X" AND ZONE "AE" BY GRAPHIC SCALE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.





PROPOSED DRAINAGE AREAS AT BLUE BONNET PHASES 1 & 2											
	Tc										
AREA #	(min)	C	ACRES	Q <sub>100</sub>	Q <sub>100</sub> (cfs)	Q <sub>5</sub>	Q <sub>50</sub>	Q <sub>50</sub> (cfs)	Q <sub>5</sub>	Q <sub>5</sub> (cfs)	DESCRIPTION
I	20	0.40	17.16	6.80	47.22	0.21	43.12	5.60	38.60	4.40	Existing flood plain
II	15	0.60	2.13	3.92	9.66	0.89	8.85	2.68	8.04	0.92	Existing flood plain
III	15	0.60	3.67	7.52	16.11	0.89	14.78	2.26	13.41	0.92	Detention Pond #1
IV	15	0.60	4.02	7.52	18.18	0.89	16.68	2.26	15.14	0.92	Storm Line #1
V	15	0.60	0.96	7.52	4.33	0.69	3.97	0.26	3.61	0.23	Proposed 100' drainage ditch
VI	15	0.60	0.66	7.52	2.98	0.69	2.73	0.26	2.48	0.92	Proposed 100' drainage ditch
VII	15	0.60	4.30	7.52	19.40	0.89	17.78	2.26	16.15	0.92	Storm Line #1
VIII	15	0.60	6.28	7.52	23.82	0.89	21.83	2.26	19.83	0.92	Storm Line #2
IX	15	0.60	5.00	7.52	22.06	0.89	20.67	2.26	18.78	0.92	Storm Line #3
X	15	0.60	8.35	7.52	37.68	0.89	34.52	2.26	31.38	0.92	Storm Line #4
XI	15	0.60	0.67	7.52	2.57	0.69	2.36	0.26	2.14	0.92	Proposed 100' DE
XII	15	0.60	3.39	7.52	15.30	0.89	14.01	2.26	12.73	0.92	Storm Line #4
XIII	15	0.60	2.01	7.52	9.07	0.89	8.31	2.26	7.55	0.92	South bar ditch of Farley St to creek
OS-1	15	0.60	0.45	7.52	2.03	0.69	1.86	0.26	1.69	0.92	South bar ditch of Farley St to creek
OS-2	15	0.60	0.61	7.52	2.75	0.69	2.52	0.26	2.29	0.92	South bar ditch of Farley St to proposed 100' D
OS-3	15	0.90	1.29	7.52	0.73	0.69	0.60	0.26	7.27	0.92	Proposed 100' DE
											Proposed 100' DE



**PRELIMINARY**  
**DRAINAGE AREA MAP**  
BLUE BONNET TRAILS PH. 1 & 2  
ZONED: PLANNED DEVELOPMENT  
City of Waxahachie - Ellis County, Texas

**PREPARED FOR**  
DENTON McKINNEY SQUARE, LP  
6023 WAGGONER  
DALLAS, TX 75230  
CONTACT: MASSEY SHAW  
masseyshaw@gmail.com

**PREPARED BY**  
ATLAS ASSOCIATES, INC.  
P.O. BOX 185  
MILFORD, TX 76670  
972-921-4206 | fax 469-327-2527

Date: April 4, 2016  
Revised: June 11, 2018  
Scale: 1" = 100'  
Job Number: 15-060

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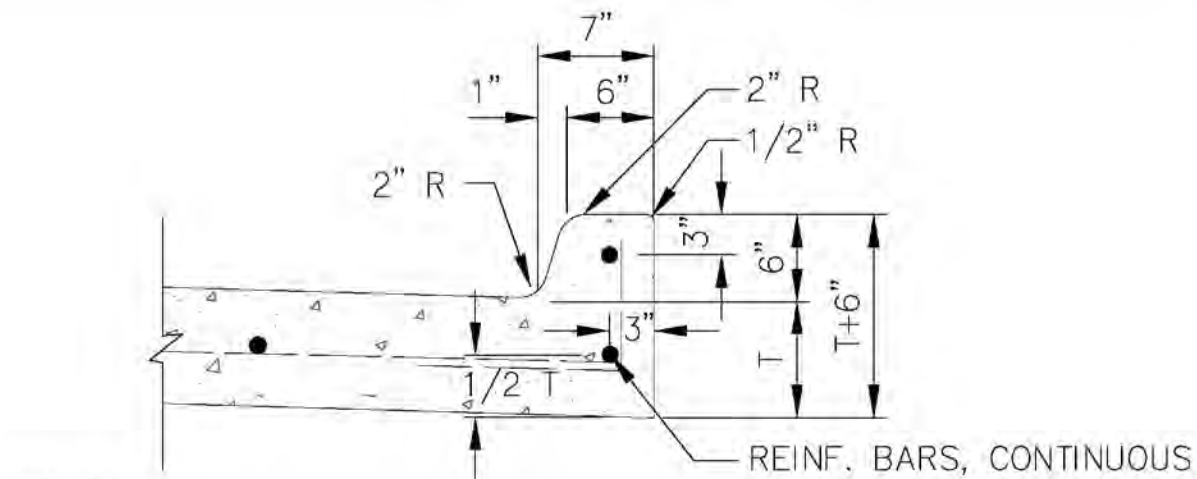






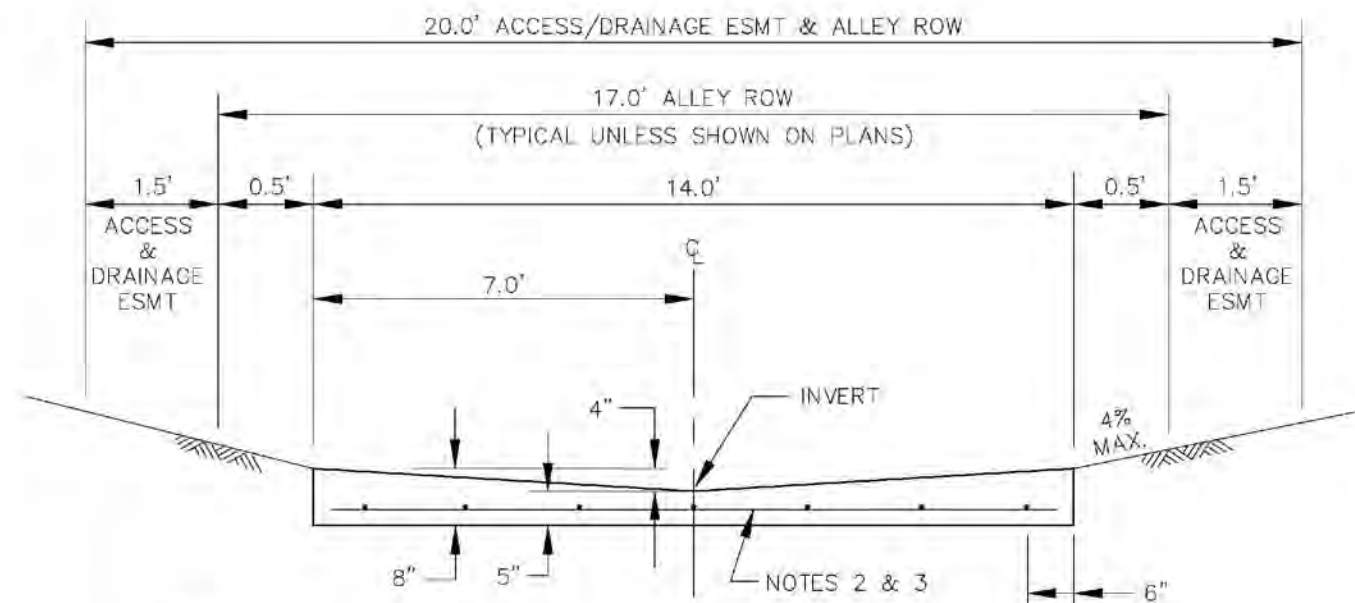






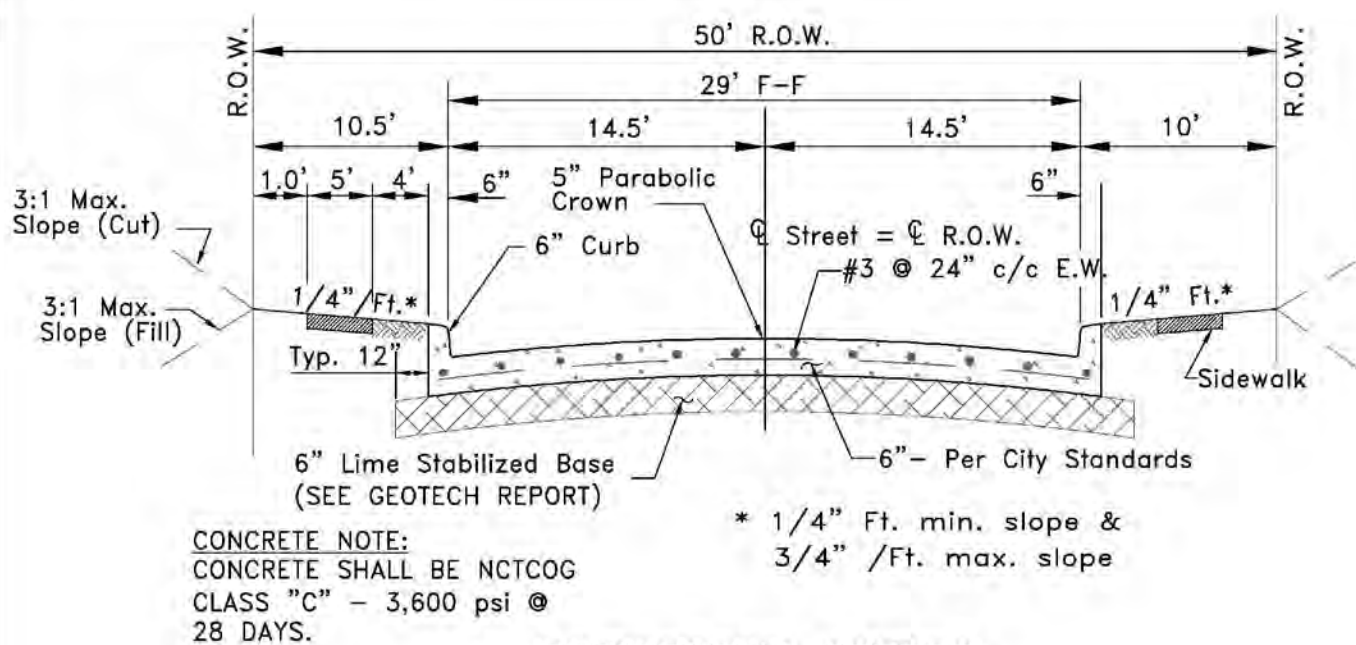
- NOTES:
1. AN APPROVED WHITE PIGMENTED CURING COMPOUND SHALL BE APPLIED TO THE SURFACE OF THE CURB AND GUTTER AS SOON AS IT HAS BEEN PLACED AND FINISHED.
  2. ALL REINFORCING STEEL SHALL MATCH BARS SPECIFIED FOR PAVEMENT SECTION.

**MONOLITHIC CONCRETE CURB**  
N.T.S.



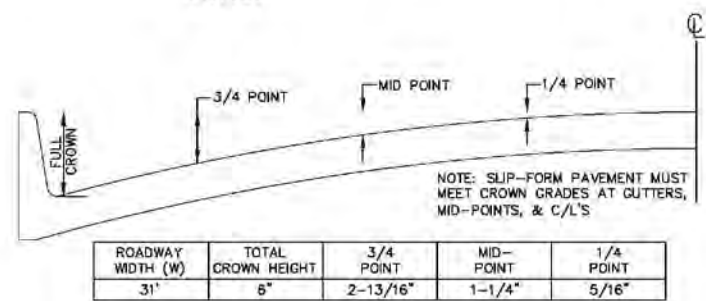
- NOTES:
1. PROVIDE SAWED TRANSVERSE CONTRACTION JOINTS NOT MORE THAN 20' C-C.
  2. REINFORCED WITH NO. 3 BARS AT 24" C-C BOTH WAYS.
  3. EXPANSION JOINTS TO BE PLACED AT ALL INTERSECTIONS AND NOT TO EXCEED 600' BETWEEN JOINTS.
  4. CONCRETE SHALL BE CLASS "C" OR "PC", OR AS SPECIFIED BY OWNER.
  5. STABILIZED SUBGRADE PER GEOTECH REPORT. (6" MINIMUM)

**ALLEY SECTION WITHOUT CURB**  
N.T.S.

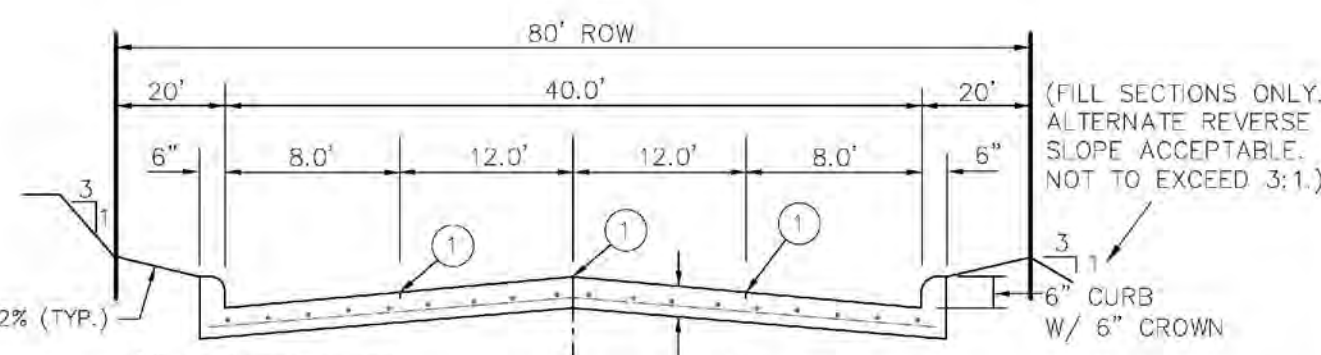


CONCRETE NOTE:  
CONCRETE SHALL BE NCTCOG CLASS "C" - 3,600 psi @ 28 DAYS.

**RESIDENTIAL STREET**  
N.T.S.

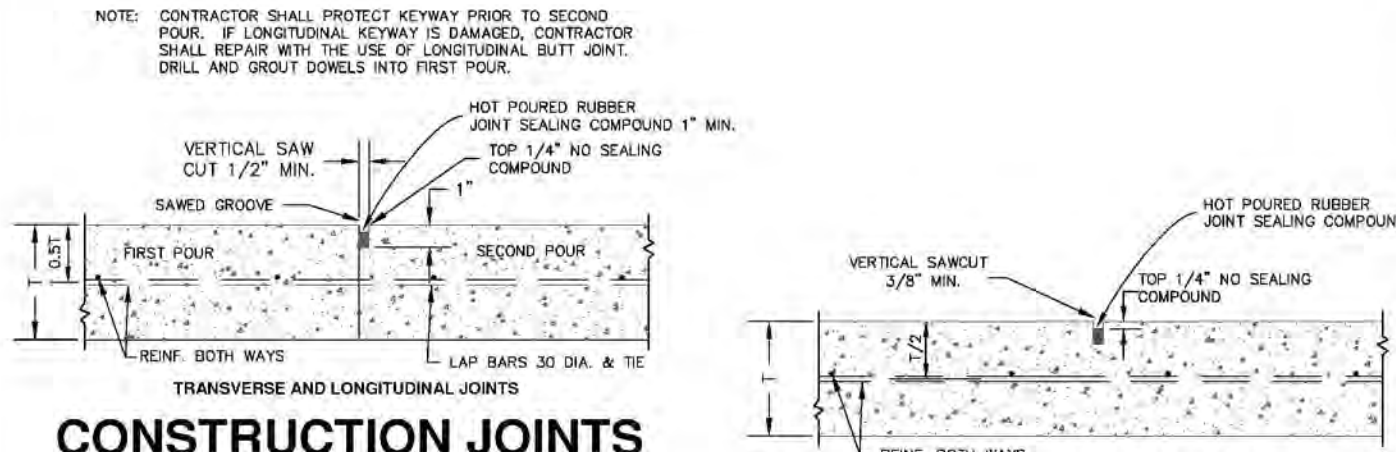


**TABLE OF CROWN HEIGHTS AND ORDINATES FOR PARABOLIC ROAD SECTION**  
(N.T.S.)



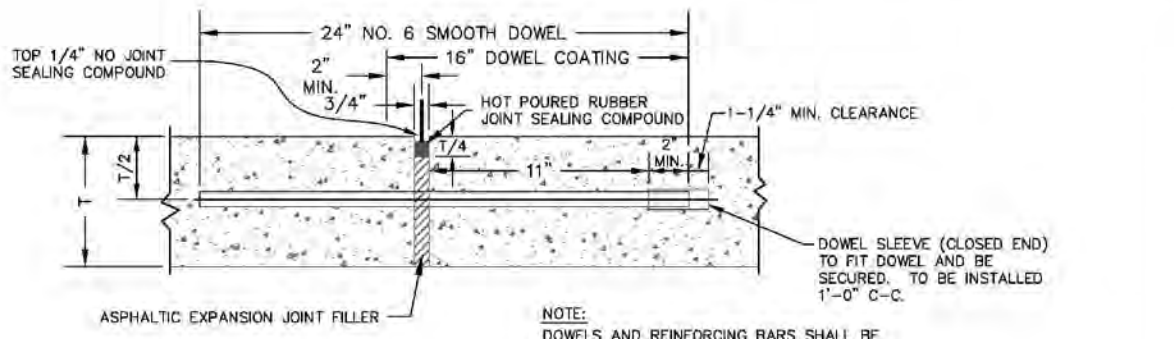
- NOTES:
1. ALL REINFORCEMENT SHALL BE #3 BARS ON 24" CENTERS BOTH WAYS, EXCEPT WHERE NOTED.
  2. PAVEMENT STRENGTH SHALL CONFORM TO CLASS "C" OR "PC" CONCRETE, OR AS SPECIFIED BY THE OWNER.
  3. 8" STABILIZED SUBGRADE (MINIMUM). SEE GEOTECH REPORT.

**RIVER OAKS BLVD TYP. CROSS SECTION**  
N.T.S.

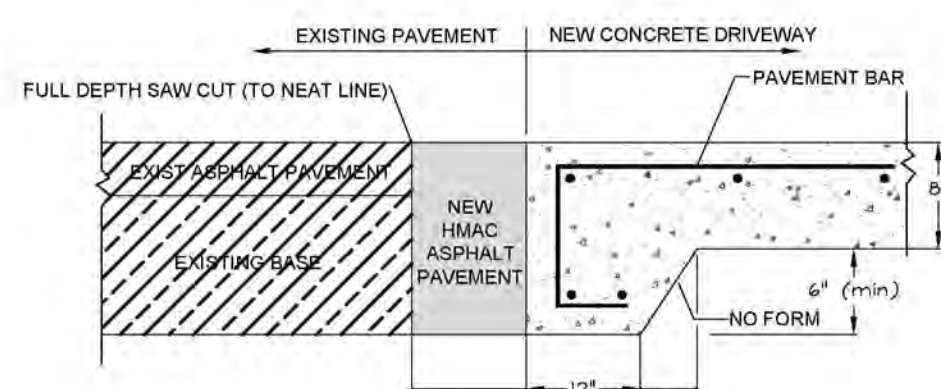


**CONSTRUCTION JOINTS FOR STREET PAVEMENT**  
NOT TO SCALE

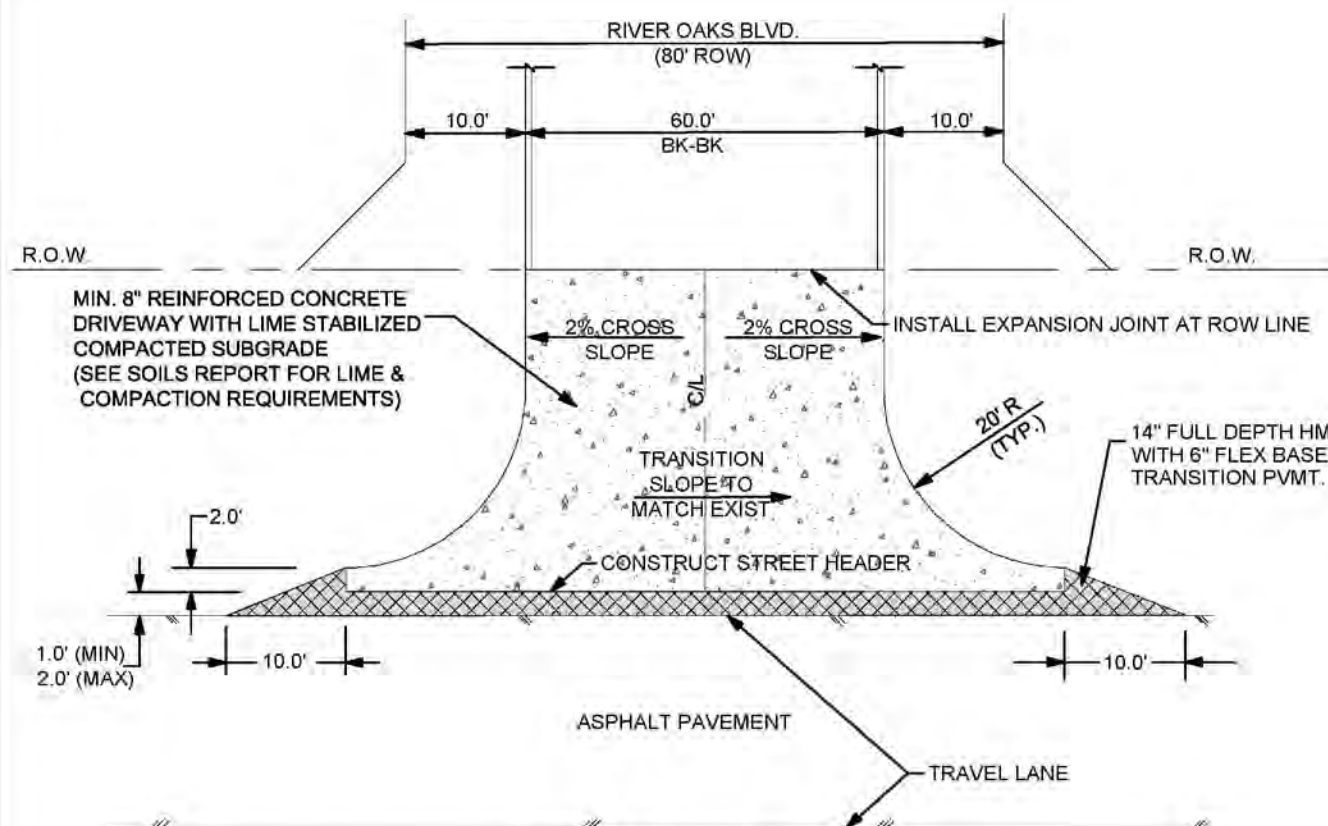
**SAWED DUMMY JOINT**  
T = PAVEMENT THICKNESS  
NOT TO SCALE



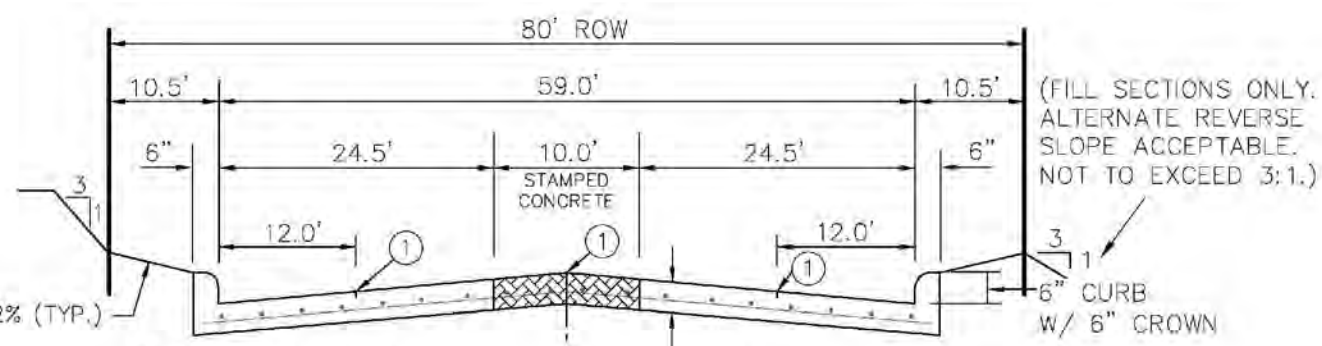
**TRANSVERSE EXPANSION JOINT**  
(SPACED 600 FT. MAXIMUM, LOCATE AT INTERSECTIONS)  
T = PAVEMENT THICKNESS  
NOT TO SCALE



**STREET HEADER AT HIGHWAY FARLEY ST CONNECTION**  
NOT TO SCALE



**RIVER OAKS BLVD. FARLEY STREET - ROAD CONNECTION DETAIL**  
N.T.S.

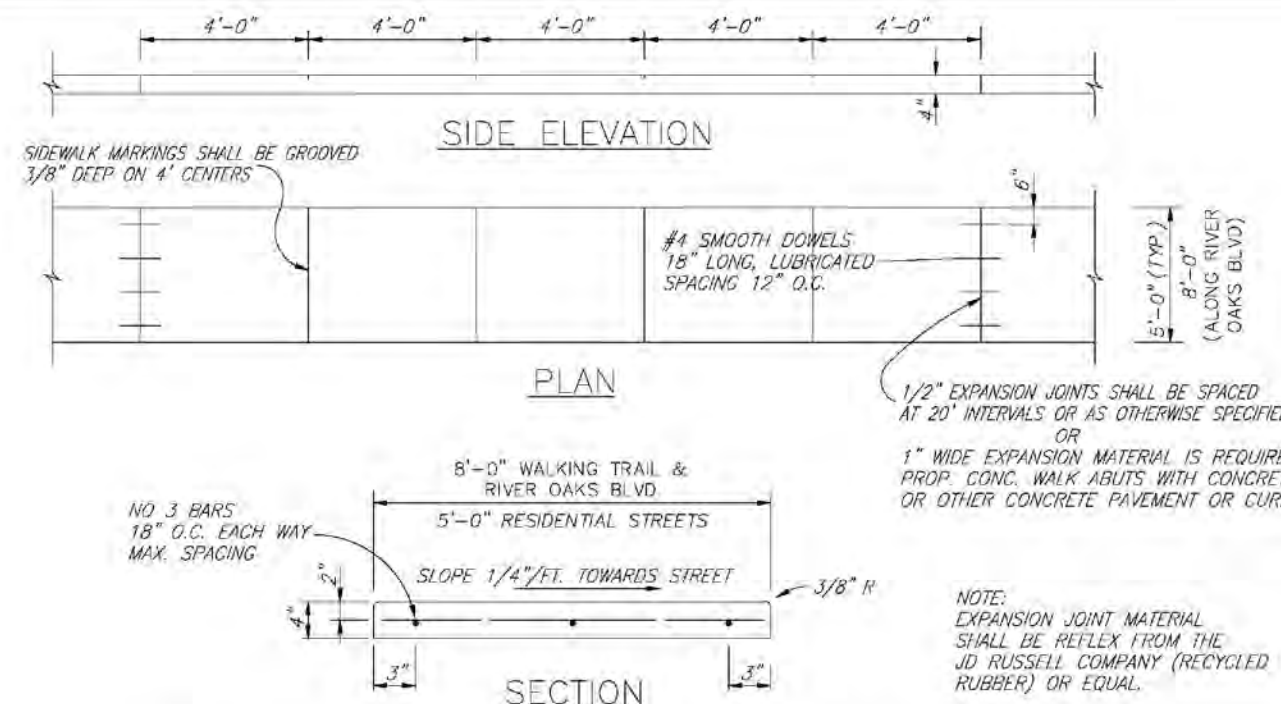


- NOTES:
1. ALL REINFORCEMENT SHALL BE #3 BARS ON 24" CENTERS BOTH WAYS, EXCEPT WHERE NOTED.
  2. PAVEMENT STRENGTH SHALL CONFORM TO CLASS "C" OR "PC" CONCRETE, OR AS SPECIFIED BY THE OWNER.
  3. 8" STABILIZED SUBGRADE (MINIMUM). SEE GEOTECH REPORT.

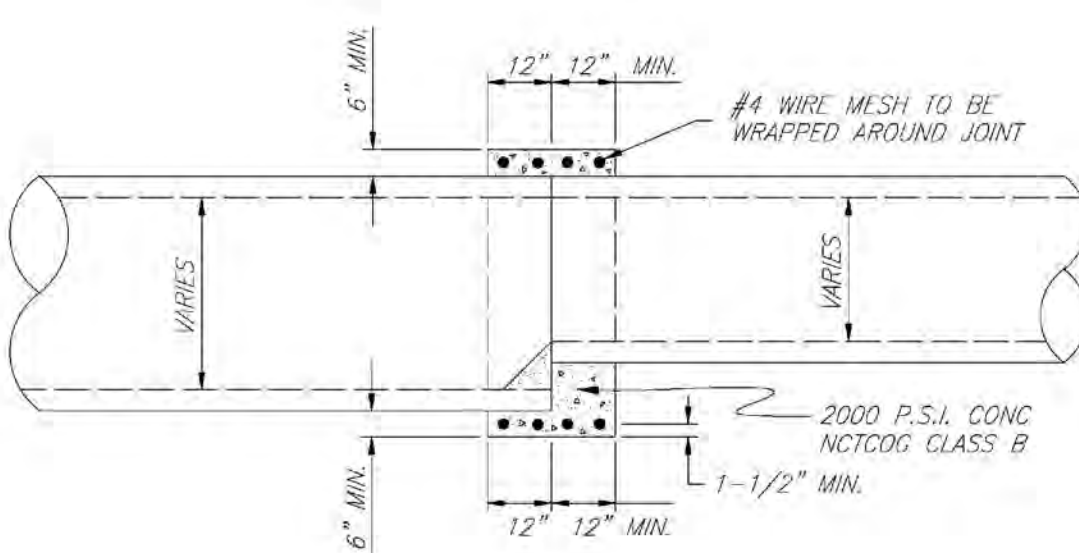
**RIVER OAKS BLVD. CROSS SECTION BETWEEN FARLEY ST. & BLUEBELL LN.**  
N.T.S.

**GEOTECH REPORT SUMMARY & GENERAL NOTES:**

1. BELOW IS A SUMMARY OF THE GEOTECH REPORT BY FARGO CONSULTANTS, INC. - REPORT NO. G17-3037, DATED SEPTEMBER 2017 WITH SUPPLEMENT REPORT DATED OCTOBER 9, 2017. BELOW SUMMARY IS INTENDED AS A GUIDE AND DOES NOT SUPERCEDE THE DESIGN AS OUTLINED BY FARGO CONSULTANTS, INC.
2. ALL PROPOSED STREET PAVEMENT NOT WITHIN RIVER OAKS BLVD. RIGHT-OF-WAY SHALL BE:
  - 2.1. REINFORCED CONCRETE PAVEMENT, 4" THICK (MIN), 3600 PSI, WITH 4 to 6 PERCENT ENTRAINED AIR.
  - 2.2. CONSTRUCTION 4 SAWED JOINTS AT MAX. 18' SPACING 4 TO A DEPTH OF 1/3 OF THE PAVEMENT THICKNESS.
  - 2.3. 6" MINIMUM COMPACTED SUB-GRADE TO BE COMPACTED TO A MINIMUM OF 98% MAX. DRY DENSITY (ASTM D698).
  - 2.4. TREATED, COMPACTED SUBGRADE SHALL HAVE A MOISTURE CONTENT BETWEEN -1 AND +3 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY LABORATORY PROCTOR TEST ASTM D 698.
3. ALL PROPOSED STREET PAVEMENT WITHIN RIVER OAKS BLVD. RIGHT-OF-WAY SHALL BE:
  - 3.1. 8" THICK (MINIMUM), 3600 PSI, WITH 4 to 6 PERCENT ENTRAINED AIR.
  - 3.2. CONSTRUCTION 4 SAWED JOINTS AT MAX. 18' SPACING 4 TO A DEPTH OF 1/3 OF THE PAVEMENT THICKNESS.
  - 3.3. 6" MINIMUM COMPACTED SUB-GRADE TO BE COMPACTED TO A MINIMUM OF 98% MAX. DRY DENSITY (ASTM D698).
  - 3.4. TREATED, COMPACTED SUBGRADE SHALL HAVE A MOISTURE CONTENT BETWEEN -1 AND +3 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY LABORATORY PROCTOR TEST ASTM D 698. LINE STABILIZATION REQUIREMENTS AS OUTLINED IN THE SOILS REPORT.
4. ALL AREAS UNDER PROPOSED STREET PAVEMENT SHALL BE LINE STABILIZED WITH 7% HYDRATED (PER GEOTECH REPORT, ESTIMATED PRIOR TO COMPLETION OF GRADING ROAD BED) LIME BY DRY WEIGHT, PER GEOTECH REPORT, THE LIME REQUIREMENT SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION AFTER GRADING OPERATIONS HAVE BEEN COMPLETED.
5. SUBGRADE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH ITEM 260 OF THE TxDOT 2004 STANDARD SPECIFICATIONS.
6. LINE STABILIZATION SHALL EXTEND 1' BEYOND EXPOSED PAVEMENT EDGES.
7. LINE SERIES TESTING SHALL BE TAKEN AT 500 FT. MAXIMUM INTERVALS.
8. TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
9. CONTRACTOR SHALL PROVIDE COPIES OF ALL TESTING REPORTS TO THE CITY OF WAXAHACHIE.
10. NO FLY ASH ALLOWED IN CONCRETE MIX DESIGN AS A REPLACEMENT TO CEMENT.
11. THE SAWED JOINTS SHOULD BE CUT AS SOON AS PRACTICABLE AFTER THE CONCRETE HAS SET BUT NO LATER THAN 8 HOURS.
12. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS OR OTHER APPROVED SUPPORT.
13. DUMMY JOINTS SHALL BE SAWED IN THE PAVEMENT ON THIS PROJECT. DUMMY JOINTS WILL BE SPACED 5 FEET ON CENTERS UNLESS DIRECTED OTHERWISE BY THE CITY. SPACING VARIATIONS SHALL BE MADE AT BLOCK-OUTS.
14. CONSTRUCTION JOINTS AND STREET INTERSECTIONS TO LINE UP WITH EXISTING PAVING JOINTS AS DIRECTED BY THE CITY. THE SPACING BETWEEN ANY JOINT SHALL NOT BE LESS THAN 10 FEET NOR MORE THAN 15 FEET.
15. ALL DUMMY JOINTS WILL BE SAWED NOT LATER THAN 8 HOURS AFTER THE PLACEMENT OF THE PAVEMENT.
16. BAR LAPS SHALL BE 30 DIAMETERS, WITH A 12" MINIMUM.
17. BAR CHAIRS, OR APPROVED EQUIVALENT, SHALL BE FURNISHED.

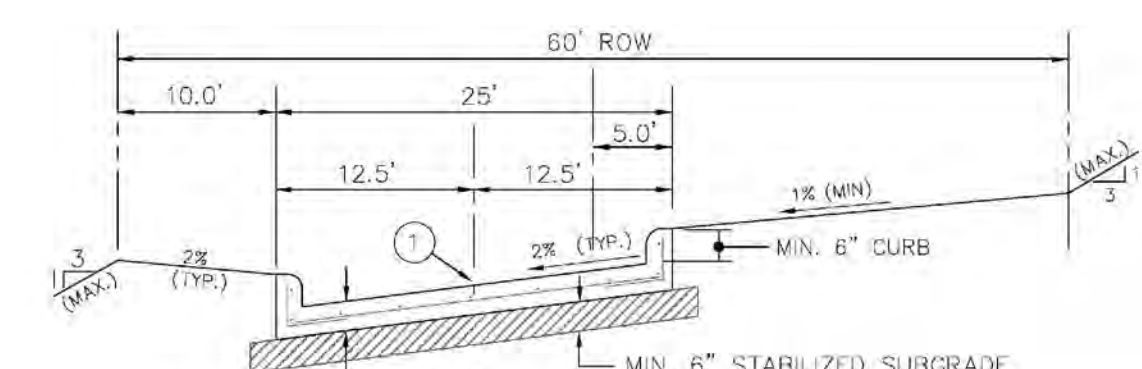


**REINFORCED CONCRETE SIDEWALK**  
N.T.S.



**DETAIL OF CONCRETE COLLAR FOR R.C.P. OR R.C.A.P. CONNECTIONS**

INSIDE JOINT SHALL BE CONCRETE MORTAR

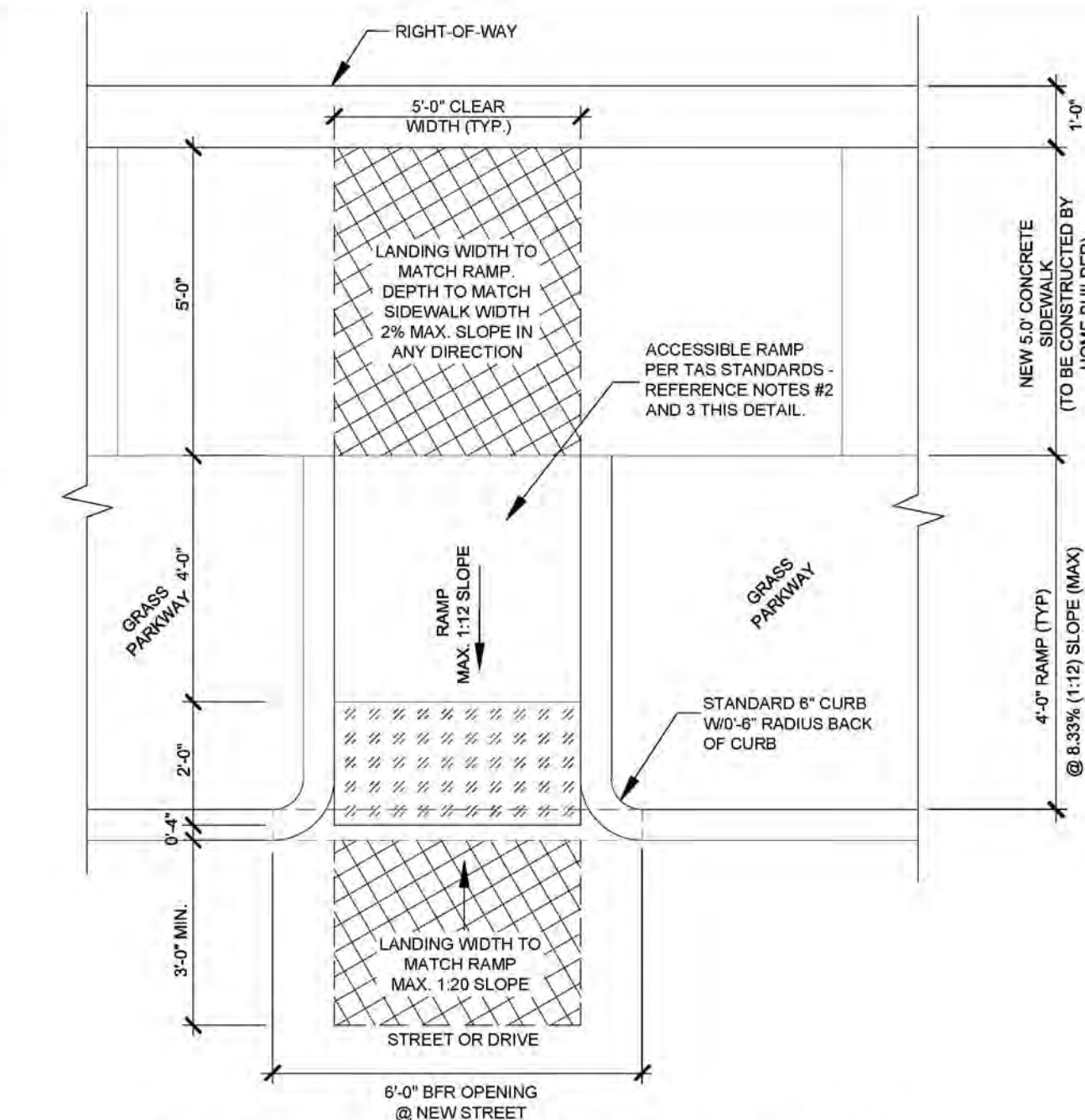


- NOTES:
1. ALL REINFORCEMENT SHALL BE #3 BARS ON 24" CENTERS BOTH WAYS, EXCEPT WHERE NOTED.
  2. PAVEMENT STRENGTH SHALL CONFORM TO CLASS "C" OR "PC" CONCRETE, OR AS SPECIFIED BY THE OWNER.

**ASTER DRIVE CROSS SECTION**  
N.T.S.

**GENERAL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER IMMEDIATELY IF OR WHEN ANY DISCREPANCIES ARE FOUND DURING ANY AND ALL CONSTRUCTION.
2. THE CONTRACTOR SHALL HAVE AN APPROVED SET OF CONSTRUCTION PLANS, AND A COPY OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (COG) STANDARD SPECIFICATIONS AND DRAININGS MANUAL ON SITE AT ALL TIMES.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING ITEMS AS SHOWN ON PLANS, NOT AS A SURVEYOR STAKES THE PLANS. IF THE SURVEYOR STAKES SOMETHING THAT APPEARS INCONSISTENT WITH THESE PLANS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL CONTRACTORS SHALL SUBMIT AS-BUILT PLANS TO THE ENGINEER WITHIN 14 CALENDAR DAYS AFTER THE CONSTRUCTION IS COMPLETE & ACCEPTED BY THE CITY OF WAXAHACHIE.
5. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SEQUENCING PLAN TO THE CITY OF WAXAHACHIE FOR APPROVAL PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN COMPLIANCE WITH THE LATEST EDITION OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (TMUTCD) AND THE "TRAFFIC CONTROL STANDARDS SHEETS" (TCSOS). THE ENGINEER SHALL APPROVE ANY VARIATION.
7. ALL WORK WILL BE PERFORMED DURING DAYLIGHT HOURS ONLY, UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF WAXAHACHIE. SINGLE LANE CLOSURES SHALL BE ALLOWED DURING THE DAY FROM 9:00 AM TO 2:30 PM, MONDAY THROUGH THURSDAY, AND FRIDAY 9:00 AM TO NOON. LANE CLOSURES WILL BE PERMITTED ONLY WITH APPROVAL OF THE CITY OF WAXAHACHIE CITY COUNCIL OR PUBLIC WORKS DIRECTOR.
8. ANY PROPOSED LANE CLOSURES OF FARLEY ST. MUST BE PROVIDED TO CITY OF WAXAHACHIE BY 100 PM ON THE BUSINESS DAY PRIOR TO THE PROPOSED CLOSURE. PROPOSED LANE CLOSURES OF FARLEY ST. MUST FIRST BE APPROVED BY THE CITY OF WAXAHACHIE CITY COUNCIL OR PUBLIC WORKS DIRECTOR. NO LANE CLOSURES CAN OCCUR WITHOUT PRIOR APPROVAL FROM THE CITY OF WAXAHACHIE CITY COUNCIL OR PUBLIC WORKS DIRECTOR.
9. ANY DAMAGE BY THE CONTRACTOR TO EXISTING FENCING, LANDSCAPING, PRIVATE DRIVES, ETC. WILL REPAIRED/REPLACED (TO LIKE CONDITION) BY THE CONTRACTOR AT HIS/HER EXPENSE.
10. NO EQUIPMENT/MATERIALS WILL BE LEFT WITHIN CITY RIGHT-OF-WAY.
11. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE.
12. IMPROVEMENTS NOT COVERED IN THE CITY OF WAXAHACHIE STANDARD CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AS ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, (LATEST REVISION).
13. CONTRACTOR SHALL NOTIFY THE CITY OF WAXAHACHIE AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE REQUIRED CONSTRUCTION STAKING NECESSARY TO COMPLETE THE CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
15. THE CONTRACTOR SHALL EMPLOY AN OWNER APPROVED ENGINEERING TESTING LABORATORY FOR ALL REQUIRED MATERIALS TESTING. CONTRACTOR SHALL PROVIDE COPIES OF ALL TESTING REPORTS TO THE CITY OF WAXAHACHIE.
16. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY PLANS AND REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS.



**STRAIGHT BARRIER FREE RAMP (BFR)**

**GENERAL NOTES:**

1. REFER TO PLANS FOR RAMP LOCATIONS.
2. PAVING CONTRACTOR SHALL PROVIDE THE 6'-0" BFR OPENING DURING CONSTRUCTION OF ROAD PAVEMENT.
3. HOME BUILDERS ARE RESPONSIBLE FOR CONSTRUCTING THE BFR AT LOCATIONS OF 6'-0" OPENING PROVIDED BY PAVING CONTRACTOR.
4. ALL DIMENSIONS FOR RAMP SHALL COMPLY WITH SECTIONS 405, 406 AND 705 OF THE TEXAS ACCESSIBILITY STANDARDS (MARCH 2012).
5. UNLESS SPECIFIED OTHERWISE, ALL RAMP TO BE CONSTRUCTED WITH 24" TRUNCATED DOME PANEL INSERT (X RAMP WIDTH) OVER CONCRETE BASE. COLOR TO BE CHARCOAL GREY. CONTRACTOR TO PROVIDE SAMPLE TO CITY INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION.
6. AREAS DENOTED AS "ACCESSIBLE ROUTE" SHALL BE REINFORCED CONCRETE AS DEFINED BY THE TEXAS ACCESSIBILITY STANDARDS (MARCH 2012).

**LEGEND:**  
BFR - BARRIER FREE RAMP  
BLDG - BUILDING  
B/L - BUILDING LINE  
CONC. - CONCRETE  
D.E. - DRAINAGE EASEMENT  
DOM - DOMESTIC  
EOP - EDGE OF PAVEMENT  
EXIST - EXISTING  
FLOW - FLOW LINE  
MH - MANHOLE  
P/L - PROPERTY LINE  
PROP - PROPOSED  
PVMIT - TOP OF PAVEMENT  
REINF. - REINFORCED  
RET WALL - RETAINING WALL  
SERV - SERVICE LINE  
SW - SIDEWALK  
TC - TOP OF CURB  
TYP - TYPICAL  
U/E - UTILITY EASEMENT  
U/E - UNDERGROUND ELECTRIC LINES  
W/L - WATER LINE

Alteration of a sealed document without proper notification to the responsible engineer is an offense under the Texas Engineering Practice Act.

PREPARED FOR  
Denton McKinney Square, LP  
11015 Royalshire Drive  
Dallas, Texas 75230  
Contact: Massey Shaw  
(214) 803-4939

PREPARED BY  
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P.O. BOX 185  
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972-921-4206 / fax 469-327-2527  
alan@atl-texas.com  
TEXAS REGISTERED ENGINEERING FIRM (E-9577)

**GENERAL NOTES**

**and DETAILS**

**BLUE BONNET TRAILS PH 1 & 2**

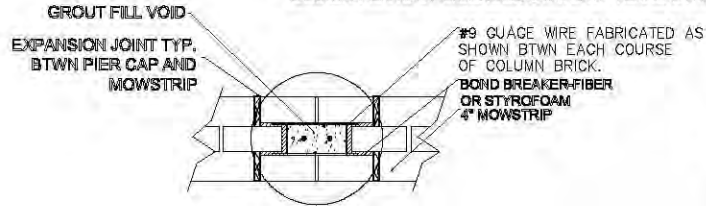
**ELLIS COUNTY, CITY OF WAXAHACHIE ETI, TEXAS**

DATE	8/18/17
REVISION	12/26/17
REV PER CITY COMMENTS	1
REV PER CITY COMMENTS	2
REV PER CITY COMMENTS	3
CURRENT REV.	12/26/2017
DATE	06/26/2017
JOB NUMBER	15-060
SHEET NO.	C.4



**STRUCTURAL DESIGN NOTE:**

1. CONTRACTOR TO HAVE A STRUCTURAL ENGINEER REVIEW PLANS AND PREPARE SHOP DRAWING CONSTRUCTION DOCUMENTS FOR FOUNDATION AND STEEL REQUIRED.
2. STRUCTURAL ENGINEER TO SEAL SHOP DRAWINGS AS CONSTRUCTION DOCUMENTS.
3. CONTRACTOR TO BUILD COMPLETE PROJECT USING SEALED STRUCTURAL DESIGN PLANS BY LICENSED STATE OF TEXAS STRUCTURAL ENGINEER.

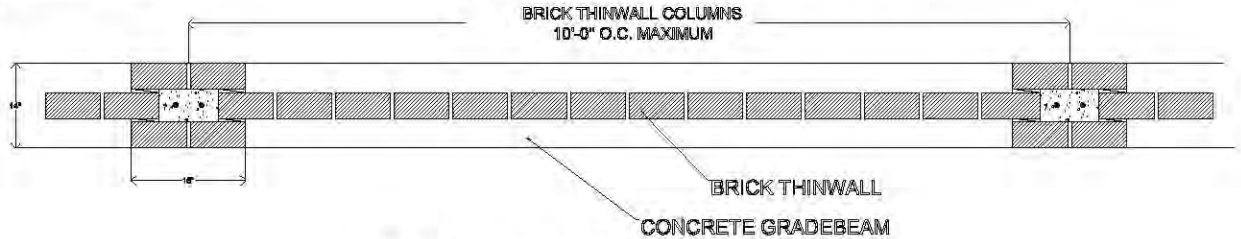


**PLAN VIEW OF COLUMN**

NTS

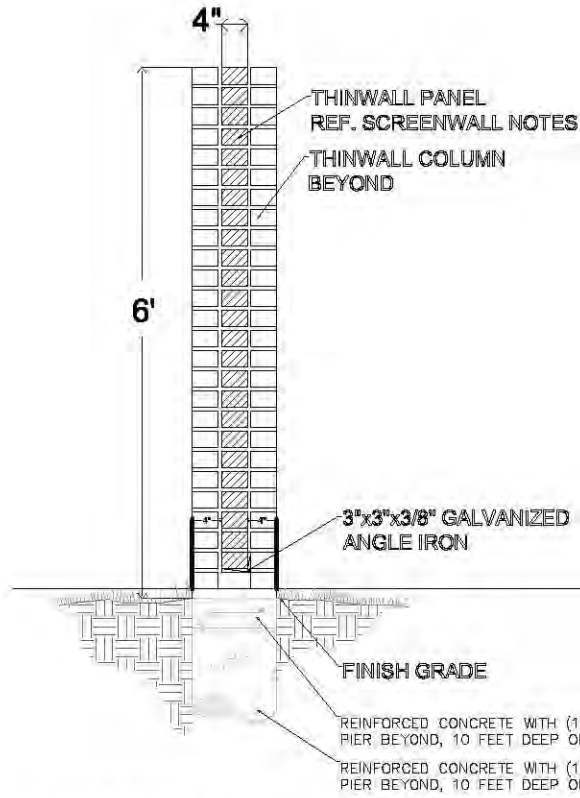
**ELECTRICAL COORDINATION**

1. CONTRACTOR TO COORDINATE AND ALLOW FOR ALL ELECTRICAL LIGHTING ON COLUMNS DESCRIBED BY OWNER.
2. CONTRACTOR TO SUPPLY CONDUIT REQUIRED WITHIN THE STONE VENEER, PER ELCETRICAL CODES.



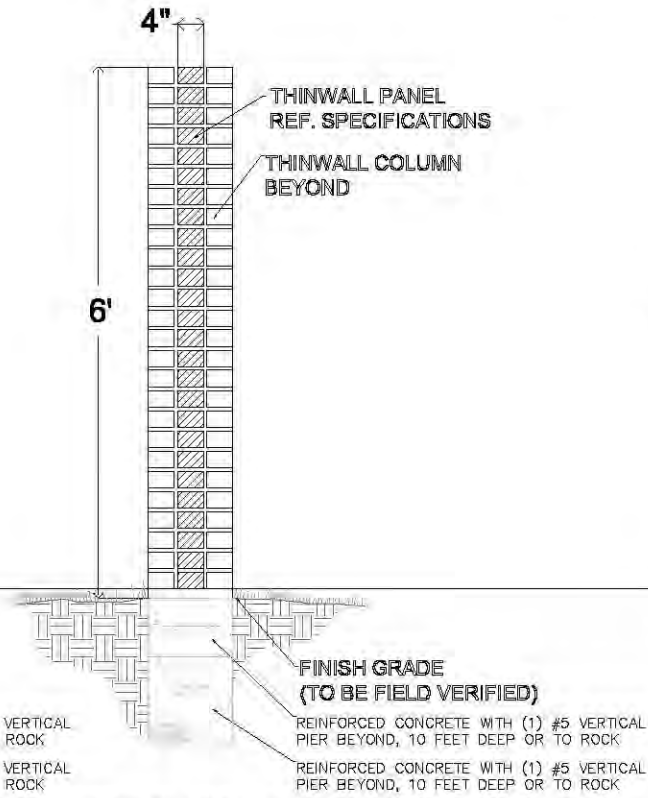
**PLAN VIEW OF WALL**

NTS



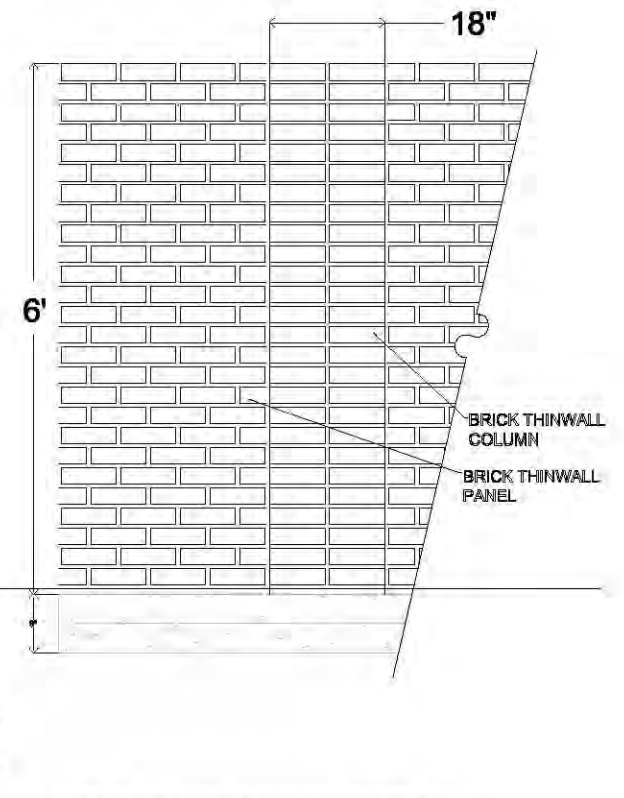
**SECTION WALL SPAN**

NTS



**SECTION COLUMN**

NTS



**ELEVATION MASONRY WALL**

NTS

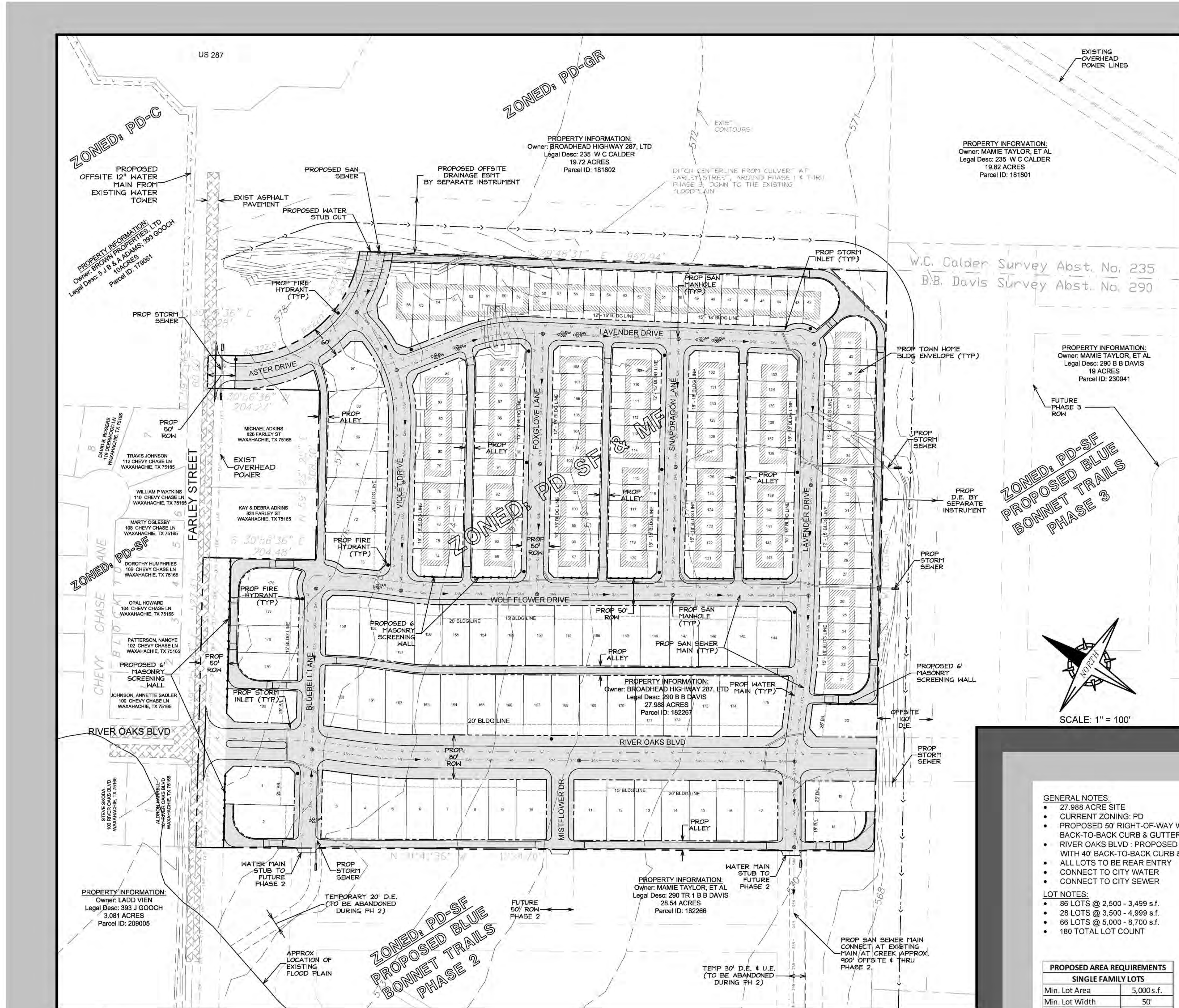
**SCREENING WALL DETAIL**



Display File: S:\PROJECTS\13-056 Blue Bonnet Trails Phase 3\BONET.dwg  
Printed Date: Jun 08, 2015 - 8:33am

BOUNDARY & LEGAL DESCRIPTION  
PROVIDED BY DAVIS & McDILL  
SURVEYORS - MARCH 2015. SEE  
ATTACHED BOUNDARY SURVEY.

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- GENERAL NOTES:
- 27.988 ACRE SITE
  - CURRENT ZONING: PD
  - PROPOSED 50' RIGHT-OF-WAY WITH 31' BACK-TO-BACK CURB & GUTTER STREETS
  - RIVER OAKS BLVD - PROPOSED 80' RIGHT-OF-WAY WITH 40' BACK-TO-BACK CURB & GUTTER.
  - ALL LOTS TO BE REAR ENTRY
  - CONNECT TO CITY WATER
  - CONNECT TO CITY SEWER
- LOT NOTES:
- 86 LOTS @ 2,500 - 3,499 s.f.
  - 28 LOTS @ 3,500 - 4,999 s.f.
  - 66 LOTS @ 5,000 - 8,700 s.f.
  - 180 TOTAL LOT COUNT

PROPOSED AREA REQUIREMENTS SINGLE FAMILY LOTS	
Min. Lot Area	5,000 s.f.
Min. Lot Width	50'
Min. Lot Depth	110'
Min. Front Bldg Line	15'
Min. Side Bldg Line (interior)	5'
Min. Side Bldg Line @ road intersection	15'
Min. Rear Bldg Line	20'
Min. Dwelling Size	1,700 s.f.

PROPOSED AREA REQUIREMENTS TOWN HOME LOTS	
Min. Lot Area	2,539 s.f.
Min. Lot Width	30'
Min. Lot Depth	90'
Min. Front Bldg Line	12'
Min. Side Bldg Line (interior)	0'
Min. Side Bldg Line @ road intersection	20'
Min. Rear Bldg Line	20'
Min. Dwelling Size	1,400 s.f.

Date: May 11, 2015  
Revised: June 8, 2015  
Scale: 1" = 100'  
Job Number: 15-060

#### DESCRIPTION:

27.988 Acres

BEING all that certain lot, tract, or parcel of land lying in the B.B. DAVIS SURVEY, Abstract No. 290, and in the W.C. CALDER SURVEY, Abstract No. 235, in the City of Waxahachie, and being a part of a called 47.455 acre tract of land described in Volume 1915, Page 2 1 10, of the Official Public Records, Ellis County, Texas, ( OPRECT ) and being more particularly described as follows:

BEGINNING at a PK nail set in Farley Street (a city street) and in the occupied northwest t line of the said Davis Survey for the northwest corner of this tract and same for the aforesaid 47.455 acre tract, said point also being the north corner of a called 30 acre tract of land described in Volume 353, Page 122, Deed Records, Ellis County, Texas, (DIRECT);

THENCE N 59°25'43" E, 527.41 feet, ( Deed - N 60° E, with the bearing basis for this description from CPS observation, Texas Co-Ordinate System, North Central Zone, and having a beginning co-ordinate of: Northing = 6851832.855, Easting = 2484659.067, and a Scale Factor of 0.99593727939 ) along the northeast line of this tract and same for the 47.455 acre tract, to a PK Nail set in Farley Street for a north corner of this tract, said point also being a north west corner of a 0.59 acre tract;

THENCE S 30°56'36" E, along a southeast line of this tract and a west line of said 0.59 acre tract, 204.46 feet to a 5/8" steel rod found for a southwest corner of said 0.59 acre tract;

THENCE N 59°23'25" E, at 128.56 feet pass a 1/2" steel rod found for the southeast corner of said 0.59 acre tract, said point also the south west corner of a called 0.691 acre tract as recorded in Volume 691, Page 349 DIRECT, in all 308.30 feet to a 1/2" steel rod set for the southeast corner of said 0.691 acre tract and being an interior corner of the aforesaid 47.455 acre tract;

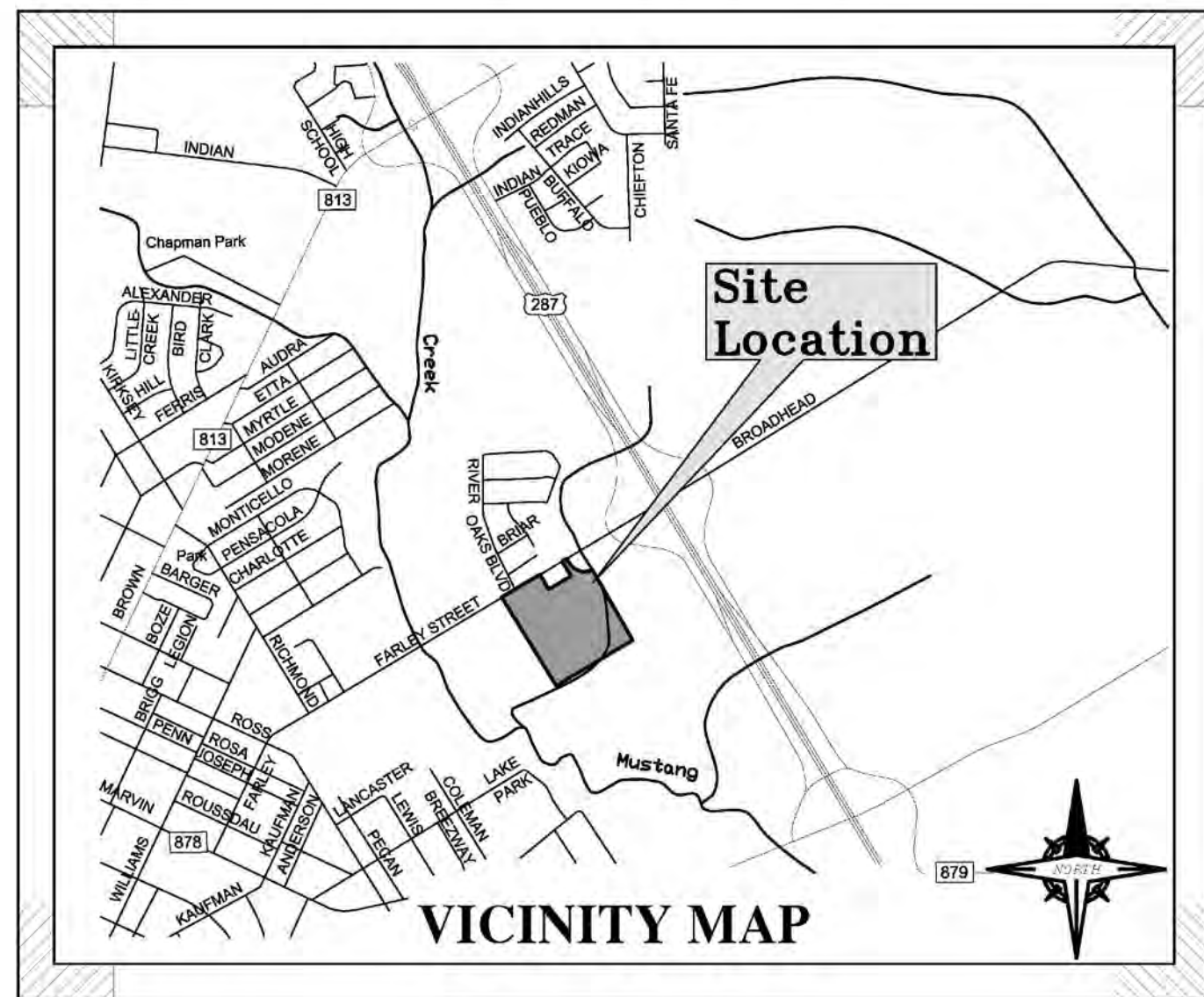
THENCE N 30°56'36" W, along a southeast line of this tract and the east line of said 0.691 acre tract, 204.27 feet to a PK Nail set in Farley Street for a north corner of the aforesaid 47.455 acre tract;

THENCE N 59°25'43" E, 60.00 feet along the centerline of Farley Street and the north line of the aforesaid 47.455 acre tract to a PK Nail set for corner;

THENCE into the aforesaid 47.455 acre tract as follows:  
S 30°56'36" E, 50.28 feet to a 1/2" steel rod set for corner at the beginning of a curve to the left;  
322.91 feet along said curve with a Radius = 220.00 feet and a Long Chord = S 72° 06'02" E, 294.74 feet to a 1/2" steel rod set for corner;  
and S 29° 48'31" E, 960.94 feet to a 1/2" steel rod found for the southeast corner of this tract, said point also being in the south line of the aforesaid 47.455 acre tract, said point also being in the north line of a called 62 acre tract, as recorded in Volume 413, Page 529 DIRECT;

THENCE S 59° 17'17" W, (Deed - S 60° W feet), along the southwest line of this tract and same for the aforesaid 47.455 acre tract, and along the north west line of said 62 acre tract, in all 1054.65 feet to a 1/2" steel rod found for the southwest corner of the aforesaid 47.455 acre tract and being the same for this tract, said point also being the southeast corner of said 30 acre tract;

THENCE N 31°41'36" W, (Deed - N 30° W ), 1234.70 feet along the west line of the 47.455 acre tract and the east line of said 30 acre tract, to the POINT OF BEGINNING and containing approximately 27.988 acres of land.



DRAFT

## PROJECT

BLUE BONNET TRAILS - PHASE 1  
SINGLE & MULTI-FAMILY SITE PLAN  
180 LOT - 27.988 ACRE TRACT  
City of Waxahachie - Ellis County, Texas

## PREPARED FOR

DENTON McKINNEY SQUARE, LP  
6023 WAGGONER  
DALLAS, TX 75230  
CONTACT: MASSEY SHAW  
masseyshaw@gmail.com

## PREPARED BY

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alan@aai-texas.com

ATLAS ASSOCIATES, INC. - TEXAS REGISTERED ENGINEERING FIRM (F-9577)



# Planning & Zoning Department

## Zoning Staff Report

**Case: PD-18-0059**



### MEETING DATE(S)

*Planning & Zoning Commission:* June 26, 2018

*City Council:* July 2, 2018

### CAPTION

**Public Hearing** on a request by Blain Vinson, Aspen Community Development, for a Zoning Change from a Single Family-3 zoning district to **Planned Development-SF-3, with Concept Plan**, located East of 865 Cantrell Street, being 6 JC ARMSTRONG 17.521 ACRES (Property ID 244351) - Owner: WALKER L GORDON ETAL (PD-18-0059).

### CASE INFORMATION

*Applicant:* Blain Vinson, Aspen Community Development

*Property Owner(s):* Walker L Gordon *et.al.*

*Site Acreage:* 17.521 acres

*Current Zoning:* Single Family-3

*Requested Zoning:* Planned Development-SF-3

### SUBJECT PROPERTY

*General Location:* East of 865 Cantrell Street

*Parcel ID Number(s):* 244351

*Existing Use:* Currently undeveloped

*Development History:* The site is unplatted.

Case No.	Direction from Site	Request	Result
ZA2016-40	East	PD-MF1	Approved, Ord. No. 2885

*Adjoining Zoning & Uses:*

Direction	Zoning	Current Use
North	SF3	Single family residence
East	SF3	Single family residence
South	SF3	Single family residence
West	MF1	Currently undeveloped



*Future Land Use Plan:*

Retail

*Comprehensive Plan:*

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

*Thoroughfare Plan:*

Entrance to the site is via Cantrell Street, a Major Thoroughfare B (110' ROW).



*Site Image:*

### **PLANNING ANALYSIS**

The applicant seeks zoning to establish a cottage-concept neighborhood of approximately eighty (80) to ninety (90) detached single-family residences on Cantrell Street, close to the Central Area (CA) zoning district.

The proposed clustered, cottage-style developments are new to the City, but have some experience in other regions in the country, namely the Pacific Northwest. Cottage homes, and specifically clustered cottage neighborhoods have been proposed as alternative single-family residences for households that are not looking for the traditional residential design or have less need for a larger footprint. They have also been proposed as a means to allow residents, specifically older residents, to age in place. In the City's 2016 Comprehensive Plan, the City recognized the need to move behind traditional single-family residences and garden-style apartments, to provide additional housing choices to current and prospective Waxahachie residents. The development of a cottage cluster neighborhood may serve to meet that need, though some concerns about this proposal do remain. Specifically, the City remains concerned about the closeness of the proposed neighborhood to the property line, the low percentage of masonry construction proposed, the lot coverage percentage, and the longevity of the cementitious fiberboard product proposed.

### **PD DEVELOPMENT STANDARDS**

For the development standard requirements in the base zoning district in comparison to the proposed development standards for this PD, please refer to the included exhibit.



### **PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 16 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 5/4/18.

### **STAFF CONCERNS**

1. The lot coverage and density are higher than what is typically permitted in SF residential zoning districts.
2. The minimum dwelling unit area, lot area, width, depth, and setbacks are smaller than what is typically permitted in SF residential zoning district.
3. The exterior construction will consist of seventy-five (75) percent non-masonry materials.
4. The parking is not on the same lot as the main structure and the enclosed garages provide for fewer vehicles than is required for SF residences.
5. The per-lot planting is less than what is typically required for SF residences.

### **APPLICANT RESPONSE TO CONCERNS**

1. Applicant has submitted revisions. The concerns above result from the resubmittal.

### **RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☐ Approval, per the following comments:
- ☒ Additional consideration may be required by the Planning and Zoning Commission and/or City Council.

### **ATTACHED EXHIBITS**

1. Concept plan packet
2. PON Responses – Summary Sheet
3. Letters of Support

### **APPLICANT REQUIREMENTS**

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

### **STAFF CONTACT INFORMATION**

*Prepared by:*  
Kelly Dent, MPA  
Planner  
[kdent@waxahachie.com](mailto:kdent@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



**ACTION SINCE INITIAL STAFF REPORT**

At the Planning & Zoning Commission meeting, held June 12, 2018, the Commission voted to continue zoning change PD-18-0059. On June 15, the applicant submitted a revised narrative to the Planning Department that further clarifies the intent of the proposal. Staff's recommendation remains that additional consideration may be required.





## The COTTAGES at CANTRELL

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PD # 18-0059  
June 15, 2018





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## Overview

Intrigued by one the **fastest growing development trends in the US**, we are pleased to introduce a new concept to Waxahachie that is a powerful economic and social engine, improving community health and resilience while promoting sustainability and nature.

This growing trend was recognized by the creation of CNU. Located in Washington, DC and founded in 1993, Congress for the New Urbanism is a movement united around the belief that our physical environment has a direct impact on our chances for happy, prosperous lives. New Urbanists believe that well-designed cities, towns, neighborhoods, and public places help create community: healthy places for people and businesses to thrive and prosper. <https://www.cnu.org>

Succeeding existing communities, the Cottages at Cantrell offer a quaint lifestyle and setting for homeowners looking for a unique experience. Buyers looking for private, independent lifestyles are overwhelmed by conventional housing opportunities to choose from. HOWEVER, for a rapidly growing segment of buyers ready for options, Cottages offer a fresh, safe and welcome option to Multi-family living.

**COTTAGE COMMUNITIES MEET THIS DEMAND!**

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Aspen is pleased to propose a unique, multi-generational community that incorporates a comprehensive selection of custom “Cottage” style homes designed specifically for a “living large” feeling on a small footprint.

Cottage neighborhoods are planned communities that consist of a grouping of smaller residences, around a common garden, designed to promote a close knit sense of community and cooperation with an increased level of contact. Considerations involved in planning the communities neighborhoods include segregating parking and roadways, the use of shared communal areas that promote social activities, smaller homes built in close proximity to one another and walking trails meandering throughout the development.

Simply put, **this is a vision very different from the traditional neighborhood** of most homes being modeled. Instead, we envision an intimate lifestyle that invites each homeowner into garden courtyards, common areas, and nature. In an often-forgotten approach to living, and while recognizing that this lifestyle is not for everyone, the movement towards smaller homes and the cottage philosophy provides each homeowner a spacious private retreat, as well as opportunities to interact with neighbors, creating a sense of togetherness, safety and responsibility.

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## Homes

Designed and built in clusters of 7-8 (average), homes will range in size from 965 SF to 1,725 SF. Housing breakdown will be as follows:

No one size to exceed 50% of total homes built in development.

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## FLOOR PLANS



965 SF





1175 SF

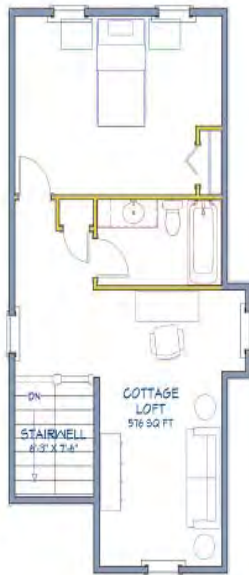


1253 SF





## FLOOR PLANS CONTINUED



1701 SF



### Conceptual Garage

Detached garages, while close in proximity, are purposely designed as a separate entity for maximum beautification of individual living spaces.



# STANDARD FEATURES



SOLID SURFACE COUNTERTOPS



SOLID CORE DOORS





HARDWOOD FLOORS



CASED WINDOWS





# AMENITIES

A Home Owners Association (HOA) shall be required to maintain the proposed landscaping and roadways within this development as well as all open spaces, walking trails, dog park, and gym.



DOG PARK

An entry ICON located on a decorative (brick, pavers, etc.) surface featuring adjacent greenspace will be in a roundabout as shown in the Master Site Plan. Icon (Fountain, Sculpture) to be determined.



Adjacent property lines will feature enhanced landscape buffers to provide a natural screen between each residential cluster. In all common or water feature areas, drought tolerant, native plant materials suitable to this region and soil conditions will be used to enhance our goal of reducing water usage in promoting and maintaining a carefully planned environment.



Landscaping in all public areas and in the individual cottage pods shall be irrigated and operated by an automatic controller. Systems to be maintained by the Home Owners Association.

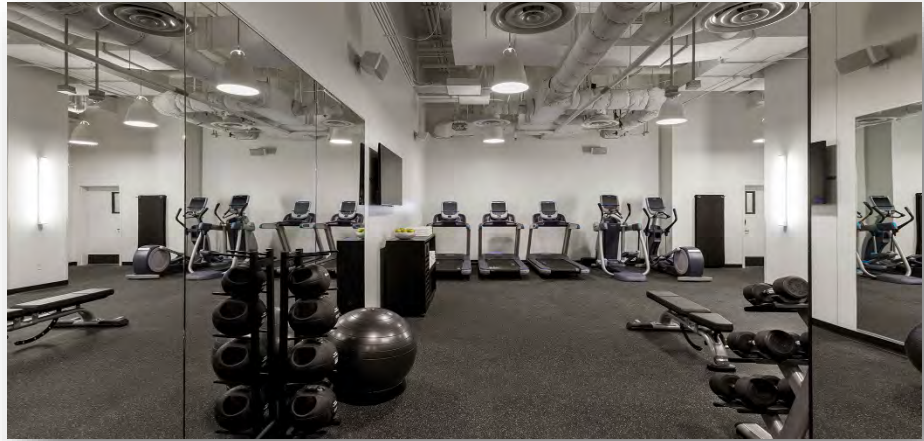
All new home construction shall be subject to review and approval by a designated architectural review committee- empaneled to ensure adherence to and to uphold adopted standards in order to maintain the architectural continuity of the community by promoting similar massing of structures and similar exterior finishes that include a 75-25 percent ratio of architectural-grade siding to



masonry veneer. Exterior colors shall be chosen from an approved palette of field and trim colors so that no two adjacent structures will have the same combination of these colors. Roofing shall be composition asphalt shingles in an approved palette of variations that are compliant with the relevant ordinances of the City of Waxahachie.

## GYM

Homeowners will have 24-hour access to a fully equipped, air-conditioned workout facility located onsite (approx. 2,000 SF). This gym will feature the latest workout equipment and flooring conducive to any type of class being taught.



## HIKE/BIKE TRAIL

Public open spaces shall be enhanced with 6' wide decomposed granite hike and bike trails meandering the development. Utilizing decomposed granite will allow rainwater to naturally drain into the path and surroundings further abiding by LID best management practices.



Each cluster of homes shares a common "Carriage House" (Exhibit A) for respective homeowners. Carriage houses (650 – 750 SF) are designed with outdoor patios, open living areas, restrooms and full-size kitchens available to each pod for special planned activities or communal daily gatherings. Thereby, homeowners enjoy a spacious private retreat, as well as opportunities to interact with neighbors, **creating a sense of togetherness, safety and responsibility.**

## NOTES:

- Paid tax certificates and legal descriptions of said property will be provided upon closing.
- FLOOD PLAIN - FEMA and USGS Maps have been studied and applied in placement of trails and structures.

**BUILDING PLACES PEOPLE LOVE**



# LOCATION

Ideally located, this site provides views of the Waxahachie Courthouse, natural waterways, mature trees and rolling topography that lends itself to nature. Coupled with easy access to walking and biking distance to downtown Waxahachie, seasonal festivities, the new Waxahachie Amphitheatre as well as many other at home amenities, its vicinity to HW I-35 also provides easy access to big city events and professional obligations via a major thoroughfare. Not to be overlooked, this location offers an immediate option for parents needing homes near Daymark Living.



20 Minutes



10 Minutes



8 Minutes



2 Minutes



COTTAGES  
at CANTRELL

5 Minutes



10 Minutes



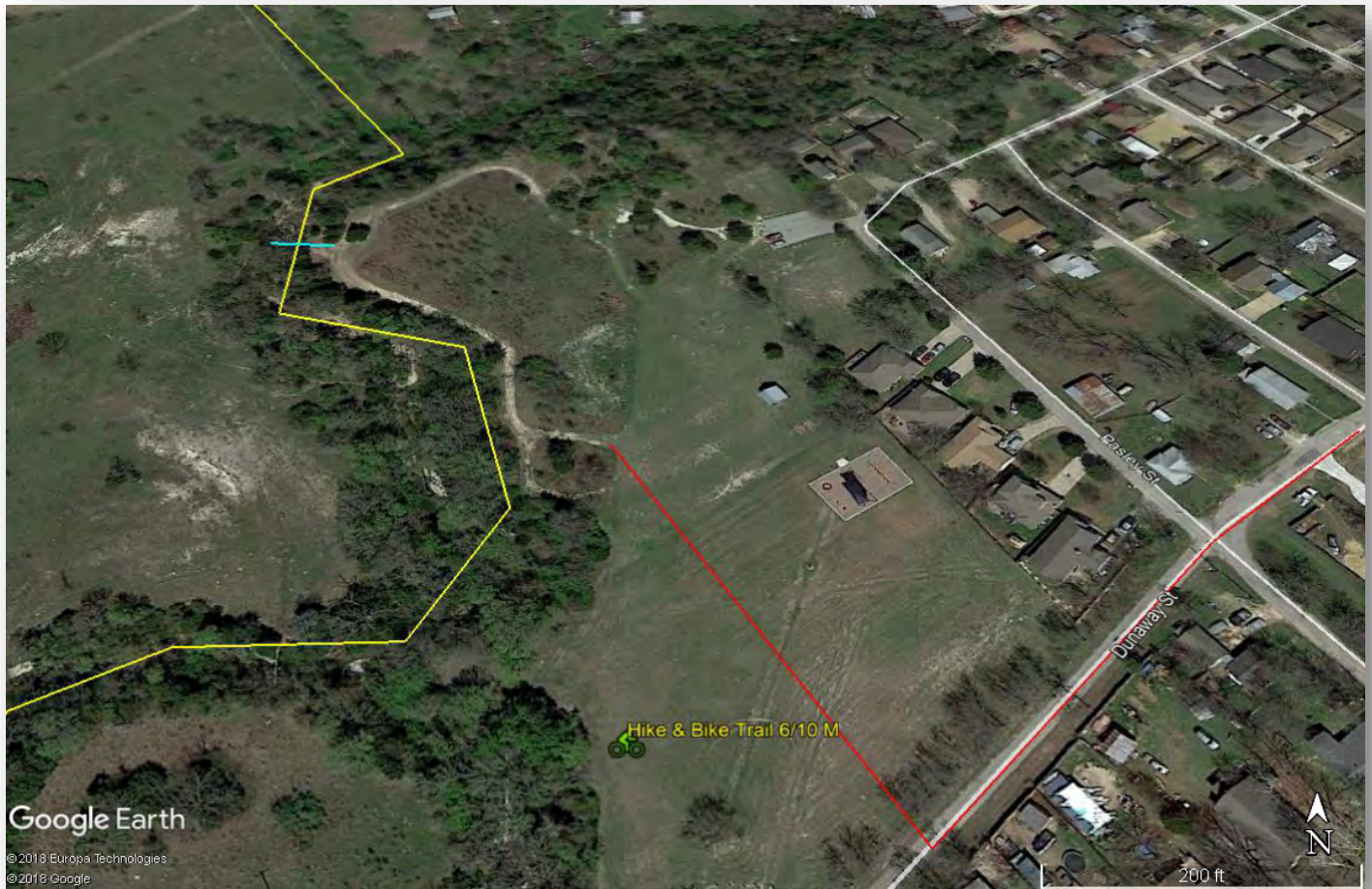
5 Minutes



BULLARD PARK



# BULLARD PARK



By working closely in conjunction with John Smith of the Parks & Recreation Department, we propose building a pedestrian bridge (blue line) from the Cottages of Cantrell that cross the creek leading into Bullard Park. A Park with great potential, this development could help revitalize an area that is currently underutilized, bringing back the enjoyment of a City Park that is to be appreciated daily. With access into Bullard Park and using Dunaway St.(red line), Hikers and Bikers have another alternative to Cantrell St. being only 6/10ths of a mile from entering the existing Hike and Bike trail.



We propose all funds due be dedicated to Bullard Park to add amenities that further define existing and the addition of new trails, field play areas, plantings and trees throughout, building birdhouses and safe havens in natural areas for nature lovers.





## COMMON AREA VIEW (Pod "I") towards ICON

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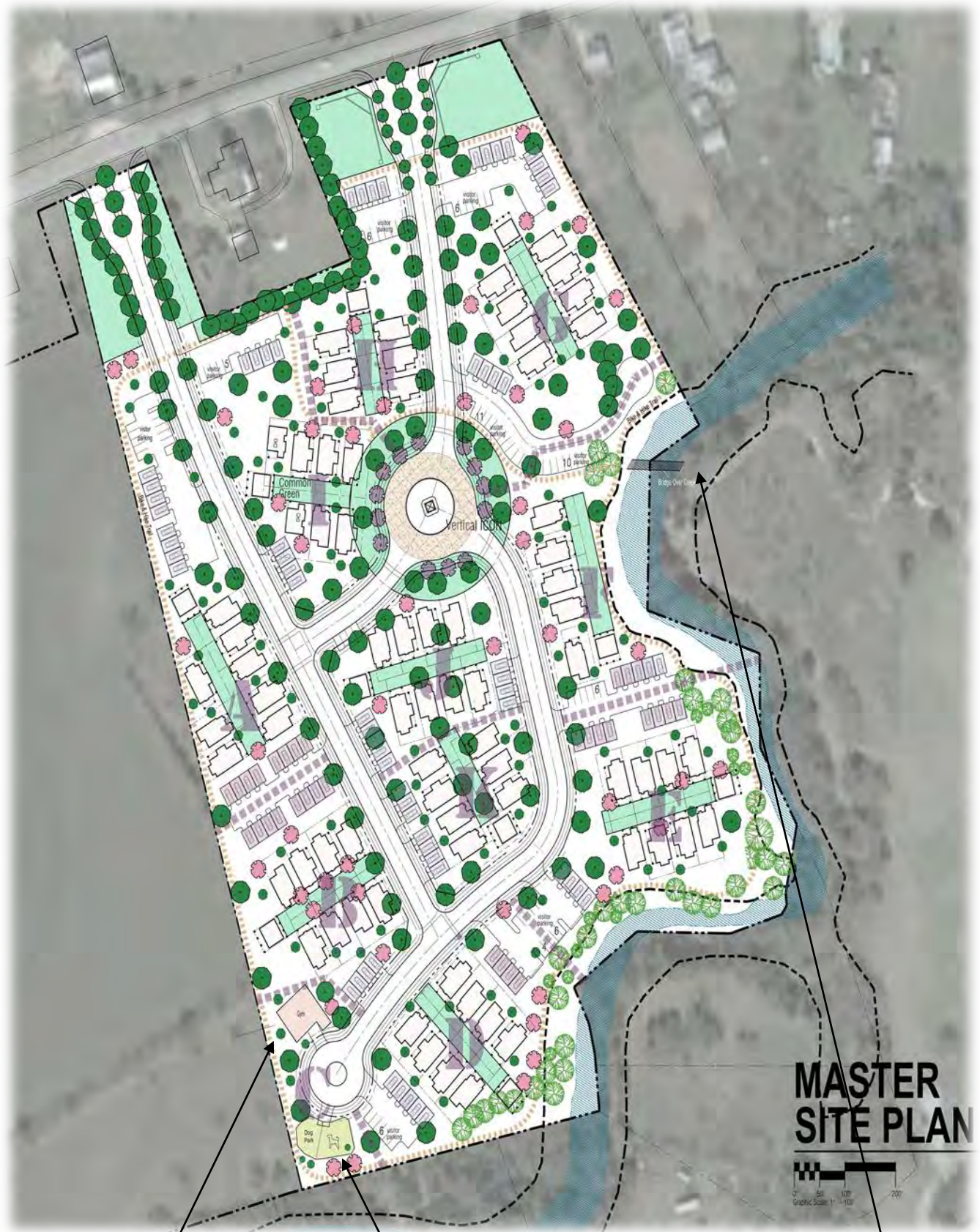


## BIRDSEYE VIEW of Pod "I"





# MASTER SITE PLAN



Gym

Dog Park

**MASTER  
SITE PLAN**

0 50 100 200  
Graphic Scale: 1" = 100'

Park Bridge





## ENERGY EFFICIENT DESIGN PRINCIPLES

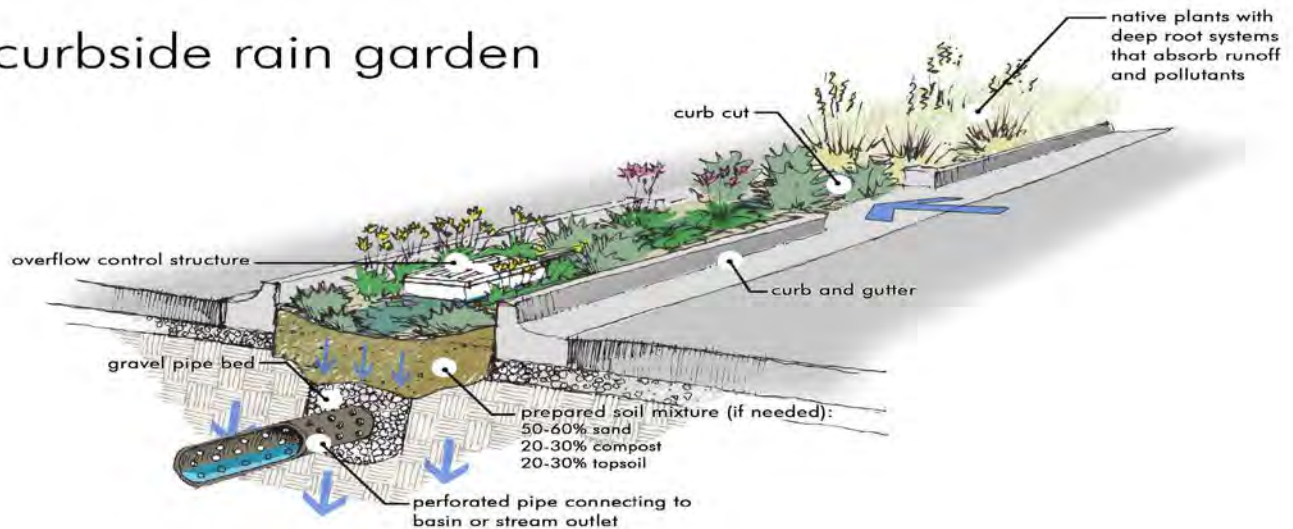
This community shall be established as a "Sustainable Community". Aspen will choose members of the building community that are sensitive to the integration of environmental relationships. Home design shall be energy efficient in material and site planning suitable for Energy Star Certification. Homes shall incorporate Energy Star rated materials, Systems and Appliances.



## LOW IMPACT DEVELOPMENT

In addition to the above building standards, Aspen proposes to use techniques used in Low Impact Developments (LID). A concept that began in 1990, LID's focus on conservation and nature by using new land planning and an engineered pre-development approach to manage storm-water runoff as part of a green infrastructure. LID emphasizes conservation and use of on-site natural features to protect water quality. This approach utilizes small-scale hydrologic controls to replicate storing, evaporating, and detaining water runoff close to its source. Exhibit "B".

### curbside rain garden





## Base/Proposed Standards

Requirement	Base Zoning Requirement	Proposed Development Standard
Minimum Lot Area	10,000 SF -(57 Homes)	2,800 SF (73 Homes) 22% increase
Minimum Lot Width	Eighty - 80 Feet	Thirty-Five - 35 Feet
Minimum Lot Depth	One Hundred - 100 Feet	Eighty - 80 Feet
Front Yard Set Back	Thirty - 30 Feet	Fifteen - 15 Feet
Side Yard Set back	Ten - 10 Feet	Zero - A side / 5 Feet - B side
Maximum Lot Coverage	35%	53% (Average)
Minimum Dwelling Unit Area	1,200 SF	965 SF
Dwelling Units/Acre	4	Not to exceed 8/Acre
Parking	2 Enclosed	*1 Enclosed - Not attached
Masonry Percentage	75%	25% (Stone/Brick Courses/Columns) 75% LP Smart Side (50 Year Warranty)
Minimum Ornamental plants	45 Combined gallons	**12.6 Combined gallons (28%)
Greenspace/Cluster	0	***60% - 39,700SF/65,340SF/Avg Cluster
Walking Trails	0	4,179 LF
*15% of homes will have Double Garages **Not including Common Gardens in between Homes ***Avg. Cluster size = 1.5 acres /65,340SF (Avg. Structures/Cluster -22,400 SF Lots, 3,240 SF Garages)		

SF - 3 base = 57 Homes / Proposed = 73 Cottages

60% GREENSPACE

### TRAFFIC ANALYSIS

Cantrell St. est. 2018 Daily Traffic Counts/TX DOT = 4,025 VPD

#### Single Family 3

57 Homes @ 1.5 vehicles avg/unit = 85.5

85.5 vehicles coming and going daily = 171 added vehicles

4.25% increase in daily traffic

#### Cottages

73 Homes @ 1.5\* vehicles avg/unit = 113

113 vehicles coming and going daily = 226 added vehicles

5.6% increase in daily traffic

\* @ 1 vehicle = 2.8% increase



## "EXHIBIT A"

### Conceptual Carriage House

Carriage Homes are communal spaces shared by homeowners within a pod of homes



Amenities include: Restroom ~ Open Living ~ Full Size Kitchens and Front Porches

Interior View of Carriage House





"EXHIBIT B"

## Low Impact Development Examples

Homes clustered to allow for native vegetation retention

Permeable parking provided for guest parking - reduced roadway does not allow for on street parking

Shared driveways to reduce impervious surfaces

Bioretention facility for roadway runoff



Pervious trail through shared open space

Permeable sidewalks and driveways

Reduced roadway width to reduce impervious surfaces

Rain gardens for roof and driveway stormwater runoff

Dispersion into retained native vegetation



## **CASE PD-18-0059**

***SUPPORT 1***

***OPPOSE 0***

Request by Blain Vinson, Aspen Community Development, for a Zoning Change from a Single Family-3 zoning district to **Planned Development-SF-3, with Concept Plan**, located East of 865 Cantrell Street, being 6 JC ARMSTRONG 17.521 ACRES (Property ID 244351) - Owner: WALKER L GORDON ETAL (PD-18-0059)

### **SUPPORT**

1. Don Walker, 2215 FM 1446, Waxahachie, Texas 75167

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## Wright, Destiny

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**From:** Jenny Griffith <jenny.griffith@efexchangeyear.org>  
**Sent:** Tuesday, May 29, 2018 9:12 PM  
**To:** jaime-castro76@hotmail.com  
**Subject:** PD-18-0059 Cottages at Cantrell - Letter of Support

To whom it may concern at the City of Waxahachie.

I am writing this letter in support of PD-18-0059 Cottages at Cantrell. As a resident of Waxahachie, I would like to see more growth. This project would help to improve not only the area where it is proposed to be built, but also give Waxahachie the opportunity to have more diverse housing opportunities. I believe that this community would be a welcome addition to our city.

Thank you,

*Jenny Griffith*  
469-530-7134  
208 Hedgewood Drive  
Waxahachie, TX 75165

International Exchange Coordinator  
**EF High School Exchange Year**

[www.efexchangeyear.org](http://www.efexchangeyear.org)

*~Finding families with open hearts to host amazing students from around the world.~*



922 Red Oak Creek Drive

Ovilla, TX 75154

June 14, 2014

RE: PD-18-0059 Cottages at Cantrell

Dear City of Waxahachie,

As a local Ellis County real estate salesperson as well as owner of a local Waxahachie health and wellness business, I can see a need for a pocket community with smaller housing near Downtown Waxahachie. Growth is exponential at this time, with a record 120 plus families moving to Waxahachie monthly, as recently quoted by our local Chamber President. People love Waxahachie because of the sense of community, and what greater way to grow that feeling than with a community of homes where neighbors are close enough to get to know each other as well as could walk to our Downtown areas. I know from experience in my real estate career there are certainly individuals and families who would like a smaller home than what is currently being constructed in our area without having to resort to renting an apartment. People are also downsizing their homes and expenses to be able to have more experiences with their families and friends. I would encourage you to consider this concept of cottage communities. Thank you.

Sincerely,

Windy Zabochnik



June 14, 2018

To Whom It May Concern,

RE: Letter of Support for Cottages on Cantrell PD-18-0059

I am writing a letter to show our support of the Cottages on Cantrell. It will be a great asset to our community because they will highlight what makes Waxahachie special: green space, walking trails, close proximity to Downtown and a strong sense of community. The location for this pocket community is ideal because people can walk or bike to local businesses and special events on the square.

Regards,

Tara and Jeffrey Yarbrough  
1745 FM 876  
Waxahachie, TX 75167



## Jaime Castro

---

**From:** Theresa <tbruckstaylor@yahoo.com>  
**Sent:** Friday, June 15, 2018 8:51 AM  
**To:** Jaime Castro  
**Subject:** Support

We would like to offer our support for cottages being built by Aspen Community Development. We feel this would rehabilitate an underutilized area and be a perfect complement to the walking trails, amphitheater and Downtown businesses.

Mike and Theresa Taylor  
[302 Lakeshore Drive](#)  
[Waxahachie, TX 75165](#)



June 19, 2018

To Whom it May Concern,

Re: Letter of Support for The Cottages of Cantrell PD-18-0059

I recently learned about the plans to revitalize the areas near Cantrell by adding a small community of new cottages and updates to Bullard Park. As a citizen of Waxahachie and a local realtor, I am excited about the prospect of adding such a unique community. A quaint little housing development like this would help Waxahachie compete for home buyers that might otherwise look to similar areas near downtown Fort Worth or downtown Dallas.

Thank you,

DeeAnne Row  
102 Link Crest Ln.



## Wright, Destiny

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**From:** Living Right Designs <info@livingrightdesigns.com>  
**Sent:** Wednesday, June 20, 2018 5:46 PM  
**To:** Jaime Castro  
**Cc:** Lacey Rodgers  
**Subject:** Fwd: Cottages at Cantrell

----- Forwarded message -----

From: [cbennett@elliscountyspca.org](mailto:cbennett@elliscountyspca.org) <[cbennett@elliscountyspca.org](mailto:cbennett@elliscountyspca.org)>  
Date: Wed, Jun 20, 2018 at 3:01 PM  
Subject: Cottages at Cantrell  
To: [info@livingrightdesigns.com](mailto:info@livingrightdesigns.com)

To whom it may concern,

My name is Chris Bennett and I would like to express my support for the Cottages at Cantrell. As a lifelong resident of Waxahachie, I can absolutely see a need for a community of smaller homes. As a matter of fact, I have spoken with Ellis County realtors who have actually conducted a survey that states that most people would rather live in a cottage-style house when transitioning from a larger house to a retirement facility. Waxahachie has always been community driven, so it makes perfect sense to build a cottage development such as the Cottages at Cantrell.

Chris Bennett  
Executive Director  
O: 972-935-0756  
C: 214-724-9018

--

My Best,

Lacey Rodgers  
Owner & Lead Designer  
Living Right Designs  
214-980-9880



**ACCREDITED  
BUSINESS**

**BBB Rating: A**  
As of 09/27/17  
[Click for Review](#)

[View LRD's Profile](#)





## Memorandum

To: Planning and Zoning Commission  
From: Shon Brooks, Director of Planning  
Thru: Tommy Ludwig, Executive Director of Development Services  
Date: June 21, 2018  
Re: RP-18-0095

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The applicant has asked that this case be withdrawn.



## Memorandum

To: Planning and Zoning Commission

From: Shon Brooks, Director of Planning

Thru: Michael Scott, City Manager

Date: June 20, 2018

Re: TA-18-0089

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The text of the proposed update to the City of Waxahachie's **Subdivision Ordinance**, regarding Section 2 – Procedures, shall be provided at the June 26, 2018, meeting of the Planning and Zoning Commission.