

NOTICE OF PLANNING & ZONING COMMISSION BRIEFING SESSION
JULY 24, 2018
CITY COUNCIL CONFERENCE ROOM
401 S. ROGERS
WAXAHACHIE TEXAS
6:15 P.M.

Agenda

Commission Members: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
Erik Barnard
David Hudgins

1. Call to Order
2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting
3. Adjourn

This meeting location is wheelchair-accessible. Parking for mobility impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4005 or (TDD) 1-800-RELAY TX

<p style="text-align: center;"><i>Notice of Potential Quorum</i></p> <p><i>One or more members of the Waxahachie City Council may be present at this meeting. No action will be taken by the City Council at this meeting.</i></p>
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A G E N D A

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, July 24, 2018 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman
 Melissa Ballard, Vice Chairman
 Betty Square Coleman
 Bonney Ramsey
 Jim Phillips
 Erik Barnard
 David Hudgins

1. Call to Order
2. Invocation
3. Consent Agenda

All matters listed under Item 3, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a. Minutes of the regular Planning & Zoning Commission meeting of July 10, 2018
- b. Minutes of the Planning and Zoning Commission briefing of July 10, 2018

4. ***Consider*** request by Ken Rogers, Herbert Beasley Land Surveyors LP for a **Replat** of Lot 4R Waxahachie Civic Center to create Lots 4R-1, 4R-2, and 4R-3 Waxahachie Civic Center, 14.172 acres (Property ID 227433) – Owner: LOOKOUT PARTNERS LP (RP-18-0109)
5. ***Consider*** request by Jeremy Glenn, Waxahachie ISD, for a **Preliminary Plat** of New Waxahachie High School for 1 lot, being 94.184 acres situated in the J. Boyd Survey, Abstract 108, W.J. Boyce Survey, Abstract 109, E. Horton Survey, Abstract 466, and W.C. Tunnell Survey, Abstract 1008 (Property ID 180503) Owner: WAXAHACHIE ISD (PP-18-0113)
6. ***Consider*** request by Jeremy Glenn, Waxahachie ISD, for a **Final Plat** of New Waxahachie High School for 1 lot, being 94.184 acres situated in the J. Boyd Survey, Abstract 108, W.J. Boyce Survey, Abstract 109, E. Horton Survey, Abstract 466, and W.C. Tunnell Survey, Abstract 1008 (Property ID 180503) Owner: WAXAHACHIE ISD (FP-18-0112)

7. ***Continue Public Hearing*** on a request by Verlin Taylor, VKT Associates, for a Zoning Change from a Commercial zoning district to **Planned Development-Commercial, with Concept Plan**, located at 1501 Dr. Martin Luther King Jr. Blvd., being 272 S M DURRETT 0.3426 ACRES (Property ID 182074) - Owner: VKT ASSOCIATES LLC (PD-18-0079)
8. ***Consider*** recommendation of Zoning Change No. PD-18-0079
9. ***Public Hearing*** on a request by Chad Hill for a Specific Use Permit (SUP) for **Accessory Building (Residential), Greater than or Equal to 700 S.F.** use within a Planned Development-23-Single Family-1 zoning district, located at 141 Willowcrest, LOT 11A LAKEVIEW-REV 1.23 AC (Property ID 174724) - Owner: HILL CHAD W & CASI L (SU-18-0114)
10. ***Consider*** recommendation of Zoning Change No. SU-18-0114
11. Public Comments
12. Adjourn

The Planning & Zoning Commission reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

Notice of Potential Quorum

One or more members of the Waxahachie City Council may be present at this meeting. No action will be taken by the City Council at this meeting.

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, July 10, 2018 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
Erik Barnard

Members Absent: Melissa Ballard, Vice Chairman
David Hudgins

Others Present: Shon Brooks, Director of Planning
Kelly Dent, Planner
James Gaertner, City Engineer
Tommy Ludwig, Executive Director of Community Development
Lori Cartwright, City Secretary
Mary Lou Shipley, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of June 26, 2018
- b. Minutes of the Planning and Zoning Commission briefing of June 26, 2018

Action:

Mrs. Bonney Ramsey moved to approve item a. and b. on the Consent Agenda. Ms. Betty Square Coleman seconded, All Ayes.

4. **Consider request by Hannah Kirkman for a Replat of Lots 58, 59 and part of 60, Ferris Second Addition - Revised, to create Lots 58A and 59A, Ferris Second Addition - Revised, 0.657 acres (Property ID 173378 and 173369) – Owner: KYLE & HANNAH KIRKMAN and THERESA A GASE (RP-18-0099)**

Ms. Kelly Dent, Planner, reported the Replat pertains to two lots with two separate owners. She explained staff discovered a lot of the properties along Dunn Street had been divided by meets and bounds which means they have been sold off by deed rather than platting. It was discovered when one of the property owners came in and attempted to expand their residence and it was discovered that their potential expansion crossed their lot line. Ms. Dent stated the Replat will clean up both lots allowing both owners to expand their residences as desired. She reported staff received two (2) property owner notifications in support of RP-18-0099. Staff recommended approval as presented.

Action:

Mr. Jim Phillips moved to approve a request by Hannah Kirkman for a Replat of Lots 58, 59 and part of 60, Ferris Second Addition - Revised, to create Lots 58A and 59A, Ferris Second Addition - Revised, 0.657 acres (Property ID 173378 and 173369) – Owner: KYLE & HANNAH KIRKMAN and THERESA A GASE (RP-18-0099) subject to staff comments. Ms. Betty Square Coleman seconded, All Ayes.

- 5. Consider request by Bryan Connally, CBG Surveying, LLC, for a Preliminary Plat of Rodriguez-King Addition for 2 lots, being 2.00 acres situated in the Silas M. Durrett Survey, Abstract 272 (Property ID 182038) – Owner: CFLP INVESTMENTS LLC (PP-18-0102)**

Ms. Dent reported the property is located along Martin Luther King Boulevard noting the development fronts onto a TxDOT right-of-way. She explained to build a residence on Lot 1, a driveway permit from TxDOT is needed and because of the spacing, a variance from TxDOT is needed as well. Ms. Dent stated this is not an issue at platting, but staff wants to ensure everyone is aware of this.

Action:

Mr. Jim Phillips moved to approve a request by Bryan Connally, CBG Surveying, LLC, for a Preliminary Plat of Rodriguez-King Addition for 2 lots, being 2.00 acres situated in the Silas M. Durrett Survey, Abstract 272 (Property ID 182038) – Owner: CFLP INVESTMENTS LLC (PP-18-0102) subject to staff comments. Ms. Betty Square Coleman seconded, All Ayes.

- 6. Public Hearing on a request by John Blacker, Hart, Gaugler, & Associates for a Specific Use Permit (SUP) for Private School use within a Light Industrial-1 zoning district, located at 3209 N Highway 77 and 150 W. Butcher Road, being LOT 1 BLK A LIFE SCHOOL WAXAHACHIE ADDN & LOT 2 BLK A BOYKIN BUSINESS PARK PH 2 43.554 AC and LOT 1R BLK A BOYKIN BUSINESS PARK PH 2 2.311 AC (Property ID 191082 and 233735) - Owner: LIFESCHOOL OF DALLAS (SU-18-0104)**

Chairman Keeler stated the application submitted was for a private school and staff was informed today the school is a charter school therefore the stipulations of a specific use permit is not required.

Mr. Shon Brooks, Director of Planning, asked the representative if he would formally withdraw the application for record.

Mr. Shawn Thomas, Lifeschool of Dallas Director of Operations, 606 Hanover Drive, Waxahachie, requested to withdraw application SU-18-0104 because it is not necessary for this location.

- 7. Consider recommendation of Zoning Change No. SU-18-0104**

Action:

No action taken.

8. **Consider request by John Blacker, Hart, Gaugler, & Associates for a Replat of Lot 1, Block A, Lifeschool Waxahachie Addition and Lot 1R, Block A, Boykin Business Park Phase 2, to create Lot 1R, Block A, Life School Waxahachie Addition, 45.142 acres (Property ID 191082 and 233735) – Owner: LIFESCHOOL OF DALLAS (RP-18-0103)**

Ms. Dent reported the final plat for The Life School was approved on March 2, 2015 and the replat for Boykin Business Park was approved on March 2, 2015. She reported the applicant's submittals have addressed all platting concerns however fees remain outstanding therefore the plat cannot be filed until all fees are cleared. Staff recommended approval per comments.

Action:

Mrs. Bonney Ramsey moved to approve a request by John Blacker, Hart, Gaugler, & Associates for a Replat of Lot 1, Block A, Lifeschool Waxahachie Addition and Lot 1R, Block A, Boykin Business Park Phase 2, to create Lot 1R, Block A, Life School Waxahachie Addition, 45.142 acres (Property ID 191082 and 233735) – Owner: LIFESCHOOL OF DALLAS (RP-18-0103) subject to staff comments. Mr. Erik Barnard seconded, All Ayes.

9. **Continue Public Hearing on a request by Josh Spoerl, Arrive Architecture Group, for a Zoning Change from a General Retail zoning district to General Retail and Planned Development-Mixed Use Residential, with Concept Plan, located at NE corner of US 287 Bypass Service Road at FM 813, being 911 R RUSSELL 7.121 ACRES and 911 R RUSSELL 10.6200 ACRES (Property ID 227073 and 138302) - Owner: LYONS AMERICAN SECURITIES INC (PD-18-0074)**

Chairman Keeler continued the Public Hearing.

Ms. Dent reported the applicant seeks to develop the property in four (4) tracts that will accommodate hotel, mixed-use residential, office, and retail use. She reported the mixed-use residential will be on tract 1 with a Planned-Development-Mixed Use Residential zoning. It will consist of 220 apartment dwellings in a four (4) story building. This will have fifty-one (51) tuck-under single car garages, a reduction from the requirement of having 110 garages. The trash-compactor is approximately 290 feet from the furthest apartment unit, though City standards set a maximum distance of 250 feet. The building will be greater than the City's 200-foot maximum. Tract 2 will house the hotel, with a food or café option. Tract 3 will house nine (9) potential restaurants, while tract 4 will have the office/retail component. All buildings on the various tracts will share a compatible color palette. Ms. Dent noted staff would like to see the ground floor of the multi-use-residential have more retail on the ground floor. She stated, at this time staff is not comfortable with the concept plan and recommended denial.

Mr. Richard Rozer, 4250 Black Champ Road, Midlothian, representing owner, gave the history of the property and the idea came to provide a project that is not yet in Waxahachie. He stated after a lot of thought and planning they arrived at the proposed Concept Plan. He gave a broad overview of the concept noting they are looking at approximately 30,000 square feet of retail. They will tie roads together tying into Dean Box. He stated the Planned Development process is a conceptual process noting there is no desire to completely develop the property.

Mr. Mark Olson, Principal of Arrive Architecture Group, Bedford, Texas, reviewed renderings of the multi-use residential buildings noting it will be very high end. He stated his firm has done many projects of this type.

Mr. Tim Lyons, owner, 450 North Oak Branch Road, Waxahachie, stated he owns the property from the corner down to the Holiday Inn and behind Target and since 2006 he has been working to develop this property and shared his vision with a hotel, multi-use residential, general retail and premier restaurants. Mr. Lyons stated he would like to build to the back of the property and work his way to the front with development. He stated he is a life-long resident of Waxahachie and he will put in a premier development.

After a lengthy discussion and there being no others to speak for or against PD-18-0074, Chairman Keeler closed the Public Hearing.

10. Consider recommendation of Zoning Change No. PD-18-0074

Action:

Mr. Jim Phillips moved to approve a request by Josh Spoerl, Arrive Architecture Group, for a Zoning Change from a General Retail zoning district to General Retail and Planned Development-Mixed Use Residential, with Concept Plan, located at NE corner of US 287 Bypass Service Road at FM 813, being 911 R RUSSELL 7.121 ACRES and 911 R RUSSELL 10.6200 ACRES (Property ID 227073 and 138302) - Owner: LYONS AMERICAN SECURITIES INC (PD-18-0074) subject to the following stipulations:

- *Tract 2 – only structure to be built is a four story hotel*
- *Tract 3 - to have only restaurants without drive through facility*
- *Tract 4 - to have office General Retail usage with no drive through*
- *Village Parkway will be built all at once to include landscaping except for the northwest corner near Brown Street*
- *Detail Site Plan must be provided to Planning and Zoning Commission with Architectural Standards*

Ms. Betty Square Coleman seconded, All Ayes.

11. Public Hearing on a request by Majd Chweki, Q Mart, for a Specific Use Permit (SUP) for Convenience Store use within a General Retail zoning district, located at 104 N Highway 77, Suite 106, being 50C 100A FERRIS 2ND 0.301 ACRES (Property ID 173382) - Owner: STEPHEN D SMITH (SU-18-0107)

Chairman Keeler announced the applicant withdrew his application.

12. Consider recommendation of Zoning Change No. SU-18-0107

Action:

No action to be taken

13. Public Comments

None

14. Adjourn

There being no further business, the meeting adjourned at 8:44 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary

Planning and Zoning Commission
July 10, 2018

The Waxahachie Planning & Zoning Commission held a briefing session on Tuesday, July 10, 2018 at 6:30 p.m. in the City Council Conference Room at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
Erik Barnard

Members Absent: Melissa Ballard, Vice Chairman
David Hudgins

Others Present: Shon Brooks, Director of Planning
Kelly Dent, Planner
James Gaertner, City Engineer
Tommy Ludwig, Executive Director of Development Services
Lori Cartwright, City Secretary
Mary Lou Shipley, Council Representative

1. Call to Order

Chairman Rick Keeler called the meeting to order.

2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting

Mr. Shon Brooks, Director of Planning, announced the Planning and Zoning Commission meeting will be livestreamed in the Council Chambers.

Staff reviewed RP-18-0099 noting what triggered the Replat was a property owner who was going to expand their residence found out when applying for a permit that it would go over the lot line. Years ago properties along Dunn Street had been divided by meets and bounds and platted. The Replat will correct the two properties.

Staff reviewed PP-18-0102 noting the property fronts Martin Luther King Boulevard and TxDOT owns the right-of-way. The owner will need to get a driveway permit from TxDOT prior to building on the lot.

Staff reviewed SU-18-0104 and stated the applicant came in as a private school which triggered a Specific Use Permit for their request. Staff found out prior to the meeting that the applicant is a charter school and therefore a Specific Use Permit is not required. The applicant will formally withdraw the case at the meeting.

Staff reviewed RP-18-0103 noting the applicant purchased additional land and leases on the property will run out this year and next year.

Staff referenced SU-18-01017 noting the applicant withdrew the case.

Staff reviewed PD-18-0074 noting it is located on the corner of Brown and Highway 287. Applicant wants four tracts being mixed-use-residential, four-story hotel, a number of restaurants, office and general retail. Staff reported they will recommend denying because the applicant has yet to secure the hotel and therefore no guarantee to be constructed. Applicant wants the apartments first and staff does not know elevations of hotel, restaurants, and offices. Applicant does not want the required number of garages and requirement of trash compactor location.

Mr. Brooks stated what they do have is a mixed use above garages and not sure this is enough security knowing the entire site gets developed. He stated his hesitancy is the unknown of end users of the tracts.

3. Adjourn

There being no further business, the meeting adjourned at 6:59 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary

Planning & Zoning Department

Plat Staff Report

Case: RP-18-0109



MEETING DATE(S)

Planning & Zoning Commission: July 24, 2018

City Council: August 6, 2018

CAPTION

Consider request by Ken Rogers, Herbert Beasley Land Surveyors LP for a **Replat** of Lot 4R Waxahachie Civic Center to create Lots 4R-1, 4R-2, and 4R-3 Waxahachie Civic Center, 14.172 acres (Property ID 227433) – Owner: LOOKOUT PARTNERS LP (RP-18-0109)

CASE INFORMATION

Applicant: Ken Rogers, Herbert Beasley Land Surveyors LP

Property Owner(s): Lookout Partners LP

Site Acreage: 14.172 acres

Number of Lots: 3 lots

Number of Dwelling Units: 0 units

Park Land Dedication: Park fees will be calculated at time of permitting.

Adequate Public Facilities: Per the City Engineer, "Need to provide water and sewer services to the new lot prior to recording the plat. One lot should already have services but if not then provide services to each lot."

SUBJECT PROPERTY

General Location: 411 Alliance Blvd

Parcel ID Number(s): 227433

Current Zoning: Planned Development-General Retail (Ordinance 2569)

Existing Use: Currently undeveloped

Platting History: The final plat for the Waxahachie Civic Center was approved by City Council on March 17, 2003.

Site Aerial:



STAFF CONCERNS

1. Need to provide water and sewer services to the new lot prior to recording the plat. One lot should already have services but if not then provide services to each lot.

APPLICANT RESPONSE TO CONCERNS

1. Applicant submitted revised drawings. The plat cannot be filed until services are installed.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. Need to provide water and sewer services to the new lot prior to recording the plat. One lot should already have services but if not then provide services to each lot.

ATTACHED EXHIBITS

1. Plat drawing
2. Ordinance No. 2569

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:

Kelly Dent, MPA

Planner

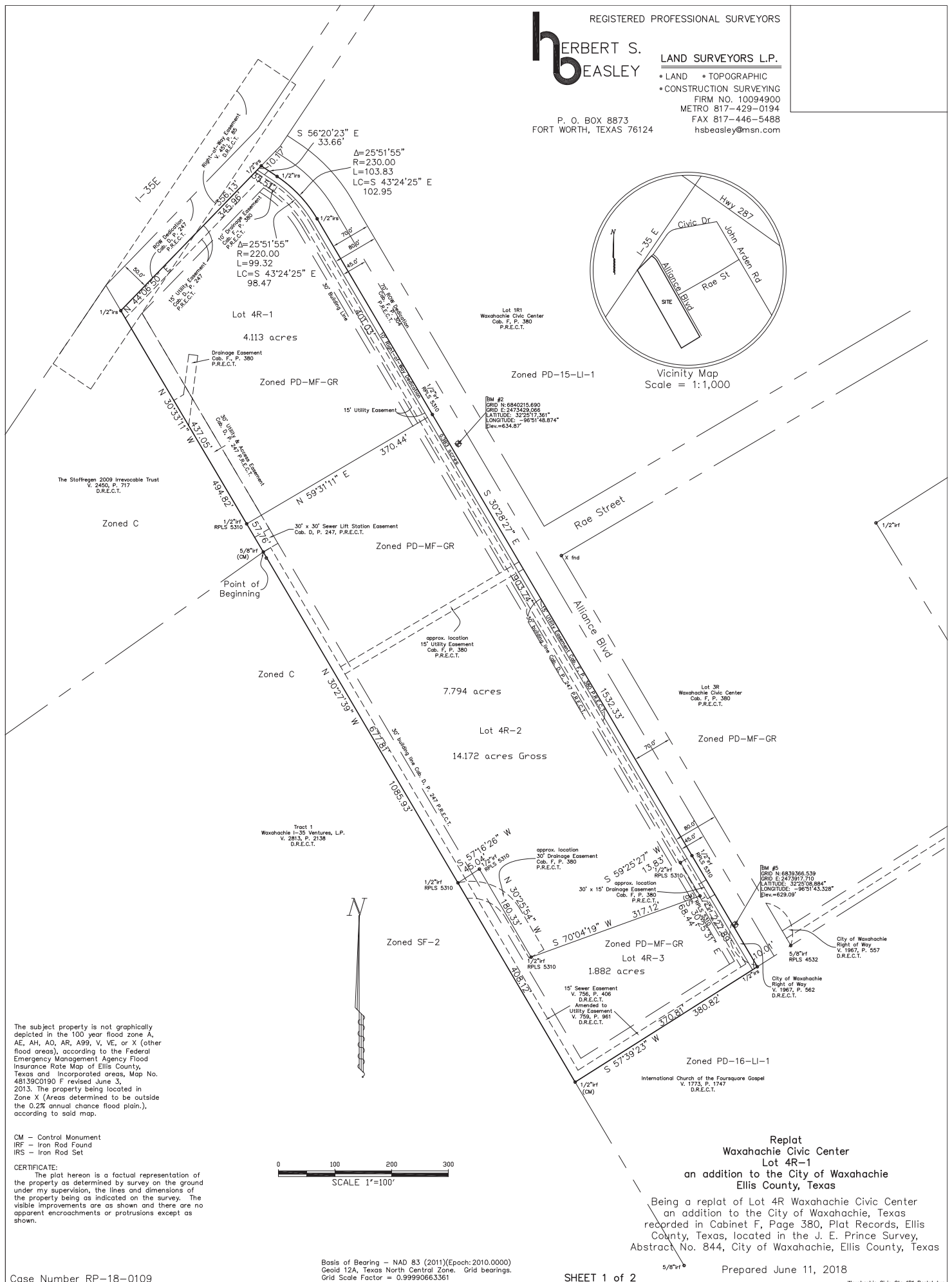
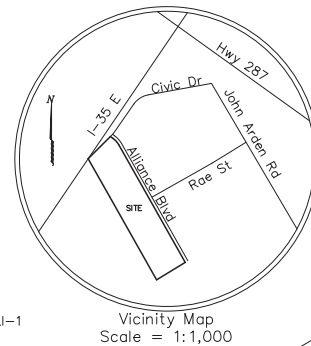
kdent@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



The subject property is not graphically depicted in the 100 year flood zone A, AE, AH, AO, AR, A99, V, VE, or X (other flood areas), according to the Federal Emergency Management Agency Flood Insurance Rate Map of Ellis County, Texas and Incorporated areas, Map No. 48139C0190 F revised June 3, 2013. The property being located in Zone X (Areas determined to be outside the 0.2% annual chance flood plain), according to said map.

CM - Control Monument
IRF - Iron Rod Found
IRS - Iron Rod Set

CERTIFICATE:
The plat hereon is a factual representation of the property as determined by survey on the ground under my supervision, the lines and dimensions of the property being as indicated on the survey. The visible improvements are as shown and there are no apparent encroachments or protrusions except as shown.

0 100 200 300
SCALE 1"=100'

Basis of Bearing - NAD 83 (2011)(Epoch:2010.0000)
Geoid 12A, Texas North Central Zone. Grid bearings.
Grid Scale Factor = 0.99990663361

SHEET 1 of 2

Prepared June 11, 2018

Replat
Waxahachie Civic Center
Lot 4R-1
an addition to the City of Waxahachie
Ellis County, Texas
Being a replat of Lot 4R Waxahachie Civic Center an addition to the City of Waxahachie, Texas recorded in Cabinet F, Page 380, Plat Records, Ellis County, Texas, located in the J. E. Prince Survey, Abstract No. 844, City of Waxahachie, Ellis County, Texas

Waxahachie Civic Ctr 4R1 Replat.dwg

STATE OF TEXAS §

COUNTY OF ELLIS §

WHEREAS, Lookout Partners, L.P., is the Owner of a tract of land situated in the Jonothan E. Prince Survey, Abstract No. 844, Ellis County, Texas according to the deed recorded in Volume 2306, Page 671, Deed Records, Ellis County, Texas, and being more particularly described as follows:

Being Lot 4R, Waxahachie Civic Center, an addition to the City of Waxahachie, Ellis County, Texas, according to the plat recorded in Cabinet F, Slide 380, Plat Records, Ellis County, Texas, being more particularly described as follows:

BEGINNING at 5/8" iron rod found at an angle point in the West line of said Lot 4R, being the North corner of a tract of land described in the deed to Waxahachie I-35 Ventures, L.P., Tract 1, recorded in Volume 2813, Page 2138, Deed Records, Ellis County, Texas and the East corner of a tract of land described in the deed to The Stoffregen 2009 Irrevocable Trust, recorded in Volume 2450, P. 717, Deed Record, Ellis County, Texas;

THENCE N30°33'11"W, along the West line of said Lot 4R and the East line of said The Stoffregen 2009 Irrevocable Trust tract, a distance of 494.82 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" set at the Northwest corner of said Lot 4R;

THENCE N44°06'50"E, along the North line of said Lot 4R, a distance of 356.13 feet to a 1/2" iron rod stamped "Beasley RPLS 4050" set at the Northeast corner of said Lot 4R;

THENCE along the East line of said Lot 4R as follows:

1. S56°20'23"E, a distance of 33.66 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" set at the beginning of a curve to the right, having a radius of 230.00 feet, a central angle of 25°51'55" and a chord bearing S43°24'25"E 102.95 feet;

2. Southeasterly along said curve, 103.83 feet, to a 1/2" iron rod stamped "Beasley RPLS 6066" set;

3. S30°28'27"E, a distance of 1,532.33 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" set at the Southeast corner of said Lot 4R, being in the North line of a tract of land described in the deed to International Church of the Foursquare Gospel, recorded in Volume 1773, Page 1747, Deed Records, Ellis County, Texas;

THENCE S57°39'23"W, along the South line of said Lot 4R and the North line of said International Church of the Foursquare Gospel, a distance of 380.82 feet to a 1/2" iron rod found at the Southwest corner of said Lot 4R, being the Northwest corner of said International Church of the Foursquare Gospel, and in the East line of said Waxahachie I-35 Ventures, L.P. tract;

THENCE N30°27'39"W, along the West line of said Lot 4R and the East line of said Waxahachie I-35 Ventures, L.P. tract, a distance of 1,085.93 feet to the point of beginning, containing 14.172 acres of land.

The bearings recited hereon are oriented to NAD83 Texas North Central Zone.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Lookout Partners, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as Lot 4R-1 Waxahachie Civic Center, an addition to the City of Waxahachie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The Easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of Ingress and Egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all plotting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas

WITNESS, my hand, this the _____ day of _____, 2018.
By:

Authorized Signature of Owner

William R. Hincley
Operating Manager
Lookout Partners, L.P.
Morningside Land & Cattle Co., L.L.C.

STATE OF TEXAS §

COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, of Lookout Partners, L.P., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2018.

Notary Public in and for the State of Texas

KNOW ALL MEN BY THESE PRESENTS:

That I, Kenneth R. Rogers, a Registered Professional Land Surveyor of the State of Texas, does hereby declare that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie after construction of the subdivision.

Kenneth R. Rogers
Registration No. 6066

This is to Certify that I, Kenneth R. Rogers, a Registered Professional Land Surveyor of the State of Texas, have surveyed the above described property on the ground, and that all lot corners, angle points, and points of curve shall be set after construction and will be 1/2" iron rods capped and stamped "BEASLEY RPLS 6066" unless otherwise noted. Irons that are damaged, disturbed, or not so marked are not original.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Kenneth R. Rogers R.P.L.S.
Texas Registration No. 6066



APPROVED BY: Planning and Zoning Commission City of Waxahachie	
By: _____	_____
Chairperson	Date
APPROVED BY: City Council City of Waxahachie	
By: _____	_____
Mayor	Date
Attest _____	_____
	Date

ENGINEER:
MJ Thomas Engineering, LLC
3973 W. Vickery Blvd., Ste 103
Fort Worth, Texas 76107
PH: (817) 732-9839
FAX: (817) 732-9841
MickeyT@mthomaseng.com
CONTACT: Mickey Thomas, P.E.

SURVEYOR:
Herbert S. Beasley Land Surveyors L.P.
P.O.Box 8873
Fort Worth, Texas 76124
PH: 817-429-0194
hsbeasley@msn.com
CONTACT: Ken Rogers

OWNER & DEVELOPER:
Lookout Partners, L.P.
1789 S. Bagdad Road, Suite 104
Leander, Texas 78641
PH: 512-690-4322
lookoutgroup@hotmail.com
CONTACT: Mike Siefert, P.E.

Planning & Zoning Department

Plat Staff Report

Case: PP-18-0113



MEETING DATE(S)

Planning & Zoning Commission: July 24, 2018

City Council: August 6, 2018

CAPTION

Consider request by Jeremy Glenn, Waxahachie ISD, for a **Preliminary Plat** of New Waxahachie High School for 1 lot, being 94.184 acres situated in the J. Boyd Survey, Abstract 108, W.J. Boyce Survey, Abstract 109, E. Horton Survey, Abstract 466, and W.C. Tunnell Survey, Abstract 1008 (Property ID 180503) Owner: WAXAHACHIE ISD (PP-18-0113)

CASE INFORMATION

Applicant: Jeremy Glenn, WISD

Property Owner(s): Waxahachie ISD

Site Acreage: 94.184 acres

Number of Lots: 1 lot

Number of Dwelling Units: 0 units

Adequate Public Facilities: Yes

SUBJECT PROPERTY

General Location: 3001 US Highway 287 Bypass

Parcel ID Number(s): 180503

Current Zoning: Planned Development-Commercial (Ordinance 2853)

Existing Use: Currently undeveloped

Platting History: PLM2016-12 was approved by City Council on April 4, 2016. That plat has now expired.

Site Aerial:



STAFF CONCERNS

1. None

APPLICANT RESPONSE TO CONCERNS

1. Not applicable

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

ATTACHED EXHIBITS

1. Plat drawing

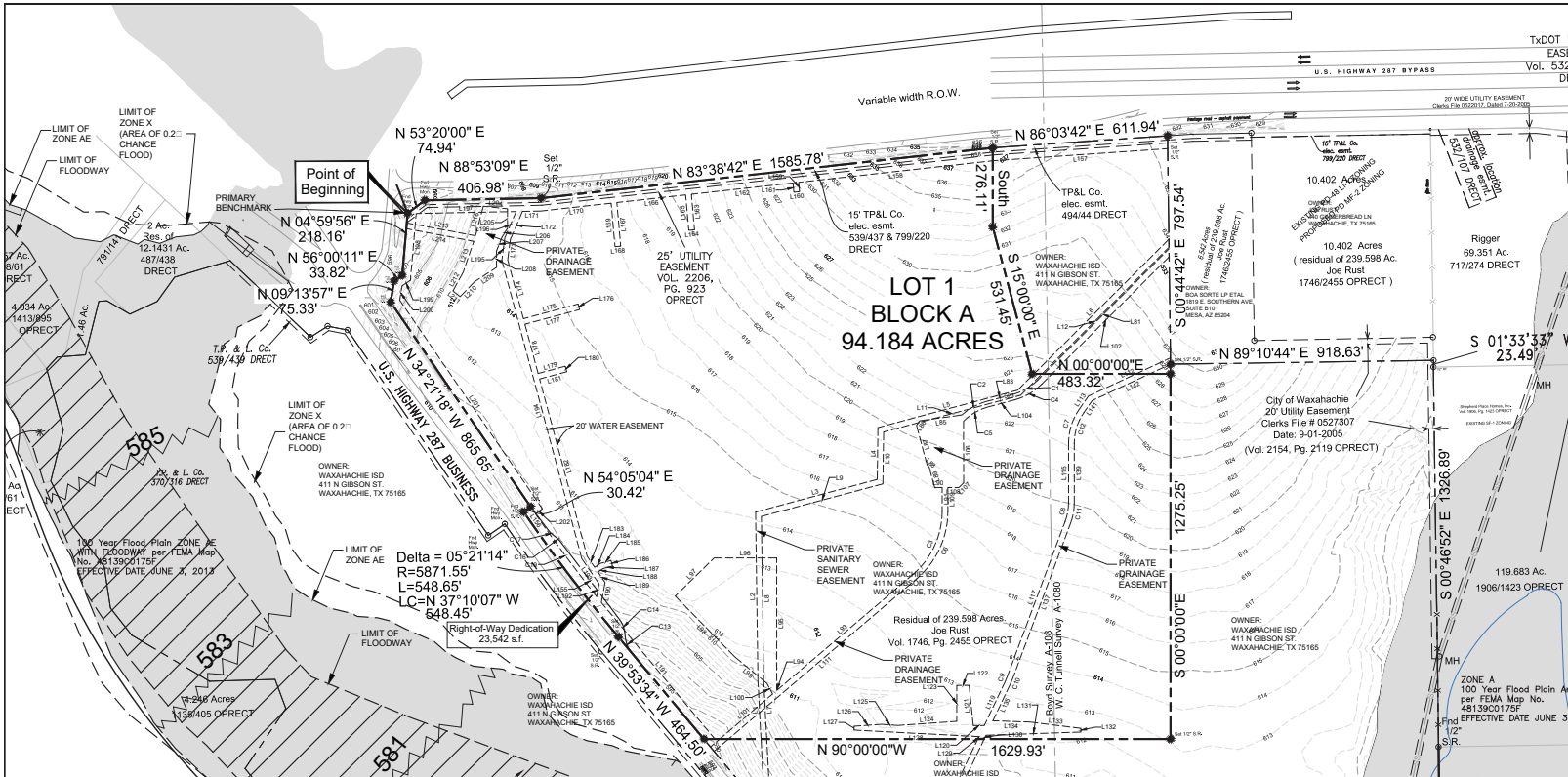
APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
Kelly Dent, MPA
Planner
kdent@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



Scale 1" = 200'

METES AND BOUNDS DESCRIPTION

BEING a 94.724 acre tract of land lying in the City of Waxahachie and in the J. BOYD SURVEY, Abstr. No. 108 and the W.C. TUNNELL SURVEY, Abstr. No. 1080, and being a part of a called 239.593 acre tract of land described in Volume 1746, Page 2455, Official Public Records, Ellis County, Texas, (OPRECT), and being a part of a 222.571 acre tract of land conveyed to Waxahachie ISD described in a Special Warranty Deed recorded in Instrument No. 1509865 (OPRECT) and being more particularly described as follows:

BEGINNING at a wooden highway monument found for the lower northwest corner of this tract and same for the said 239.593 acre tract and being at a bend in the south right-of-way line of U.S. Highway 287:

THENCE along the north line of this tract and same for the said 239.593 acre tract and along the south line of U.S. Highway 287 as follows: N 53°20'00" E, 74.94 feet, (Deed - N 54°06'00" E, 74.84 feet) to a wooden highway monument found for corner N 88°53'09" E, 406.98 feet (Deed - S 89°50'00" E, 406.95 feet), to a 1/2" steel rod set for corner N 83°38'42" E, 1585.78 feet, (Deed - N 84°52'00" E, same distance) to a 1/2" steel rod set for corner:

THENCE into the said 239.593 acre tract and an easterly and northerly line of this tract as follows: South 276.11 feet to a 1/2" steel rod set for corner S 15°00'00" E, 531.45 feet to a 1/2" steel rod set for corner N 00°00'00" E, 483.32 feet to a 1/2" steel rod set for corner S 00°00'00" E, 1275.25 feet to a 1/2" steel rod set for corner, said corner being the most southeasterly corner of said described tract N 90°00'00" W, 1629.93 feet to a 1/2" steel rod set for corner in the easterly right-of-way line of Business U.S. Highway 287, N 39°53'54" W, 464.50 feet, to a 1/2" steel rod set found in the beginning of a non-tangent curve oriented clockwise and to the right, (Radius = 5871.55 feet; Long Chord = N 37°10'07" W, 548.45 feet), to a 1/2" steel rod set for corner N 54°05'04" E, 30.42 feet to a 1/2" steel rod set for corner N 34°21'18" W, 865.65 feet to a 1/2" steel rod set in the intersection of the northeast line of Business U.S. Highway 287 with the southerly line of U. S. Highway 287 for a southeast corner of this tract and same for the 239.593 acre tract; continuing along the westerly lines of this tract and southerly lines of U. S. Highway 287 as follows: N 09°13'57" E, 75.33 feet, (Deed - N 11°50'00" E, 77.49 feet), to a 1/2" steel rod set for corner N 56°00'11" E, 33.82 feet, (Deed - N 56°50'00" E, 30.54 feet), to a 1/2" steel rod set for corner and N 04°59'56" E, 218.16 feet, (Deed - N 05°23'00" E, 218.45 feet), to the POINT OF BEGINNING and containing approximately 94.724 acres of land.

City Approval of Preliminary Plat
Approved for preparation of the final plat:

Approved by the Planning and Zoning Commission _____ Date _____

Approved by the City Council _____ Date _____

Owner's ac: knowledge
I hereby ac: knowledge this document as the officially approved preliminary plat:

Owner's Signature _____ Date _____

Surveyor's Certificate
KNOW ALL MEN BY THESE PRESENTS:
That I, William P. Price, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

**PRELIMINARY PLAT
NEW WAXAHACHIE HIGH SCHOOL**

LOT 1
BLOCK A
94.184 ACRES

EXISTING ZONING - C, GR, SF-1 PD-47-MF-2
PROPOSED ZONING PD

BEING A PORTION OF THAT
CERTAIN TRACT OF LAND
CONVEYED TO
WAXAHACHIE INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 1509865
OFFICIAL DEED RECORDS, ELLIS COUNTY, TEXAS

J. BOYD SURVEY, ABSTRACT NO 108
W.J. BOYD SURVEY, ABSTRACT NO 109
E. HORTON SURVEY, ABSTRACT NO 466
W.C. TUNNELL SURVEY, ABSTRACT NO 1008
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

Line	Length	Direction
L1	203.61	N03°02'10"W
L2	589.49	N00°47'42"W
L3	439.66	N75°00'00"E
L4	181.15	N00°48'51"E
L5	504.86	N75°00'00"E
L6	746.36	N45°03'17"E
L7	204.28	N03°02'10"W
L8	573.53	N00°47'42"W
L9	439.21	N75°00'00"E
L10	181.15	N00°48'51"E
L11	495.09	N75°00'00"E
L12	732.26	N45°03'17"E
L181	649.11	S45°00'00"W
L83	95.70	S75°00'00"W
L85	148.29	S82°11'01"W
L86	19.84	S33°35'31"W
L87	142.70	S15°00'00"E
L88	10.00	S45°00'00"E
L89	74.34	S15°00'00"E
L90	26.08	N00°00'00"E

Line	Length	Direction
L91	82.75	S00°00'00"E
L93	621.65	S49°34'43"W
L94	5.28	N28°38'39"W
L95	456.20	N00°00'00"E
L96	218.22	N00°00'00"W
L97	190.43	S45°34'51"W
L98	297.21	S44°25'09"E
L99	145.04	S50°29'17"E
L100	42.28	S38°40'30"E
L101	242.88	S49°34'43"W
L102	629.62	S45°00'00"W
L104	95.70	S75°00'00"W
L106	215.24	N00°01'25"E
L107	23.36	S44°59'18"W
L108	38.46	N90°00'00"W
L109	82.75	S00°00'00"E
L110	862.80	S49°34'43"W
L112	315.88	S65°00'00"W
L113	54.86	S35°00'00"W
L115	206.39	S00°00'00"E

Line	Length	Direction
L117	575.77	S20°27'22"W
L119	166.10	S25°27'22"W
L120	38.08	N00°00'00"W
L121	141.41	N00°00'00"W
L122	42.85	N00°00'00"W
L123	125.76	S00°00'02"W
L124	206.24	S86°00'00"W
L125	57.29	N86°00'00"W
L126	96.21	S86°00'00"W
L127	13.38	S00°00'00"E
L128	436.86	S87°00'00"W
L129	9.27	S25°27'22"W
L130	14.28	N25°27'22"E
L131	331.81	N88°00'00"E
L132	12.88	N00°00'00"E
L133	179.09	N83°00'00"W
L134	129.74	N88°00'00"W
L135	137.92	N25°27'22"E
L137	575.77	N20°27'22"E
L139	206.39	N00°00'00"E

Line	Length	Direction
L141	49.60	N35°00'00"E
L142	301.51	N65°00'00"E
L143	336.45	N37°10'25"W
L144	102.34	N37°10'25"W
L145	613.18	S86°02'11"W
L146	681.02	S83°39'08"W
L147	32.75	S05°01'13"E
L148	20.00	S84°03'56"W
L149	32.60	N05°01'13"W
L150	357.09	S83°39'11"W
L151	124.45	S05°01'13"E
L152	47.09	S34°23'46"E
L153	24.87	N55°36'14"E
L154	123.96	N05°01'13"W
L155	241.80	S83°39'11"W
L156	152.89	S05°01'13"E
L157	20.00	S84°58'47"W
L158	152.43	N05°01'13"W
L159	44.12	S34°23'46"E
L160	71.03	S03°36'12"W
L161	620.01	S39°44'08"E
L162	45.25	N10°36'12"E

Line	Length	Direction
L173	72.33	S07°29'58"W
L174	212.65	S15°00'00"E
L175	197.56	N75°00'00"E
L176	20.00	S15°00'00"E
L177	197.56	S75°00'00"W
L178	178.16	S15°00'00"E
L179	98.16	N75°00'00"E
L180	20.00	S15°00'00"E
L181	98.16	S34°21'18"E
L182	640.82	S15°00'00"E
L183	47.09	S34°23'46"E
L184	24.87	N55°36'14"E
L185	37.64	N75°00'00"E
L186	20.00	S15°00'00"E
L187	34.23	S75°00'00"W
L188	21.45	S57°00'00"W
L189	91.52	S43°52'59"W
L190	72.36	N52°03'48"W
L191	74.74	N28°45'44"E
L193	114.13	N19°00'00"E

Curve	Length	Radius	Delta
C1	99.48	190.00	030°00'00"
C2	100.19	210.00	027°20'00"
C3	250.94	290.00	049°34'43"
C4	109.96	210.00	030°00'00"
C5	100.57	190.00	030°19'35"
C6	268.25	310.00	049°34'43"
C7	128.28	210.00	035°00'00"
C8	67.84	190.00	020°27'22"
C9	25.31	290.00	005°00'00"
C10	27.05	310.00	005°00'00"
C11	74.88	210.00	020°27'22"
C12	116.06	190.00	035°00'00"
C13	66.28	100.00	037°58'27"
C14	61.52	100.00	035°15'01"
C16	31.09	100.00	017°48'54"
C17	31.09	100.00	017°48'54"
C19	359.34	584.55	003°31'28"

GLENN ENGINEERING
 105 DECKER COURT, SUITE 910
 IRVING, TEXAS 75062
 PHONE: (972) 717-5151
 FAX: (972) 717-2176
 TEXAS REGISTRATION NUMBER: F-303

LEGEND

GAS METER GAS VALVE TELEPHONE PEDESTAL POWER POLE DOWN CITY S.S. MAN HOLE CLEAN OUT	FIRE HYDRANT WATER METER FUEL PORT WATER VALVE TRANSFORMER PAD ELECTRIC MANHOLE STORM DRAIN MAN HOLE	MONITORING WELL TRAFFIC SIGNAL POLE TRAFFIC SIGNAL BOX S.W. MAN HOLE GAS LINE MARKER VAULT TELEPHONE MANHOLE	SIGN LIGHT POLE TYPICAL FENCE CONCRETE TREE ELECTRIC BOX
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TBPS No. 101733-00

SURVEY GROUP
 SURVEYING * CONSULTING * MANAGEMENT

 400 SOUTH INDUSTRIAL BLVD., STE 219
 EULESS, TEXAS 76040
 (817) 354-1445
 (817) 354-1451 FAX

JOB NO.: 15-091
 DATE: FEBRUARY 23, 2016
 SCALE: 1" = 200'
 DRAWN BY: R.M.

SHEET: 1 OF 1

Planning & Zoning Department

Plat Staff Report

Case: FP-18-0112



MEETING DATE(S)

Planning & Zoning Commission: July 24, 2018

City Council: August 6, 2018

CAPTION

Consider request by Jeremy Glenn, Waxahachie ISD, for a **Final Plat** of New Waxahachie High School for 1 lot, being 94.184 acres situated in the J. Boyd Survey, Abstract 108, W.J. Boyce Survey, Abstract 109, E. Horton Survey, Abstract 466, and W.C. Tunnell Survey, Abstract 1008 (Property ID 180503) Owner: WAXAHACHIE ISD (FP-18-0112)

CASE INFORMATION

Applicant: Jeremy Glenn, WISD

Property Owner(s): Waxahachie ISD

Site Acreage: 94.184 acres

Number of Lots: 1 lot

Number of Dwelling Units: 0 units

Park Land Dedication: The cash in lieu of park land dedication is \$56,510.40 (\$600.00 per acre at 94.184 acres). This is due before the plat can be filed.

Adequate Public Facilities: Yes

SUBJECT PROPERTY

General Location: 3001 US Highway 287 Bypass

Parcel ID Number(s): 180503

Current Zoning: Planned Development-Commercial (Ordinance 2853)

Existing Use: Currently undeveloped

Platting History: Companion case no. PP-18-0113

Site Aerial:



STAFF CONCERNS

1. The City will need to see the executed agreement between the District and the owners of the Mark on 287. Please ensure that a copy, signed by both parties, is made available.
2. Business 287 is a 110-foot wide thoroughfare. You will need to ensure that 55-feet of right-of-way is dedicated from the centerline of the road to your property. This may require dedication on your part. You will need to show the width of the right-of-way on your plat drawing, and either demonstrate that dedication is not required or make the appropriate amount of dedication.
3. A 15-foot utility easement must be shown along the street frontage. This can overlap other easements.
4. Some of the pages in the plat packet do not show the Water Easement to the City.
5. Outstanding fees must be paid before this plat is filed with Ellis County. These fees are listed below:
 - a. Park fees of \$56,510.40.
 - b. Roadway impact fees of \$130,687.50 (thirty (30) percent of total roadway impact fees).
 - c. Filing fees of \$225.00.

APPLICANT RESPONSE TO CONCERNS

1. The applicant and surveyor are aware of outstanding comments. A resubmittal has not been received at this point.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. The City will need to see the executed agreement between the District and the owners of the Mark on 287. Please ensure that a copy, signed by both parties, is made available.
 2. Business 287 is a 110-foot wide thoroughfare. You will need to ensure that 55-feet of right-of-way is dedicated from the centerline of the road to your property. This may require dedication on your part. You will need to show the width of the right-of-way on your plat drawing, and either demonstrate that dedication is not required or make the appropriate amount of dedication.
 3. A 15-foot utility easement must be shown along the street frontage. This can overlap other easements.
 4. Some of the pages in the plat packet do not show the Water Easement to the City.
 5. Remove the building lines from the plat.
 6. Any easements by this plat need to be labeled as such.
 7. Outstanding fees must be paid before this plat is filed with Ellis County. These fees are listed below:
 - a. Park fees of \$56,510.40.
 - b. Roadway impact fees of \$130,687.50 (thirty (30) percent of total roadway impact fees).
 - c. Filing fees of \$225.00.

ATTACHED EXHIBITS

1. Plat drawing

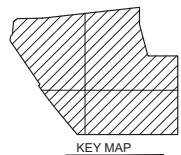
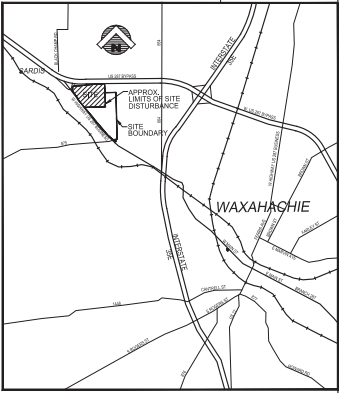
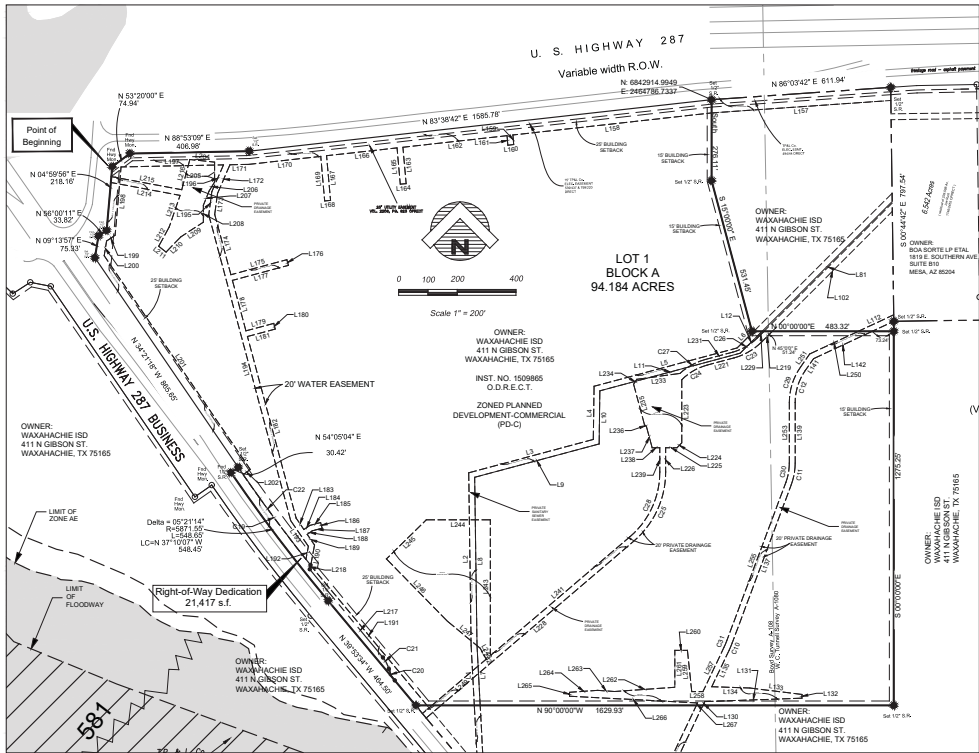
APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
Kelly Dent, MPA
Planner
kdent@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:
That I, William P. Price, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

William P. Price, R.P.L.S. No. 3047

PRIMARY BENCH MARK:

BENCHMARK 1
802 NAIL FOUND IN WOOD POST FOR PROPERTY CORNER
NORTHING: 884286.80 EASTING: 2452743.68
ELEV. = 597.97'

SECONDARY BENCH MARK:

BENCHMARK 2
NAIL FOUND IN WOOD POST FOR PROPERTY CORNER
NORTHING: 8842791.55 EASTING: 2452833.79
ELEV. = 599.85'

OWNER:
WAXAHACHIE ISD
411 N. GIBSON ST.
WAXAHACHIE, TEXAS 75165
(972) 924-4531

ENGINEER:
GLENN ENGINEERING CORP.
160 DECHER COUNTY, SUITE 910
IRVING, TEXAS 75062
PHONE: 972-215-1302
(972) 717-2151
(972) 717-2158 FAX
CONTACT: MIKE GLENN, P.E.

SURVEYOR:
SURVEY GROUP, LLC
480 SOUTH INDUSTRIAL BLVD.
SUITE 219
DALLAS, TEXAS 75248
PHONE NO. 972-353-0000
(972) 354-4466
(972) 354-4461 FAX
CONTACT: RODNEY MARTINEZ

**FINAL PLAT
NEW WAXAHACHIE HIGH SCHOOL**

LOT 1
BLOCK A
94.184 ACRES

ZONING PD-C

BEING A PORTION OF THAT
CERTAIN TRACT OF LAND
CONVEYED TO
WAXAHACHIE INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 1509865
OFFICIAL DEED RECORDS, ELLIS COUNTY, TEXAS
SITUATED IN
J. BOYD SURVEY, ABSTRACT NO. 108
W.C. TUNNELL SURVEY, ABSTRACT NO. 1008
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTYOF ELLIS §

WHEREAS Waxahachie Independent School District is the owner of a 94.724 acre tract of land lying in the City of Waxahachie and in the J. BOYD SURVEY, Abst. No. 108 and the W.C. TUNNELL SURVEY, Abst. No. 1080, and being a part of a called 239.593 acre tract of land described in Volume 1746, Page 2455, Official Public Records, Ellis County, Texas, (OPRECT), and being a part of a 222.571 acre tract of land conveyed to Waxahachie ISD described in a Special Warranty Deed recorded in Instrument No. 1509865 (OPRECT) and being more particularly described as follows:

BEGINNING at a wooden highway monument found for the lower northwest corner of this tract and same for the said 239.593 acre tract and being at a bend in the south right-of-way line of U.S. Highway 287.:

THENCE along the north line of this tract and same for the said 239.593 acre tract and along the south line of U.S. Highway 287 as follows: N 53°20'00" E, 74.94 feet, (Deed - N 54°06'00" E, 74.84 feet) to a wooden highway monument found for corner:N 88°53'09" E, 406.98 feet (Deed - S 89°50'00" E, 406.95 feet), to a 1/2" steel rod set for corner:N 83°38'42" E, 1585.78 feet, (Deed - N 84°52'00" E, same distance) to a 1/2" steel rod set for corner.:

THENCE into the said 239.593 acre tract and an easterly and northerly line of this tract as follows: South 276.11 feet to a 1/2" steel rod set for corner:S 15°00'00" E, 531.45 feet to a 1/2" steel rod set for corner:N 00°00'00"E 483.32 feet to a 1/2" steel rod set for corner:S 00°00'00" E,1275.23" to a 1/2" steel rod set for corner, said corner being the most southeasterly corner of said described tractN 90°00'00" W,1629.93' to a 1/2" steel rod set for corner in the easterly right-of-way line of Business U.S. Highway 287;N 39°53'34" W, 464.50 feet - to a 1/2" steel rod found in the beginning of a non-tangent curve oriented doc:wise and to the right, (Radius = 5871.55 feet:Long Chord = N 37°10'07" W, 548.45 feet), to a 1/2" steel rod set for corner:N 54°05'04" E, 30.42 feet to a 1/2" steel rod set for corner:N 54°21'18" W, 865.65 feet to a 1/2" steel rod set in the intersection of the northeast line of Business U.S. Highway 287 with the southerly line of U. S. Highway 287 for a southwest corner of this tract and same for the 239.593 acre tract;continuing along the westerly lines of this tract and southerly lines of U. S. Highway 287 as follows: N 09°13'57" E, 75.33 feet, (Deed - N 11°50'00" E, 77.49 feet), to a 1/2" steel rod set for corner:N 56°00'11" E, 33.82 feet, (Deed - N 56°50'00" E, 30.54 feet), to a 1/2" steel rod set for corner;and N 04°59'56" E, 218.16 feet, (Deed - N 06°23'00" E, 218.45 feet), to the POINT OF BEGINNING and containing approximately 94.724 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Waxahachie Independent School District acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as NEW WAXAHACHIE HIGH SCHOOL , an addition to the City of Waxahachie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The Easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and easp removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of Ingress and Egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas

WITNESS, my hand, this the _____ day of _____, 2018 .

BY:

Authorized Signature of Owner

Printed Name and Title

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTYOF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2018.

Notary Public in and for the State of Texas

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, William P. Price , do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

William P. Price, R.P.L.S. No. 3047

STATE OF TEXAS §

COUNTYOF ELLIS §

APPROVED BY: Planning and Zoning Commission-City of Waxahachie

Chairperson

Date

STATE OF TEXAS §

COUNTYOF ELLIS §

APPROVED BY: City Council-City of Waxahachie

Mayor

Date

Attest

Date

FINAL PLAT
NEW WAXAHACHIE HIGH SCHOOL

LOT 1
BLOCK A
94.184 ACRES

ZONING PD-C

BEING A PORTION OF THAT
CERTAIN TRACT OF LAND
CONVEYED TO
WAXAHACHIE INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 1509865
OFFICIAL DEED RECORDS, ELLIS COUNTY, TEXAS
SITUATED IN

J. BOYD SURVEY, ABSTRACT NO 108
W.C. TUNNELL SURVEY, ABSTRACT NO 1008
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

SHEET 2 OF 7 JUNE 13, 2018

OWNER:

WAXAHACHIE ISD
411 N. GRESHAM ST.
WAXAHACHIE, TEXAS 75165
(972) 924-4433

ENGINEER:

GLENK ENGINEERING CORP.
160 DECHER COUNTRY, SUITE 910
IRVING, TEXAS 75062
PHONE: (972) 211-5332
(972) 711-2151
(972) 711-2119 FAX
CONTACT: MIKE GLENK, P.E.

SURVEYOR:

SURVEY GROUP, LLC
480 SOUTH INDUSTRIAL BLVD.
SUITE 219
ELLISBURG, TEXAS 75646
PHONE NO. 917.753.000
(917) 364-4445
(917) 364-4451 FAX
CONTACT: RODNEY MARTINEZ

Line Table		
Line	Length	Direction
L1	203.61	N03° 02' 10"W
L2	589.49	N00° 47' 42"W
L3	439.66	N75° 00' 00"E
L4	181.15	N00° 48' 51"E
L5	504.86	N75° 00' 00"E
L6	79.70	N45° 03' 17"E
L7	204.28	N03° 02' 10"W
L8	573.53	N00° 47' 42"W
L9	439.21	N75° 00' 00"E
L10	181.15	N00° 48' 51"E
L11	495.09	N75° 00' 00"E
L12	105.93	N45° 03' 17"E
L81	617.86	S45° 00' 00"W
L102	578.38	S45° 00' 00"W
L112	132.71	S65° 00' 00"W
L130	14.26	N25° 27' 22"E
L131	331.81	N88° 00' 00"E
L132	12.88	N00° 00' 00"E
L133	179.09	N83° 00' 00"W
L134	129.74	N88° 00' 00"W

Line Table		
Line	Length	Direction
L135	137.92	N25° 27' 22"E
L137	575.77	N20° 27' 22"E
L139	206.39	N00° 00' 00"E
L141	49.60	N35° 00' 00"E
L142	220.70	N65° 00' 00"E
L157	613.18	S86° 02' 11"W
L158	681.02	S83° 39' 06"W
L159	32.75	S05° 01' 13"E
L160	20.00	S84° 03' 56"W
L161	32.60	N05° 01' 13"W
L162	357.09	S83° 39' 11"W
L163	124.45	S05° 01' 13"E
L164	20.00	S84° 58' 47"W
L165	123.99	N05° 01' 13"W
L166	241.80	S83° 39' 11"W
L167	152.89	S05° 01' 13"E
L168	20.00	S84° 58' 47"W
L169	152.43	N05° 01' 13"W
L170	247.40	S83° 40' 29"W
L171	63.58	S86° 51' 11"W

Line Table		
Line	Length	Direction
L172	106.53	S23° 29' 53"W
L173	72.33	S07° 29' 58"W
L174	212.65	S15° 00' 00"E
L175	197.55	N75° 00' 00"E
L176	20.00	S15° 00' 00"E
L177	197.55	S75° 00' 00"W
L178	178.16	S15° 00' 00"E
L179	98.16	N75° 00' 00"E
L180	20.00	S15° 00' 00"E
L181	98.16	S75° 00' 00"W
L182	640.82	S15° 00' 00"E
L183	47.09	S34° 23' 48"E
L184	24.87	N55° 36' 14"E
L185	37.64	N75° 00' 00"E
L186	20.00	S15° 00' 00"E
L187	34.23	S75° 00' 00"W
L188	21.45	S55° 36' 14"W
L189	44.12	S34° 23' 48"E
L190	71.03	S10° 36' 12"W
L191	620.01	S39° 44' 08"E

Line Table		
Line	Length	Direction
L192	45.25	N10° 36' 12"E
L193	106.34	N34° 23' 48"W
L194	1079.03	S15° 00' 00"E
L195	79.12	N07° 29' 58"E
L196	100.16	N23° 29' 53"E
L197	349.29	S88° 51' 11"W
L198	234.06	S04° 59' 56"W
L199	35.16	S56° 00' 11"W
L200	50.36	S09° 13' 57"W
L201	882.85	S34° 21' 18"E
L202	30.28	S54° 05' 05"W
L204	84.71	S84° 00' 00"E
L205	67.80	S00° 00' 00"E
L206	36.65	S31° 00' 00"W
L207	51.69	S22° 00' 00"W
L208	57.64	S00° 00' 00"E
L209	91.52	S57° 00' 00"W
L210	72.36	S43° 52' 59"W
L211	32.36	N52° 03' 48"W
L212	74.74	N28° 45' 44"E

Curve Table			
Curve	Length	Radius	Delta
C10	27.05	310.00	005°00'00"
C11	74.98	210.00	020°27'22"
C12	116.06	190.00	035°00'00"
C19	359.34	5841.55	003°31'28"
C20	44.39	100.00	025°25'51"
C21	44.10	100.00	025°16'06"
C22	414.09	5841.13	004°03'42"
C23	109.96	210.00	030°00'00"
C24	100.57	190.00	030°19'35"
C25	268.25	310.00	049°34'43"
C26	99.48	190.00	030°00'00"
C27	100.19	210.00	027°20'07"
C28	250.94	290.00	049°34'43"
C29	128.28	210.00	035°00'00"
C30	67.84	190.00	020°27'22"
C31	25.31	290.00	005°00'00"

Line Table		
Line	Length	Direction
L213	114.13	N19° 00' 00"E
L214	240.30	N79° 25' 16"W
L215	244.32	S79° 25' 16"E
L216	106.65	N15° 00' 00"E
L217	390.57	S39° 44' 08"E
L218	15.08	S10° 36' 12"W
L219	51.24	S45° 00' 00"W
L221	95.70	S75° 00' 00"W
L223	215.24	S00° 01' 25"E
L224	23.36	S44° 59' 18"W
L225	38.46	N60° 00' 00"W
L226	82.75	S00° 00' 00"E
L228	862.80	S40° 34' 43"W
L229	31.24	S45° 00' 00"W
L231	95.70	S75° 00' 00"W
L233	148.29	S82° 11' 01"W
L234	19.84	S33° 35' 31"W
L235	142.70	S15° 00' 00"E
L236	10.00	S45° 00' 00"E
L237	74.34	S15° 00' 00"E

Line Table		
Line	Length	Direction
L238	26.08	N90° 00' 00"E
L239	82.75	S00° 00' 00"E
L241	621.65	S49° 34' 43"W
L242	5.28	N28° 38' 36"W
L243	456.20	N00° 00' 00"E
L244	218.22	N90° 00' 00"W
L245	190.43	S45° 34' 51"W
L246	297.21	S44° 25' 09"E
L247	145.04	S50° 29' 17"E
L248	42.28	S28° 40' 30"E
L249	242.88	S49° 34' 43"W
L250	183.17	S85° 00' 00"W
L251	54.96	S35° 00' 00"W
L253	206.39	S00° 00' 00"E
L255	575.77	S20° 27' 22"W
L257	166.10	S25° 27' 22"W
L258	38.08	N90° 00' 00"W
L259	141.41	N06° 00' 00"W
L260	42.85	N90° 00' 00"W
L261	125.76	S00° 00' 02"W

Line Table		
Line	Length	Direction
L262	206.24	S86° 00' 00"W
L263	57.29	N86° 00' 00"W
L264	96.21	S86° 00' 00"W
L265	13.38	S00° 00' 00"E
L266	436.86	S87° 00' 00"E
L267	9.27	S25° 27' 22"W

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, William P. Price, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

William P. Price, R.P.L.S. No. 3047

OWNER:

WAXAHACHIE ISD
411 N. GIBSON ST.
WAXAHACHIE, TEXAS 75165
(972) 924-4433

ENGINEER:

GLENN ENGINEERING CORP.
160 DECKER COUNTY, SUITE 910
IRVING, TEXAS 75062
PHONE NO. 972-211-5151
(972) 717-2151
(972) 717-2176 FAX
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SURVEYOR:

SURVEY GROUP, LLC
400 SOUTH INDUSTRIAL BLVD.
SUITE 219
ELLIS, TEXAS 75040
PHONE NO. 972-753-0000
(972) 364-4445
(972) 364-4451 FAX
CONTACT: RODNEY MARTINEZ

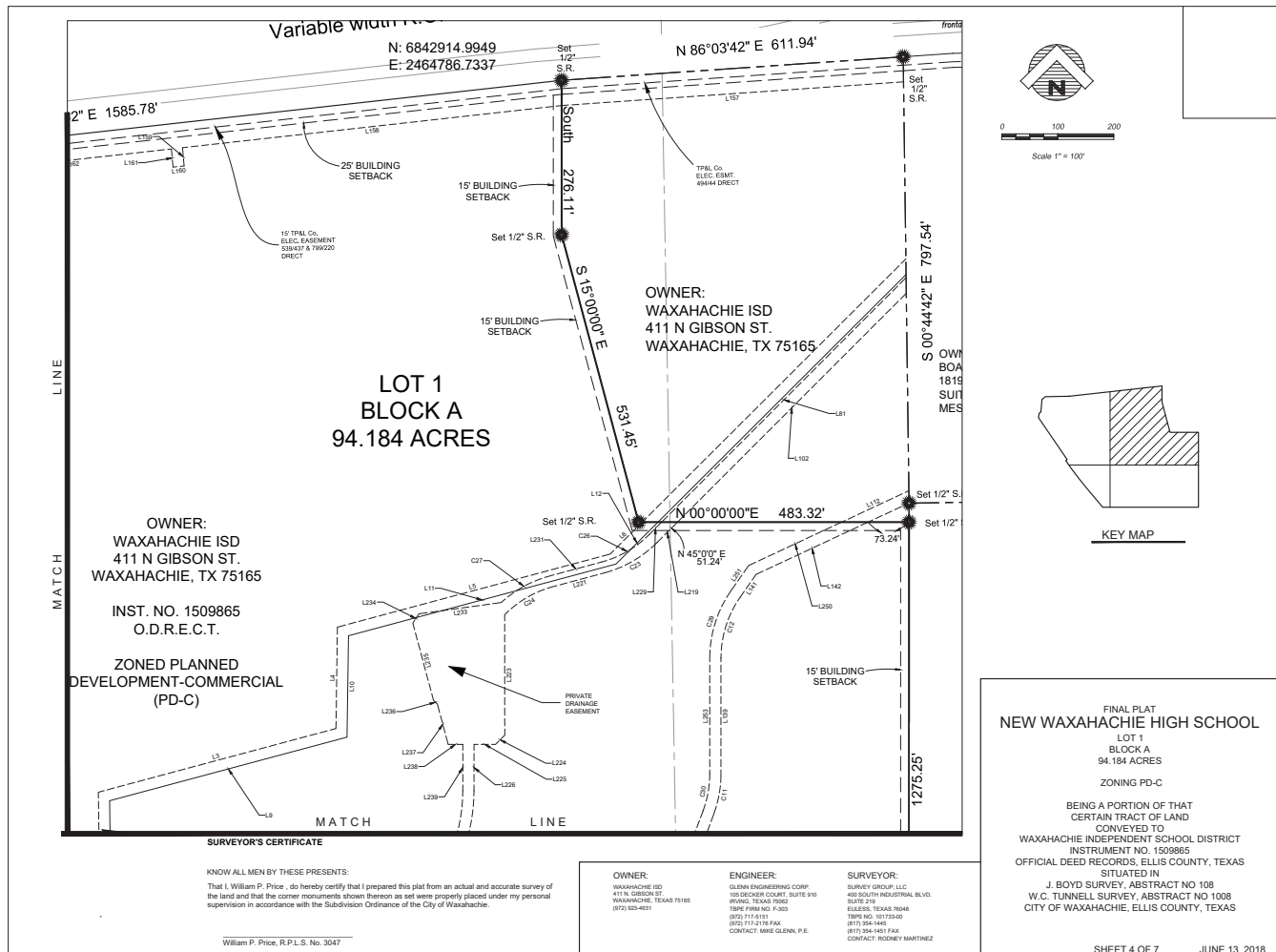
**FINAL PLAT
NEW WAXAHACHIE HIGH SCHOOL**

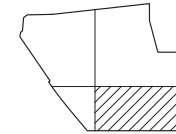
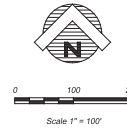
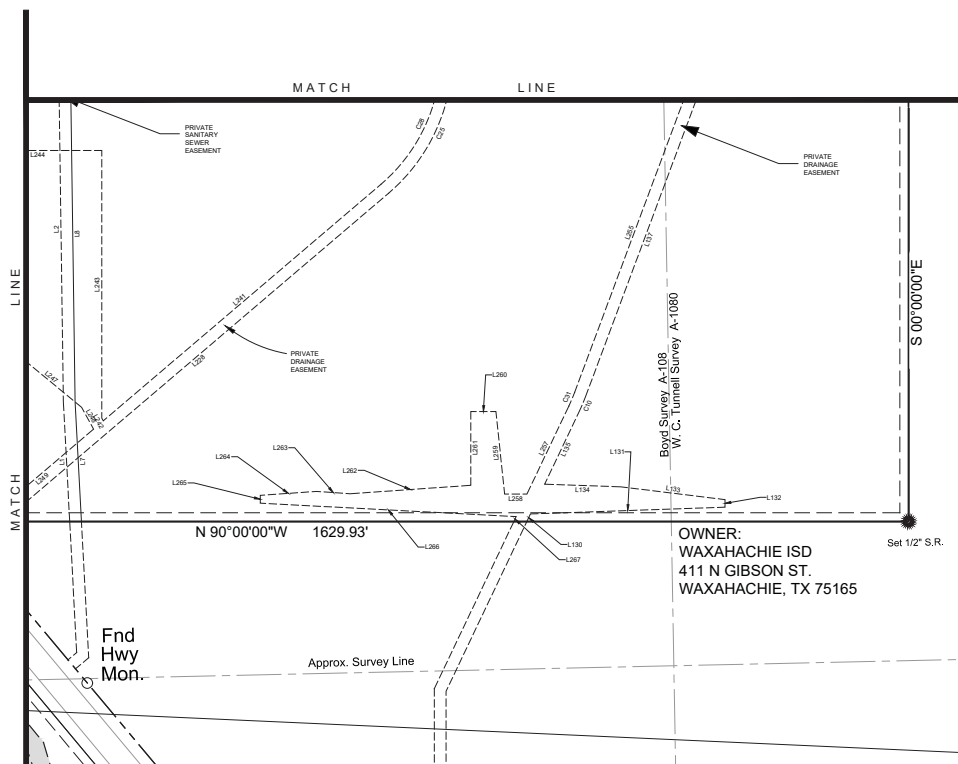
LOT 1
BLOCK A
94.184 ACRES

ZONING PD-C

BEING A PORTION OF THAT
CERTAIN TRACT OF LAND
CONVEYED TO
WAXAHACHIE INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 1509865
OFFICIAL DEED RECORDS, ELLIS COUNTY, TEXAS
SITUATED IN

J. BOYD SURVEY, ABSTRACT NO. 108
W.C. TUNNELL SURVEY, ABSTRACT NO. 1008
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS





KEY MAP

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411 N. GIBSON ST.
WAXAHACHIE, TEXAS 75165
(972) 924-4433

ENGINEER:
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IRVING, TEXAS 75062
PHONE: (972) 717-2151
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PHONE: (972) 384-4445
FAX: (972) 384-4451
CONTACT: RODNEY MARTINEZ

**FINAL PLAT
NEW WAXAHACHIE HIGH SCHOOL**

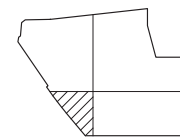
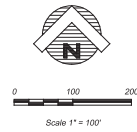
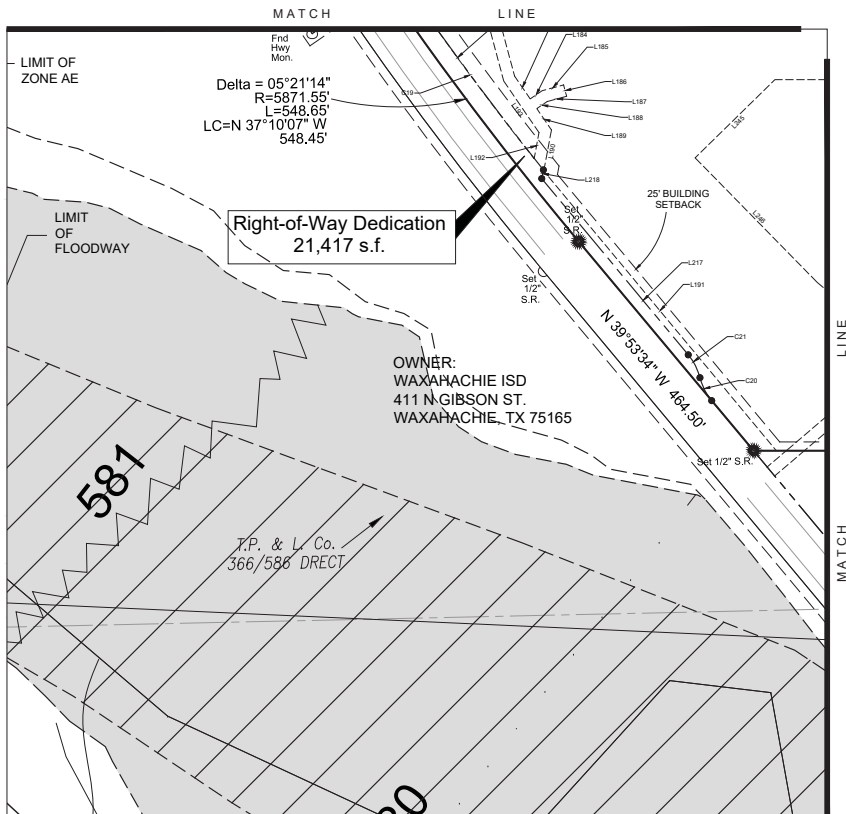
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J. BOYD SURVEY, ABSTRACT NO. 108
W.C. TUNNELL SURVEY, ABSTRACT NO. 1008
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

SHEET 5 OF 7 JUNE 13, 2018



KEY MAP

SURVEYOR'S CERTIFICATE

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William P. Price, R.P.L.S. No. 3047

OWNER:
WAXAHACHIE ISD
411 N. GIBSON ST.
WAXAHACHIE, TEXAS 75165
(972) 924-4031

ENGINEER:
GLENN ENGINEERING CORP.
160 DECHER COUNTY, SUITE 910
IRVING, TEXAS 75062
TELEPHONE NO. 9302
(972) 717-0151
(972) 717-2018 FAX
CONTACT: MIKE GLENN, P.E.

SURVEYOR:
SURVEY GROUP, LLC
400 SOUTH INDUSTRIAL BLVD.
SUITE 219
ELLSBURG, TEXAS 75846
TELEPHONE NO. 91735300
(972) 364-4465
(972) 364-4461 FAX
CONTACT: RODNEY MARTINEZ

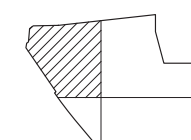
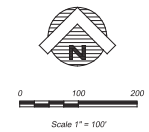
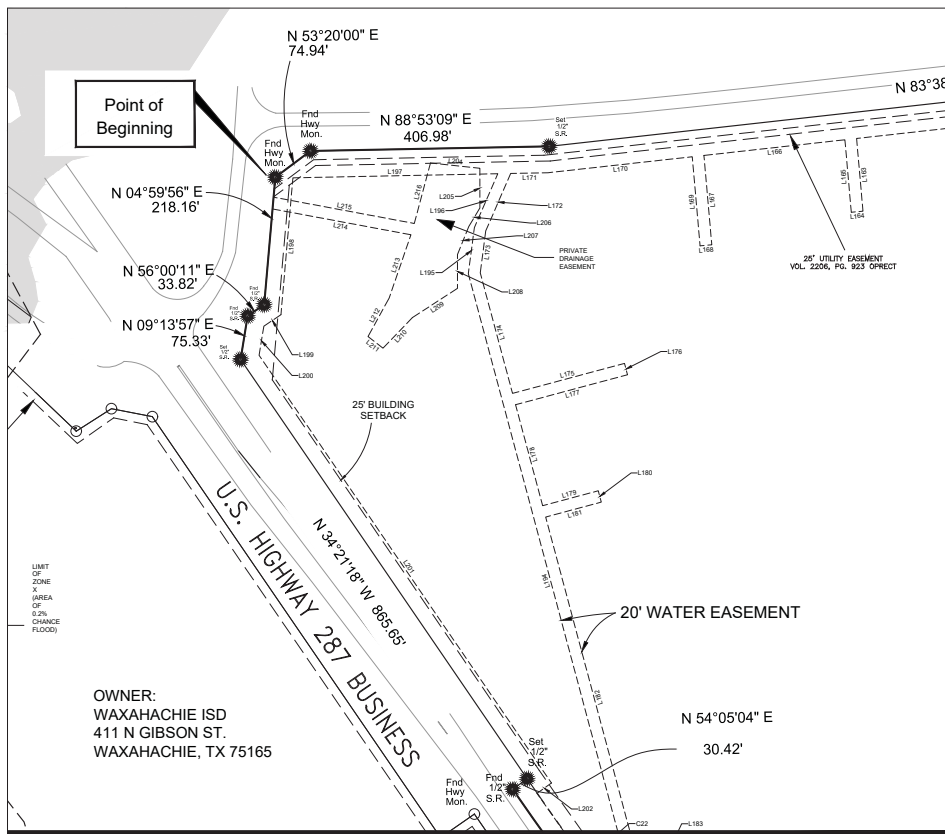
**FINAL PLAT
NEW WAXAHACHIE HIGH SCHOOL**

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411 N GIBSON ST.
WAXAHACHIE, TX 75165

SURVEYOR'S CERTIFICATE

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TELE: (214) 364-4445
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CONTACT: RODNEY MARTINEZ

**FINAL PLAT
NEW WAXAHACHIE HIGH SCHOOL**

LOT 1
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CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS



Memorandum

To: Honorable Mayor and City Council
From: Shon Brooks, Director of Planning
Thru: Michael Scott, City Manager 
Date: July 19, 2018
Re: PD-18-0079 Eastside Food Park

On July 17, 2018, the applicant requested a continuance to the August 14, 2018, Planning and Zoning Commission meeting. If granted, a continuance to the August 20, 2018, City Council meeting will also be needed.

Planning & Zoning Department

Zoning Staff Report

Case: PD-18-0079



MEETING DATE(S)

Planning & Zoning Commission: June 12, 2018

City Council: June 18, 2018

CAPTION

Public Hearing on a request by Verlin Taylor, VKT Associates, for a Zoning Change from a Commercial zoning district to **Planned Development-Commercial, with Concept Plan**, located at 1501 Dr. Martin Luther King Jr Blvd., being 272 S M DURRETT 0.3426 ACRES (Property ID 182074) - Owner: VKT ASSOCIATES LLC (PD-18-0079)

CASE INFORMATION

Applicant: Verlin Taylor, VKT Associates

Property Owner(s): VKT Associates LLC

Site Acreage: 0.3426 acres

Current Zoning: Commercial

Requested Zoning: Planned Development-Commercial

SUBJECT PROPERTY

General Location: 1501 Dr. Martin Luther King Jr. Blvd

Parcel ID Number(s): 182074

Existing Use: Currently undeveloped

Development History: S.M. Durrett Survey, Abstract No. 272

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF3	Church
East	C	Single family residence
South	C	Single family residence
West	L11	Currently undeveloped

Future Land Use Plan: Commercial

Comprehensive Plan:

Commercial areas are intended for establishments that provide services to customers. Examples include car dealerships, self-storage businesses, and repair shops. Such uses are generally not significant contributors to a municipality's tax revenue, and, by their nature, commercial businesses can detract from positive aesthetics. Primarily for these reasons, commercial uses have generally only been recommended in locations consistent with where such uses currently exist.

Thoroughfare Plan:

The site is located at the southeast intersection of Graham Street and Dr. Martin Luther King, Jr., Boulevard (Business HWY 287). MLK is a Major Thoroughfare B (110' ROW). The site has a culvert onto Graham Street.



Site Image:

PLANNING ANALYSIS

The applicant seeks to establish a food truck park business at the site to serve nearby residents and businesses. The food park would be open three days per week (Thursday through Saturday).

Staff does recognize the importance of providing food options in the area, however concerns remain with the development as proposed, including parking, and circulation within the site.

At the present time, the applicant does not plan for on-site parking of customer vehicles. The applicant has informed staff that the intent is for customers to walk to the site, and then either take their purchases to another location to eat, or to eat at the tables provided. An updated concept has been provided to staff, however, this plan has not been fully vetted. Staff does not support a plan for restaurant services outside the Central Area (CA) that do not include on-site parking, because this is a requirement in Commercial (C) zoning districts, the City has a duty to ensure that traffic to a site is contained within that site, and the City's wish to avoid the risk of customers parking along Graham Street.

Staff is concerned about the provisions for trash. At this point, the applicant intends to handle trash generated at the site via on-site trash cans, as shown on the site plan. The updated concept plan does include a dumpster, but lacks the required screening and the location has not been agreed upon. If a dumpster is installed on-site, it would need to meet the requirements set by the City's Zoning Ordinance, that it be screened by a masonry wall, with shrubbery to screen the masonry, and be in an approved location on the site.

PD DEVELOPMENT STANDARDS

The following table identifies the development standard requirements in the base zoning district in comparison to the proposed development standards for this PD.

Base Zoning Requirement	Proposed Development Standard
Paved parking lot	Multi-colored gravel that matches the décor of the food park.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 21 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 05/25/2018.

STAFF CONCERNS

1. Parking is shown on-site but must be sufficient for the development.
2. Provide parking and driveway layout to access and exit the site.

APPLICANT RESPONSE TO CONCERNS

1. Applicant met with staff and submitted revisions. The above comments remain outstanding.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☒ Denial
- ☐ Approval, as presented.
- ☐ Approval, per the following comments:
 1. If checking the last box, then include the comments recommended for P&Z and City Council to use as discussion points.

ATTACHED EXHIBITS

1. Survey
2. Concept plan
3. Strategic plan
4. Planned vendor list
5. Illustration of permanent food concession trailer
6. Photograph of permanent food concession trailer
7. Illustration of restrooms
8. Photograph of restrooms
9. Driveway culvert and site plan
10. Safety end treatment
11. Traffic control plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant must plat the property before he can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:

Kelly Dent, MPA

Planner

kdent@waxahachie.com

Reviewed by:

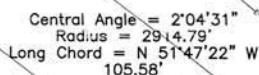
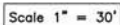
Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 12, 2018, the Commission voted to recommend continuance of zoning change PD-18-0079. Since that time, the applicant has had a number of meetings and conversations with City staff to address a number of concerns and has received confirmation from TxDOT that a driveway off MLK would not be permitted. This necessitates a large scale redesign of the site plan to account for all vehicular traffic for the site coming off Graham Street. As of this point, staff has yet to receive a resubmittal that addresses all of the City's concerns. Therefore, the recommendation remains a denial.



- LEGEND**
- | | | |
|--------|---|------------------------|
| ○ | = | Property Corner Symbol |
| Fnd. | = | Found |
| S.R. | = | Steel Rod |
| S.P. | = | Steel Pipe |
| U.E. | = | Utility Easement |
| P/P | = | Utility Pole |
| R.O.W. | = | Right of Way |
| P.O.B. | = | Point of Beginning |
| C/L | = | Centerline |
| → | = | Drainage Flow |
| X | = | Spot Elevations |

FIELD NOTES
0.3426 Acre

BEING all that certain lot, tract, or parcel of land in the S.M. DURRETT SURVEY, Abstract No. 272, in the City of Waxahachie, and being all of a called 0.26 acre tract of land described in Volume 413, Page 292, Deed Records, Ellis County, Texas, (DRECT), and all of a called 0.12 acre tract of land as described in Volume 413, Page 291, DRECT, (the two tracts of land being contiguous and herein described as one tract), and being more particularly described as follows:

BEGINNING at a 1/2" steel rod set in the intersection of the northeast line of E. Main Street, (a public road), with the southeast line of Graham Street, (a public road), for the west corner of this tract and being the current west corner of the said 0.26 acre tract;

THENCE N 60°00'00" E, 172.21 feet, (Deed - Record bearing basis, 187.6 feet), along the northwest line of this tract and same for the said 0.26 acre tract and along the southeast line of Graham Street to a 1/2" steel rod found for the north corner of this tract and same for the said 0.26 acre tract and being the west corner of a tract of land conveyed to R. McCullar and recorded in Volume 478, Page 59, DECEIT;

TRACT S 29°57'42" E, (D=142 - S 30° E), along the northeast line of this tract and same for the 0.24 acre tract and along the southwest line of the McCuller Tract at approximately 55 feet pass the east corner of the 0.26 acre tract and the north corner of the called 0.12 acre tract, continuing along the northeast line of the called 0.12 acre tract, in all, 98.03 feet to a 1/2" steel rod found for the east corner of the called 0.12 acre tract and same for this tract and being the south corner of the McCuller Tract and which is the northeast corner of a tract of land conveyed to M. Haywood by deed and as recorded in Volume 4213, Page 139, DIRECT.

THENCE S 60°00'00" W, 132.95 feet, (Deed - Same bearing, 145.8 feet), along the southeast line of this tract and same for the said 0.12 acre tract along the southeast line of the said Haywood Tract to a 1/2" steel rod set in the northeast line of E. Main Street and the southwest corner of this tract, the current south corner of the said 0.12 acre tract and being the current west corner of the said Haywood Tract and also which lies in a curved line oriented counter clockwise and whose radius point bears S 39°14'53" W;

THENCE along the arc of said curve and southwest line of the 0.12 acre tract and the 0.26 acre tract and along the northeast line of E. Main Street as follows: (Central Angle = 2°04'31"; Radius = 2914.79 feet; Long Chord = N 51°47'22" W, 105.58 feet), at approximately 36.95 feet pass the current west corner of the 0.12 acre tract and the current south corner of the called 0.65 acre tract, in all, 105.58 feet to the POINT OF BEGINNING and containing approximately 0.3426 acre of land.

SURVEYORS CERTIFICATE

TO THE LIEN HOLDERS AND/OR THE OWNERS AND/OR THE PURCHASERS OF THE

PREMISES SURVEYED AND TO:

I hereby certify that in May, 2004, this survey was made on the ground as per the field notes shown on this survey and is true, correct and accurate as to the boundaries and areas of the subject property and the size, location and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way.

Except as shown on the survey, there are no encroachments upon the subject property by improvements on adjacent property, there are no encroachments on adjacent property, streets or alleys by any improvements on the subject property and there are no conflicts or protrusions.

I further certify to the following conditions:

1. That no portion of the said tract lies within a Special Flood Hazard Boundary according to the Flood Insurance Rate Map for Ellis County, Texas. Community # 4813900185 D.
2. This survey reflects the above ground (visible) location of utilities. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service, or abandoned. Further, the surveyor does not warrant that the above ground location of utilities is the exact location indicated on the Underground utilities which may affect this property were not located during the course of this survey, but has made an attempt to locate as accurately as possible any underground utility indicated by above ground evidence.
3. Information in parenthesis are from public records (Deed colls).
4. Bearing sources are as per record plot or field notes description.
5. This survey was prepared in conjunction with _____ Commitment for Title Insurance, G.F. No. _____, dated _____, 2004. The easements, rights-of-way, or other exceptions stated herein are according to the Schedule B therein. The surveyor has not abstracted the property. Based on the easements or other _____ furnished by the aforesaid title company, the following do not appear to affect the subject property:

7. This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B Condition 4 Survey.

Walter Keven Davis, R.P.L.S. # 4466
Davis & McMill

5/24/04

Dist



SURVEY PLAT
0.3426 Ac.

S.M. Duritt Survey, Abst. 272
City of Waxahachie
Ellis County, Texas

REVISIONS	BY

DAVIS & McDILL, Inc.

ENGINEERS
D&M
SURVEYORS

Date: 5/24/04

Scale: $1'' = 30'$

Drawn: WKD

Job: 204-0422

Sheet 1

of 1 sheets.

***Illustration not to scale.
Measurements provided on
supporting documents.***



EASTSIDE FOOD PARK – STRATEGIC PLAN

Our Mission

EASTSIDE Food Park (EFP) will provide a variety of foods such as seafood, BBQ, pasta, chicken, sandwiches and bakery items with complementary prices. Management will build relationships with specialty food truck vendors. EFP will foster relationships with organizations and businesses who prefer food delivered for lunch and during special events.

Our Core Values

- 1) Client focus - EFP wants all vendors to provide great customer service and a good experience for Waxahachie residents and out of town visitors
- 2) Integrity – maintain honesty and respect for individuals and businesses
- 3) Leadership – employ food consultants to enhance the operations of the food park
- 4) Professionalism – to be professional in our actions to residents and business owners
- 5) Excellence – continue to pursue knowledge and keep staff trained to improve efficiency
- 6) Community service – find one or two schools in the area to support. (**Turner, Oliver E Clift**)

Competitive Advantages

- 1) Opportunity for growth as the east side of town is developed
- 2) Advanced POS systems will be used to increase sales, offer promotions and engage with third party vendors
- 3) Management and consultant staff have over 18 years of experience
- 4) Permanent location with no current competition to serve
 - a. Up to 3,719 estimated residents within one mile of food park (**pop fact demographics**)
 - b. Percentage of 1,537 daily drivers on MLK by driver license office (**TXDOT traffic count**)
 - c. Percentage of 24,530 drivers on 287 Bypass from Ennis, Corsicana or Rice who may cut through Park School Road headed to downtown Waxahachie (**TXDOT traffic count**)
 - d. Driver license customers and industrial business employees on MLK.

Organization – Wide Strategies

2018 -

- Open food park between late September and October 15th
- Join Waxahachie Chamber of Commerce in August or September
- Build relationships with 3 to 5 food truck vendors
- Service residents in the immediate area
- Offer discounts to groups for lunch in the area.

2019 -

- Execute market strategy to offer food throughout the city of Waxahachie
- Build permanent relationships with 5 food truck vendors
- Participate in city-wide events.

Planned vendor use for development

*Texas Tree Farms
Waxahachie, Texas*

Purpose: Red Oak, Chinese Pistache, Crape Myrtle trees and irrigation

*Mueller, Inc
Waxahachie, Texas*

Purpose: Material for 300 square foot steel building for beverage serving

*Randy Hughes
Former Commander
VFW Post 3894*

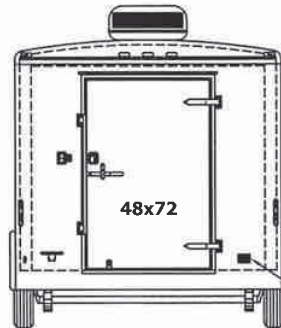
Purpose: Excavation, gravel, concrete pads for permanent concession trailer, restroom and steel building

*Davis & MCDill
Waxahachie, Texas*

Purpose: Create plans for submission to TXDOT for driveway approach

*Venus Construction
Mansfield, Texas*

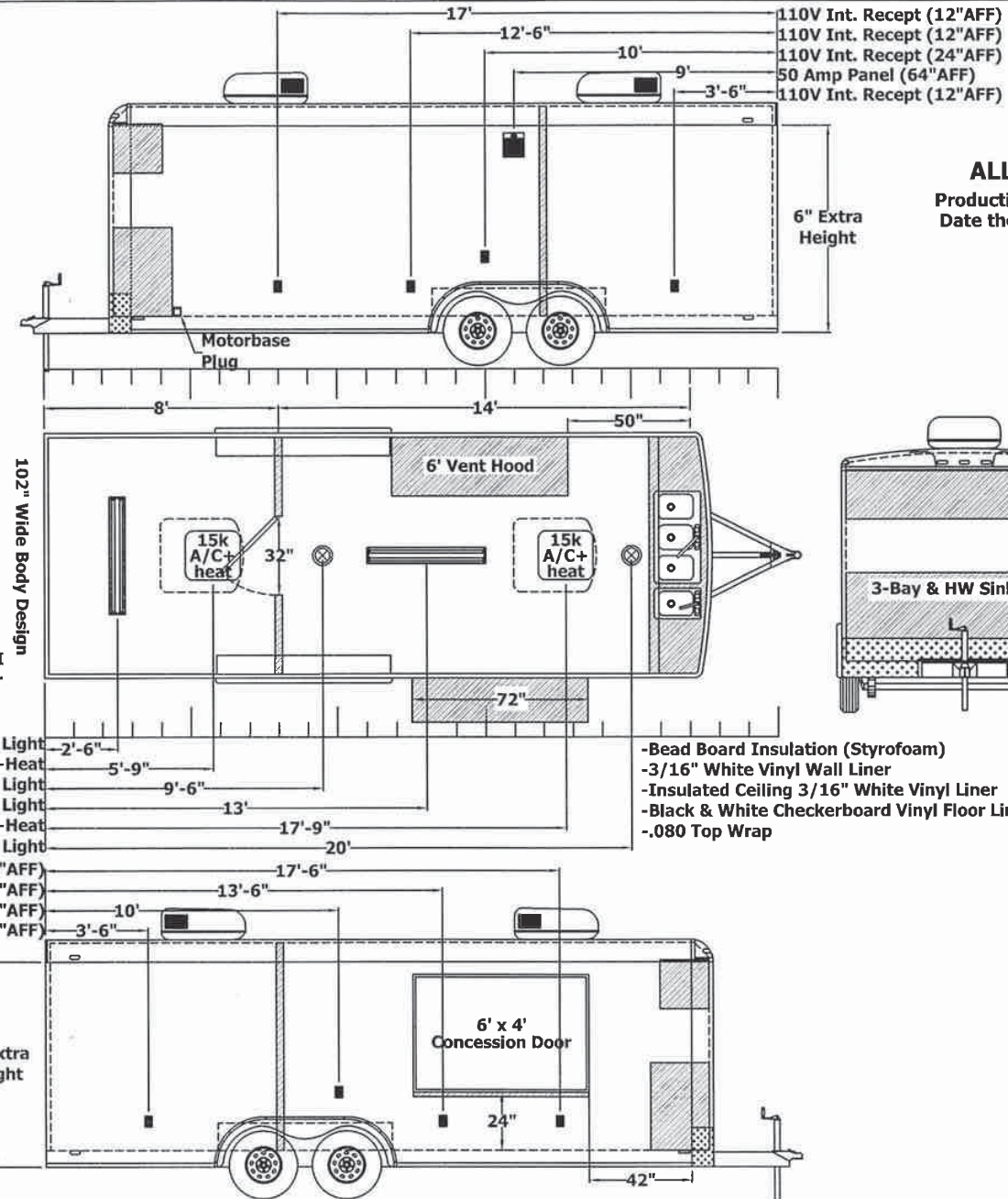
Purpose: Construction of driveway approach



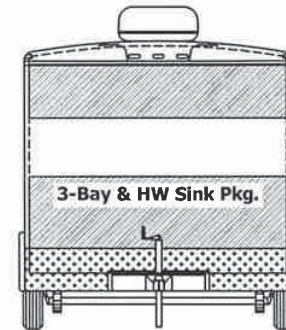
Exterior GFCI
(Behind Door
Swing)

48" Fluorescent Light
15K A/C+Heat
Dome Light
48" Fluorescent Light
15K A/C+Heat
Dome Light
110V Int. Recept (12"AFF)
110V Int. Recept (12"AFF)
110V Int. Recept (24"AFF)
110V Int. Recept (12"AFF)

6" Extra
Height



6" Extra
Height



3-Bay & HW Sink Pkg.

-Bead Board Insulation (Styrofoam)
-3/16" White Vinyl Wall Liner
-Insulated Ceiling 3/16" White Vinyl Liner
-Black & White Checkerboard Vinyl Floor Liner
-.080 Top Wrap

Salesman Signature

Dealer Signature

Customer Signature

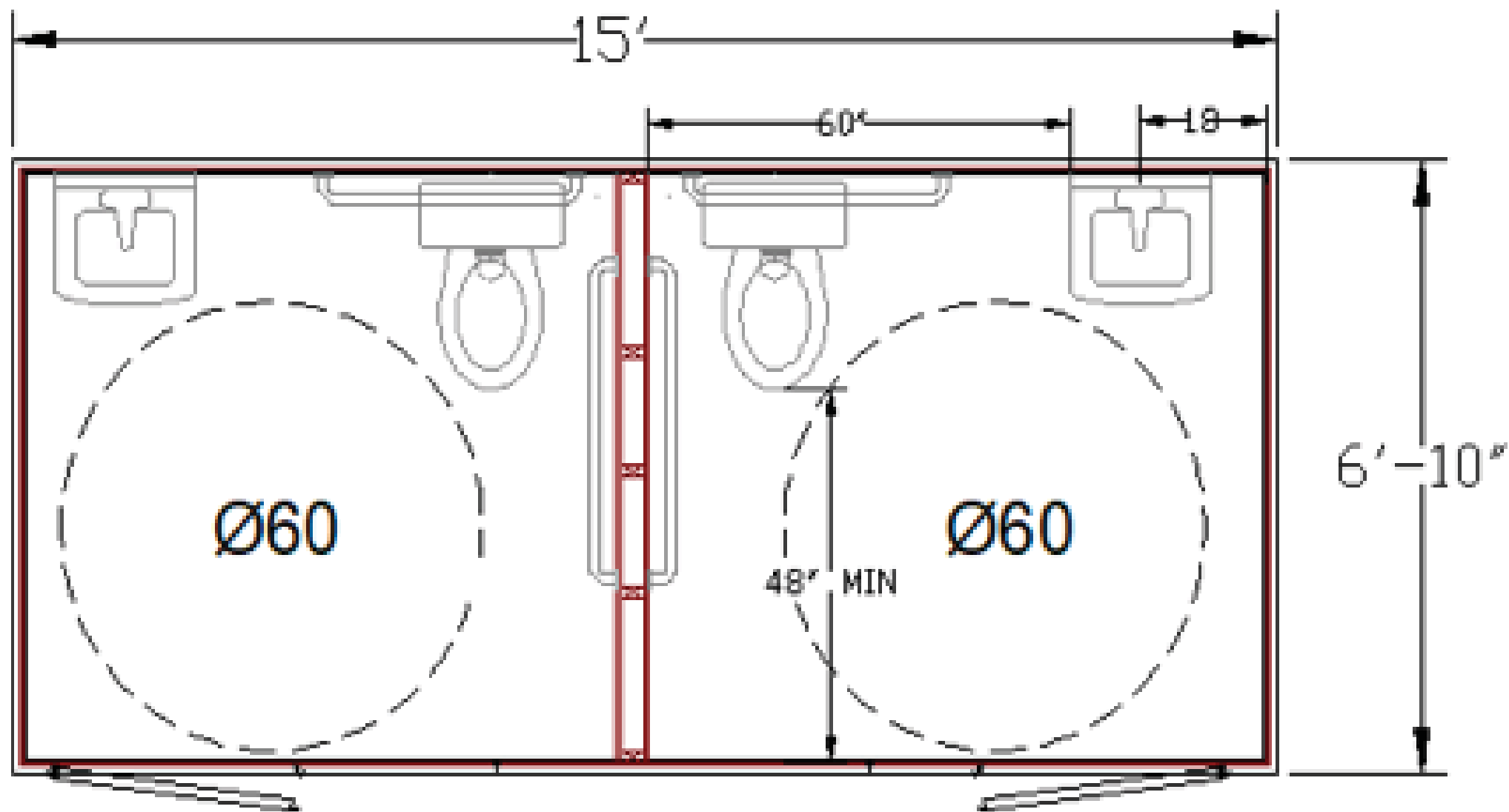
ALL Signatures Required

Production Lead Times Based on the
Date the Order and Print are Signed
Drawn By: CB

ACTUAL PRODUCT MAY VARY SLIGHTLY FROM THIS PRINT

This drawing contains private and confidential information that is property of Forest River Inc., a Berkshire Hathaway company.





Double ADA Park Model Skid Unit | Sierra Series



Portable Restroom
Trailer, LLC
Mobile Restroom Trailers

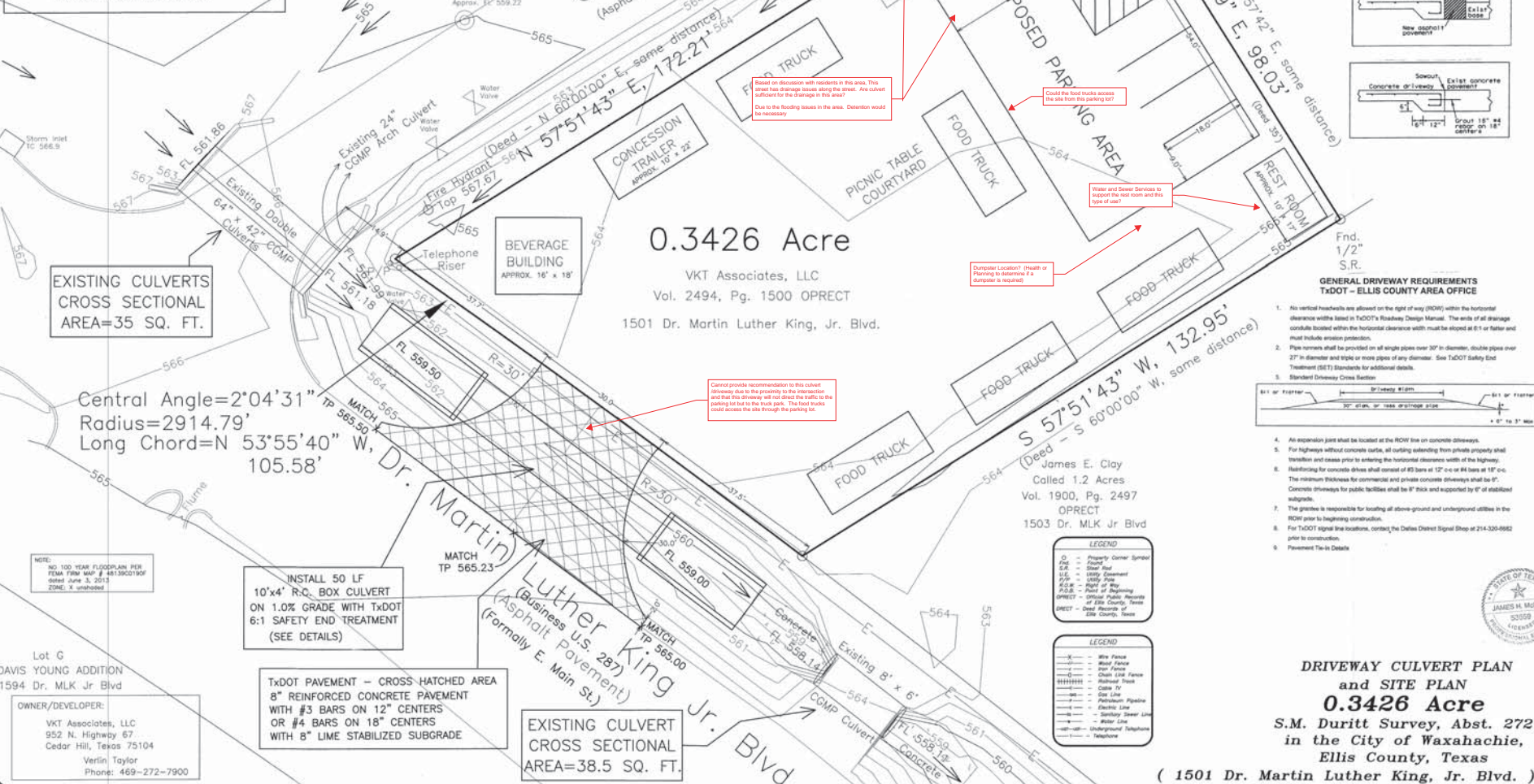
CULVERT DRAINAGE CALCULATIONS				
Drainage Area	Acres	Runoff Coeff. (C)	Time of Conc. min.	Rainfall Intensity in/hr cfs 10yr/25yr/100yr
A	18.0	0.50	30	4.10/4.74/5.74
				10yr/25yr/100yr
				36.8/42.7/51.7

- NOTE:
1. PER TxDOT REQUIREMENTS, A 4:1 SIDE SLOPE MINIMUM SHALL BE MAINTAINED BY THE DEVELOPER.
 2. BERMUDA GRASS SOD SHALL BE ESTABLISHED IN ALL DISTURBED AREAS OF TxDOT R.O.W.
 3. THE SLOPE FOR SAFETY END TREATMENTS FOR CULVERTS SHALL BE 6:1 OR FLATTER.
 4. APPROXIMATE TRAFFIC CONTROL IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES IS REQUIRED FOR ALL WORK WITHIN STATE RIGHT OF WAY (ROW). SEE DETAILS FOR TxDOT TRAFFIC CONTROL PLAN.

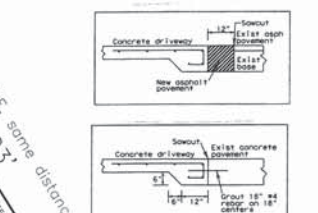
Lot 4A, Block 19
H. I. NOWLIN ADDITION
1415 Dr. MLK Jr Blvd



Lot 4B, Block 19
H. I. NOWLIN ADDITION
103 Graham St.



DRAINAGE AREA MAP SCALE : 1" = 1000'



GENERAL DRIVEWAY REQUIREMENTS TxDOT - ELLIS COUNTY AREA OFFICE

1. No vertical headwalls are allowed on the right of way (ROW) within the horizontal distance within the based in TxDOT's Roadway Design Manual. The ends of all drainage culverts located within the horizontal distance must be sloped at 6:1 or flatter and must include erosion protection.
2. Pipe names shall be provided on all single pipes over 36" in diameter, double pipes over 27" in diameter and triple or more pipes of any diameter. See TxDOT Safety End Treatment (SET) Standards for additional details.
3. Standard Driveway Cross Section
4. An expansion joint shall be located at the ROW line on concrete driveways.
5. For highways without concrete curbs, all curbing extending from private property shall transition and cease prior to entering the horizontal distance within the ROW.
6. Reinforcing for concrete drives shall consist of #3 bars at 12" o.c. or #4 bars at 18" o.c. The minimum thickness for commercial and private concrete driveways shall be 8". Concrete driveways for public facilities shall be 8" thick and supported by 6" of established subgrade.
7. The owner is responsible for locating all above-ground and underground utilities in the ROW prior to beginning construction.
8. For TxDOT signal line locations, contact the Dallas District Signal Shop at 214-320-0962 prior to construction.
9. Paved to the Details



DRIVEWAY CULVERT PLAN and SITE PLAN
0.3426 Acre
S.M. Duritt Survey, Abst. 272
in the City of Waxahachie,
Ellis County, Texas
(1501 Dr. Martin Luther King, Jr. Blvd.)

REVISIONS BY

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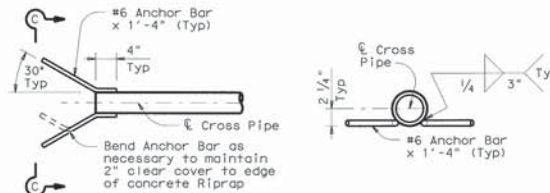
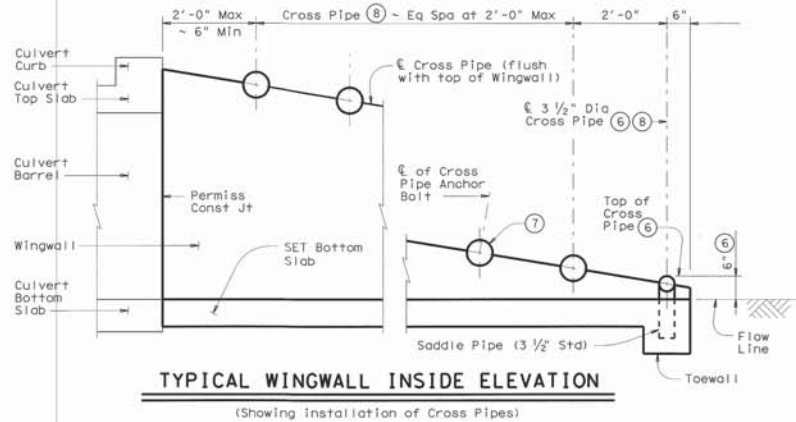
D&M DAVIS & MCDILL, Inc.
ENGINEERS

(A Texas Licensed engineering firm # F-6439)
P.O. BOX 426, Waxahachie, Texas 75168
Phone: Metro 972-337-1185 Fax: 972-337-0307

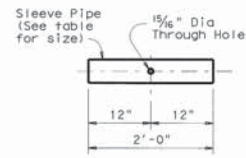
Date: 06-20-18
Scale: 1" = 10'
Drawn: AMB
Job: 218-0061
Sheet 1
of 2 sheets.

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT shall not be liable for any damages, including consequential damages, resulting from its use.

LEVELS EXHAUSTIVE



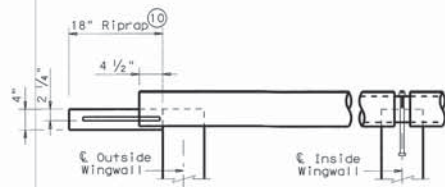
OPTIONAL ANCHOR BAR DETAILS



SLEEVE PIPE DETAILS (9)

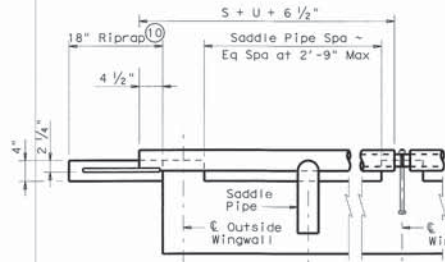
REQUIRED PIPE SIZES (8)			STANDARD PIPE SIZES		
Culvert Span Sizes	Cross Pipe Size	Sleeve Pipe Size (9)	Pipe Size	Pipe O.D.	Pipe I.D.
First Pipe	3 1/2" STD	2 1/2" STD	2 1/2" STD	2.875"	2.469"
30" to 42"	4" STD	3" STD	3" STD	3.500"	3.068"
48" to 72"	5" STD	4" STD	3 1/2" STD	4.000"	3.548"
78" to 120"	6" STD	5" STD	4" STD	4.500"	4.026"
			5" STD	5.563"	5.047"
			6" STD	6.625"	6.065"

- (6) The proper installation of the first Cross Pipe is critical for vehicle safety. The top of the first Cross Pipe must be placed at no more than 6" above the flow line.
- (7) The third Cross Pipe from the bottom of the Culvert shall always be installed using a bolted connection. Care shall be taken to ensure that concrete does not flow into this Cross Pipe so as to permit disassembly of the bolted connection to allow cleanout access.
- (8) Cross Pipes and Sleeve Pipes (if required) shall be as shown in the REQUIRED PIPE SIZES table. Saddle Pipes for the 3 1/2" first Cross Pipe shall also be 3 1/2".
- (9) At Contractor's option, the Cross Pipe may be continuous across the Inside Wingwalls. If such option is selected, the Sleeve Pipe shall be omitted and a 1 5/8" diameter through hole made in the Cross Pipe to accept the anchor bolt at the centerline of each Interior Wingwall.
- (10) Riprap will be required when using the optional Anchor Bar details and shall be included in the Price Bid for Safety End Treatment. Such Riprap shall be concrete Riprap in accordance with Item 432, "Riprap".

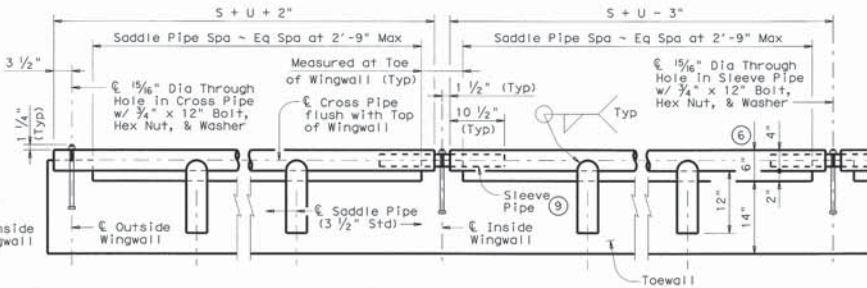


SECTION THROUGH INSTALLATION OF TYPICAL FULL CROSS PIPE

(Anchor details and dimensions are similar to those shown below in SECTION THROUGH INSTALLATION OF 3 1/2" FIRST CROSS PIPE detail.)



OUTSIDE CULVERT BARREL WITH OPTIONAL ANCHOR BARS & RIPRAP



SECTION THROUGH INSTALLATION OF 3 1/2" FIRST CROSS PIPE

OUTSIDE CULVERT BARREL WITH BOLTED ANCHOR

INSIDE CULVERT BARREL

CROSS PIPE INSTALLATION DETAILS

SHEET 2 OF 2

Texas Department of Transportation
Bridge Division
**SAFETY END TREATMENT
FOR BOX CULVERTS
(MAXIMUM Hw = 7'-0")
TYPE I - PARALLEL DRAINAGE**

SETB-PD

FILED: setbpdus.dgn	DN: GAT	CHK: CAT	DN: JRP	CHK: GAT
11/00/01 May 2005	DISTRICT	FEDERAL AID PROJECT	SHEET	
REVISIONS	COUNTY	PORTAL	DECT	JOE
08-031 Note C.				

SHEET 2-B

Planning & Zoning Department

Zoning Staff Report

Case: SU-18-0114



MEETING DATE(S)

Planning & Zoning Commission: July 24, 2018

City Council: August 6, 2018

CAPTION

Public Hearing on a request by Chad Hill for a Specific Use Permit (SUP) for **Accessory Building (Residential), Greater than or Equal to 700 S.F.** use within a Planned Development-23-Single Family-1 zoning district, located at 141 Willowcrest, LOT 11A LAKEVIEW-REV 1.23 AC (Property ID 174724) - Owner: HILL CHAD W & CASI L (SU-18-0114)

CASE INFORMATION

Applicant: Chad Hill

Property Owner(s): Chad W & Casi L Hill

Site Acreage: 1.23 acres

Current Zoning: Planned Development-23-Single Family-1

Requested Zoning: Planned Development-23-Single Family-1 with SUP

SUBJECT PROPERTY

General Location: 141 Willowcrest

Parcel ID Number(s): 174724

Existing Use: Single family residence and accessory structure

Development History: The Lakeview Addition was approved by City Council March 5, 1979.

Case No.	Direction from Site	Request	Result
FP-17-0019	North	FP of 28 residential lots	Approved, March 20, 2017

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	PD-23-SF1	Currently undeveloped, Homestead Estates, Lot 13, Block A
East	PD-23-SF1	Single family residence
South	PD-23-SF1	Lake Waxahachie
West	PD-23-SF1	Single family residence

Future Land Use Plan:

Estate Residential

Comprehensive Plan:

This use is representative of traditional, single-family detached dwellings on large lots that are over one acre in size. This type of land is envisioned to primarily be located in the southern portion of the City and in the ETJ area south and west of Waxahachie.

Thoroughfare Plan:

This site is accessed via Willowcrest, a local street.



Site Image:

PLANNING ANALYSIS

The applicant seeks to expand an accessory structure on the property. The structure in question was erected without a specific use permit (SUP) or a building permit, and does not conform to the standards set by the City's current or prior Zoning Ordinances.

According to the Ellis Appraisal District, the accessory structure in question was erected in 2016, and is approximately 1,131 square feet in size. An accessory structure of that size must receive a Specific Use Permit prior to obtaining a building permit. The structure is constructed of metal, though accessory structures over 500 square feet in size are required to match the main structure on the lot (in this case, the residence) in appearance and construction materials. This means that this is a nonconforming structure.

Per the City's current Zoning Ordinance, Section 2.01 (e) (iv), nonconforming structures may be enlarged or expanded if the enlargement or expansion can be made in compliance with all of the provisions of this Code established for structures in the Single-Family-1 zoning district. Any proposed enlargement or expansion is subject to all City ordinances.

It must be noted that the current homeowner (applicant) purchased the property in 2017. Therefore the current owner was not responsible for the construction of the building without permit. It is the applicant's goal to improve the street facing accessory building's façade with hardi-plank and stone, matching the homes façade. Additional consideration may be made to further bringing the structure into compliance with a wainscoting requirement for the proposed street facing sides and existing building.

An item of note is the approval of the final plat for the Homestead Estates, directly north of this property. This will become a much more visible area of the City, requiring efforts to bring nonconforming uses and structures into compliance.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 8 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 07/06/2018

STAFF CONCERNS

1. This is a nonconforming structure, erected without a Specific Use Permit or Building Permit. Bringing the building in question into compliance, or to leave the building as-is, are methods for meeting the requirements of the City's Zoning Ordinance.

APPLICANT RESPONSE TO CONCERNS

1. Applicant has been informed of concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Additional consideration is required.

ATTACHED EXHIBITS

1. Site plan
2. Building plan
3. Survey
4. Neighbors' petition
5. Metal buildings in the area

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:

Kelly Dent, MPA

Planner

kdent@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com

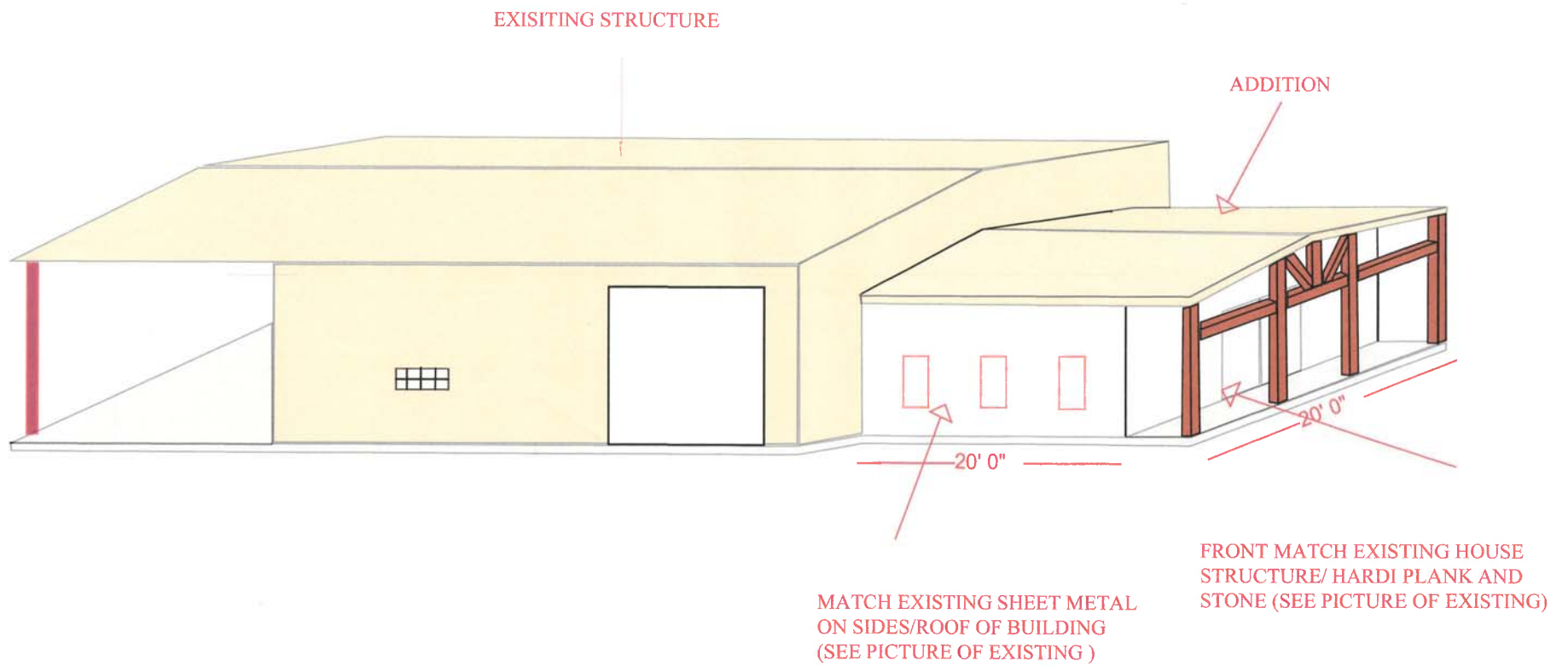
141 WILLOWCREST DR.
WORK SHOP ADDITION

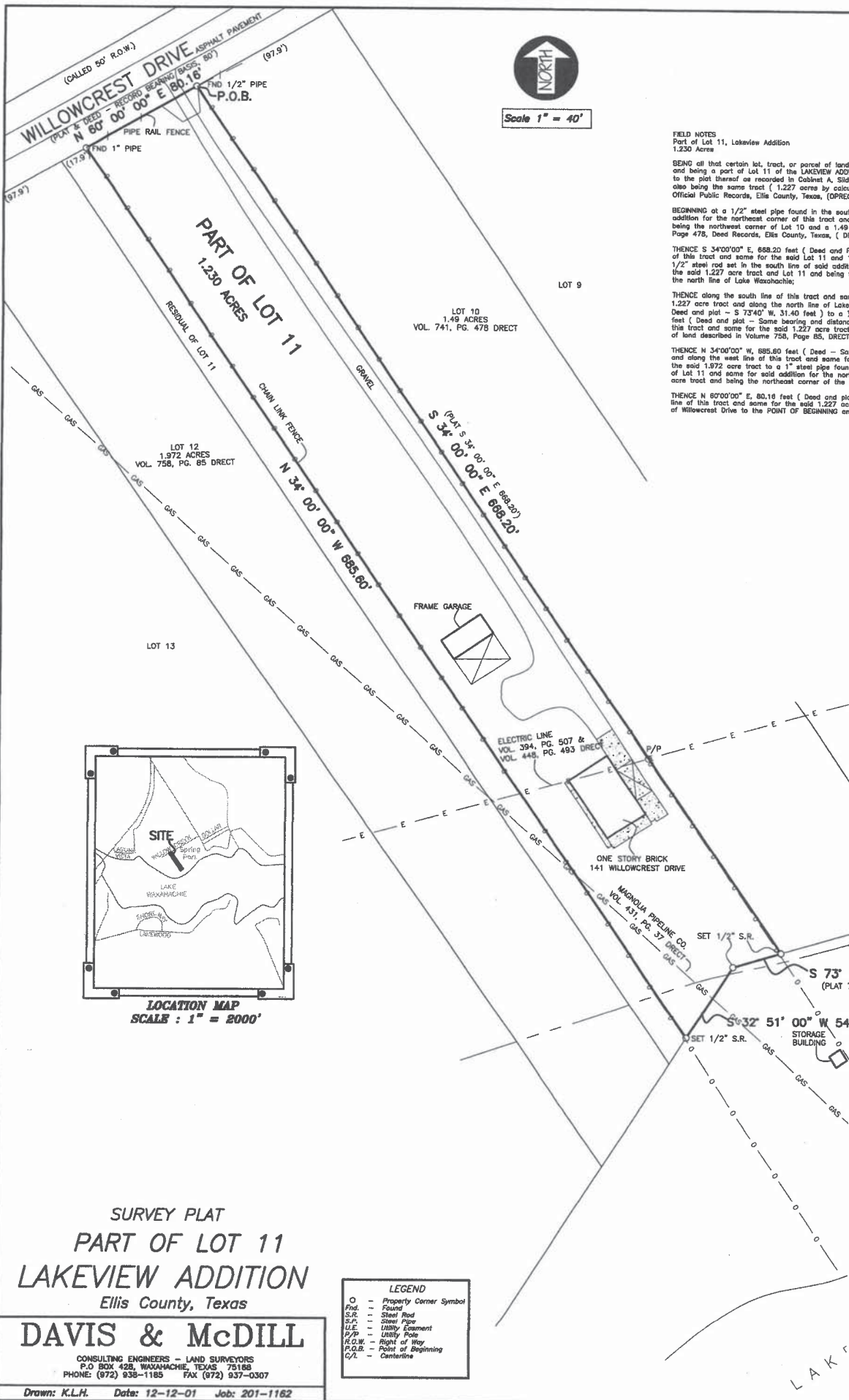
- Legend**
- 4" CONCRETE PAVING
 - ADDITION AND PORCH
 - LANDSCAPE/SOD AREA
 - METAL/WOOD FENCE

Google Earth
©2019 Google

100 ft

1" = 60'





Chad & Casi Hill

141 Willowcrest Dr.
Waxahachie, TX 75165
(214) 232-6855
hill.chadw@yahoo.com

RECEIVED
7/12/18

July 10, 2018

City of Waxahachie, Texas

Case Number: SU-18-0114

Public Hearing Dates/Times:

Tuesday, July 24, 2018 at 7pm - Planning & Zoning Commission Public Hearing

Monday, August 6, 2019 at 7pm - City Council Public Hearing

Dear Neighbors,

We appreciate and value your support to the add-on to our existing storage building. By signing below you show that you are in **support** for our Specific Use Permit (SUP) for Accessory Building (Residential) located at 141 Willowcrest Dr., LOT 11A Lakeview-Rev 1.23 AC (Property ID 174724) - Owner: Chad W and Casi L Hill - Case Number SU-18-0114

Sincerely,

Chad & Casi Hill

Chad & Casi Hill

Printed Name:

Signature:

Address:

Date:

Chad & Casi Hill *Chad & Casi Hill* 141 Willowcrest Dr. Waxahachie 7-10-18

Delwyn & Maria Dishman *Delwyn Dishman* 145 Willowcrest 7/10/18

Barbie Humphrey *Barbie Humphrey* 137 Willowcrest 75165 7-10-18

Randy & Catherine Hudgins *Randy & Catherine Hudgins* 149 Willowcrest Waxahachie TX 7/10/18

Mark & Sheryl *Mark & Sheryl* 125 Willowcrest " 7/11/18
133 Willowcrest

Bill Eschen *Bill Eschen* 152 Willowcrest " 7/12/18

Owner's Name	Owner's Address	Owner's City	Owner's State	Owner's ZIP
ESSELMAN BILL D & WYLIE JAMIE N	1209 S ROGERS ST	WAXAHACHIE	TX	75165
HUMPHREY ELMER H & BARBARA D	137 WILLOWCREST	WAXAHACHIE	TX	75165
LEWALLEN DANIEL D & HANH H	140 WILLOWCREST	WAXAHACHIE	TX	75165
HILL CHAD W & CASI L	141 WILLOWCREST	WAXAHACHIE	TX	75165
DISHMAN DELWYN D & MARIA E	145 WILLOWCREST	WAXAHACHIE	TX	75165
HUDGINS RANDALL & CATHERINE	149 WILLOWCREST	WAXAHACHIE	TX	75165
WAXAHACHIE HOMESTEAD ESTATES LLC	6031 W I20 STE 226	ARLINGTON	TX	76017
SINGLETON GEORGE H & SHIRLEY K IRREVOCABLE TRUST	PO BOX 717	WAXAHACHIE	TX	75168

141 WILLOWCREST DR.

EXISTING AREA METAL STRUCTURES

Legend

METAL BUILDING

METAL BUILDING

SUBJECT PROPERTY

METAL BUILDING

METAL BUILDING

Mitchell Ave

METAL BUILDING

METAL BUILDING

Old Italy Rd

Laguna Vista Rd

Lakeshore Dr

Dollar Ct



1000 ft

Google Earth

© 2018 Google



CASE SU-18-0114

SUPPORT 1

OPPOSE 0

Public Hearing on a request by Chad Hill for a Specific Use Permit (SUP) for **Accessory Building (Residential), Greater than or Equal to 700 S.F.** use within a Planned Development-23-Single Family-1 zoning district, located at 141 Willowcrest, LOT 11A LAKEVIEW-REV 1.23 AC (Property ID 174724) - Owner: HILL CHAD W & CASI L (SU-18-0114)

SUPPORT

1. Delwyn Dishman, 145 Willowcrest Drive, Waxahachie, TX 75165
“Do not oppose!”
