

**NOTICE OF CITY COUNCIL BRIEFING SESSION
JUNE 17, 2019
CITY COUNCIL CONFERENCE ROOM
401 S. ROGERS
WAXAHACHIE TEXAS
5:30 P.M.**

Agenda

Council Members: David Hill , Mayor
Mary Lou Shipley, Mayor Pro Tem
Chuck Beatty, Councilmember
Kevin Strength, Councilmember
Melissa Olson, Councilmember

1. Call to Order
2. Conduct a briefing to discuss agenda items for the 7:00 p.m. regular meeting
3. Adjourn

This meeting location is wheelchair-accessible. Parking for mobility impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4005 or (TDD) 1-800-RELAY TX

A G E N D A

A regular meeting of the Mayor and City Council of the City of Waxahachie, Texas to be held in the Council Chamber at City Hall, 401 S. Rogers on ***Monday, June 17, 2019 at 7:00 p.m.***

Council Members: David Hill, Mayor
Mary Lou Shipley, Mayor Pro Tem
Chuck Beatty, Councilmember
Kevin Strength, Councilmember
Melissa Olson, Councilmember

1. Call to Order
2. Invocation
3. Pledge of Allegiance and Texas Pledge of Allegiance
4. ***Consent Agenda***

All matters listed under Item 4, Consent Agenda, are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Mayor/City Manager to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the City Council.

- a. Minutes of the City Council meeting of June 3, 2019
- b. Minutes of the City Council briefing of June 3 2019
- c. Approval of WCDC recommendation for Phase 2 of Hachie Hearts and Mural projects
- d. Approval of Supplemental Appropriation for Human Resources – Professional Services
- e. Approval of Supplemental Appropriation for Administration – Summer Intern
- f. Approval of establishing an Emergency Management Department and Operating Budget for Fiscal Year 2018-2019
- g. Juneteenth Parade to be held on June 19, 2019
- h. Juneteenth Celebration at Lee Penn Park to be held on June 22, 2019
- i. Arbor at Willow Grove Summer BBQ & Pool Party to be held on June 29, 2019
- j. Fireworks event at The Avenue Church to be held on June 29, 2019
- k. Community Street Dance (Oak Lawn Reunion) to be held on July 4, 2019
- l. Oak Lawn Memorial Celebration and High School Reunion Parade to be held on July 6, 2019

5. ***Introduce*** Honorary Councilmember
6. ***Consider*** request by Juan Carlos Flores, Flores Homes INC, for a Preliminary Plat of Clift Estates Phase V for 21 lots, being 7.356 acres situated in the Silas M. Durrett Survey, Abstract 272 (Property ID 239606) – Owner: JUAN C FLORES (PP-19-0058)

7. **Consider** request by Vernon L. Witherspoon, FirstLook, for a PETITION TO EXTEND APPROVAL pursuant to Appendix C – Subdivisions, Section 2.3 – Procedures and Submission Requirements for Preliminary Plat Approval of PP-17-0088 Lakeridge II (Property ID 186874) – Owner: FERRIS AVENUE BAPTIST DBA THE AVENUE (PP-19-0064)
8. **Public Hearing** on a request by James Bledsoe for a Replat of Lot 9A, Whispering Meadows Addition, to create Lots 9A-1 and 9A-2, Whispering Meadows Addition, 4.997 acres (Property ID 210307) in the Extra Territorial Jurisdiction – Owner: JAMES BLEDSOE AND NETA BLEDSOE (RP-19-0059)
9. **Consider** approving RP-19-0059
10. **Continue Public Hearing** on a request by Michael Evans, GSW Land Surveyors, for a Replat of a portion of Lots 3 and 4 and all of Lot 5, Block 14, West End, to create Lot 5R, Block 14, West End, 4.478 acres (Property ID 176761 and 176763) – Owner: CHRISTOPHER L GLEASON (RP-19-0051)
11. **Consider** approving RP-19-0051
12. **Continue Public Hearing** on a request by Brett Hess, Hi View Real Estate, for a Replat of Lot 1, Americase Business Park, to create Lots 1A, 1B, 1C, and 1D, Americase Business Park, 10.71 acres (Property ID 273983) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0055)
13. **Consider** approving RP-19-0055
14. **Continue Public Hearing** on a request by Brett Hess, Hi View Real Estate, for a Replat of Lot 4, Americase Business Park, to create Lots 4A and 4B, Americase Business Park, 6.06 acres (Property ID 273986) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0056)
15. **Consider** approving RP-19-0056
16. **Public Hearing** on a request by Edwin Walker, Standard ECO, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Single Family Residential-2 zoning district, located at 1565 Reserve Road (Property ID 265966) – Owner: LOUIE C RODRIGUEZ (SU-19-0060)
17. **Consider** proposed Ordinance approving SU-19-0060
18. **Public Hearing** on a request by Ben Martinez, Kosmos Solar, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Single Family Residential-2 zoning district, located at 129 Liberty Way (Property ID 242010) – Owner: ROBERT & JANET LESIKAR (SU-19-0065)
19. **Consider** proposed Ordinance approving SU-19-0065
20. **Consider** a request by Blain Vinson, Aspen Community Development, for a Site Plan Review of The Cottages on Cantrell located East of 865 Cantrell Street (Property ID 244351) - Owner: SAP PROPERTIES LLC (SP-19-0076)

21. **Public Hearing** on a request by Chris Acker, Southfork Capital LLC, for a Zoning Change from a Commercial zoning district to Planned Development-Single-Family Residential-3, with Detailed Site Plan, located at 500 Dunaway (Property ID 172322) - Owner: SOUTHFORK CAPITAL LLC (PD-19-0062)
22. **Consider** proposed Ordinance approving PD-19-0062
23. **Public Hearing** on a request by Chris Acker, Southfork Capital LLC, for a Replat of Lot 1B, Block 1, Bullards Addition, to create Lots 1-8, Block A, Payton's Place Addition, 1.031 acres (Property ID 172322) – Owner: SOUTHFORK CAPITAL LLC (RP-19-0063)
24. **Consider** approving RP-19-0063
25. **Public Hearing** on a request by Maxwell Fisher, AICP, Masterplan, for a Zoning Change from a Future Development zoning district to Planned Development-Commercial, with Detailed Site Plan, located at 3502 N Highway 77 (Property ID 193323, 209693, and 151344) - Owner: LOCKWOOD PROPERTIES LLC (PD-19-0057)
26. **Consider** proposed Ordinance approving PD-19-0057
27. **Public Hearing** on a request by Joy Ranton, Daniel's Den, for a Zoning Change from a Planned Development-28-General Retail zoning district to Planned Development-General Retail, with Concept Plan, to allow a Household Care Facility located at 512 N College Street (Property ID 170716) - Owner: ALFRED A & RHONNIE D TOMPKINS (PD-19-0066)
28. **Consider** proposed Ordinance approving PD-19-0066
29. **Consider** proposal from Blue Cross Blue Shield to provide employee major medical insurance and plan administration for Fiscal Year 2019-20; authorizing the City Manager to negotiate and execute a contract with Blue Cross Blue Shield, following review by the City Attorney
30. **Consider** proposal from Cigna to provide employee dental insurance and plan administration for Fiscal Year 2019-20; authorizing the City Manager to negotiate and execute a contract with Cigna, following review by the City Attorney
31. **Consider** award of bid for Spring Park parking lot project to J&K Excavation
32. **Consider** award of bid to Circle H Contractors, L.P. for the construction of the FM 664 Water Line Project
33. **Public Comments:** Persons may address the City Council on any issues. This is the appropriate time for citizens to address the Council on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Council may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code
34. Comments by Mayor, City Council, City Attorney and City Manager

35. Adjourn

The City Council reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4005 or (TDD) 1-800-RELAY TX

A regular meeting of the Mayor and City Council of the City of Waxahachie, Texas was held in the Council Chamber at City Hall, 401 S. Rogers on Monday, June 3, 2019 at 7:00 p.m.

Council Members Present: David Hill, Mayor
Mary Lou Shipley, Mayor Pro Tem
Chuck Beatty, Councilmember
Kevin Strength, Councilmember
Melissa Olson, Councilmember

Others Present: Michael Scott, City Manager
Albert Lawrence, Assistant City Manager
Tommy Ludwig, Assistant City Manager
Robert Brown, City Attorney
Lori Cartwright, City Secretary

1. Call to Order

Mayor David Hill called the meeting to order.

2. Invocation

3. Pledge of Allegiance and Texas Pledge of Allegiance

Pastor Bruce Zimmerman, Waxahachie Bible Church, gave the invocation and led the Pledge of Allegiance and the Texas Pledge of Allegiance.

4. Consent Agenda

- a. Minutes of the City Council meeting of May 20, 2019
- b. Minutes of the City Council briefing of May 20, 2019
- c. Minutes of the joint work session of the City Council and Board of Trustees of the Waxahachie Independent School District of May 21, 2019
- d. Crape Myrtle Fireworks Display to be held July 3, 2019
- e. Fourth of July parade route for 22nd Annual Crape Myrtle Festival hosted by Chamber of Commerce
- f. Apostolic Living Way free community event to be held on June 29, 2019
- g. Budget amendment request from Parks and Recreation Department
- h. Lease agreement for 216 N. College
- i. Resolution authorizing the reimbursement of Wastewater Operating Funds from the proceeds of future debt for the Grove Creek Lift Station Expansion
- j. Resolution authorizing the reimbursement of Wastewater Operating Funds from the proceeds of future debt for the Lower Mustang Creek Lift Station Improvements

RESOLUTION NO. 1270

A RESOLUTION DECLARING INTENT TO REIMBURSE EXPENDITURES WITH PROCEEDS OF FUTURE DEBT FOR THE CONSTRUCTION OF THE GROVE CREEK LIFT STATION EXPANSION

(Ha)

RESOLUTION NO. 1271

A RESOLUTION DECLARING INTENT TO REIMBURSE EXPENDITURES WITH PROCEEDS OF FUTURE DEBT FOR THE CONSTRUCTION OF THE LOWER MUSTANG CREEK LIFT STATION IMPROVEMENTS

Action:

Mayor Pro Tem Mary Lou Shipley moved to approve items a. through j. on the Consent Agenda. Councilmember Kevin Strength seconded, All Ayes.

5. Introduce Honorary Councilmember

Mayor Pro Tem Mary Lou Shipley introduced Emmeline Bearden as the Honorary Councilmember for the month of June. She is the daughter of Chris and Bonnie Bearden and recent graduate as Salutatorian of Waxahachie High School. Emmeline served as the head drum major for the Spirit of Waxahachie Indian Band for two years and played the bass clarinet for the Wind Ensemble for three years. Emmeline was the dance captain for the musical theatre department, two year varsity cheerleader, member of the National Honors Society and Interact Club. She danced for 15 years at Danceworks as both a student and instructor. In her spare time, Emmeline enjoys volunteering with The Miracle League in Waxahachie and serving as a youth member of the Lewisville Primitive Baptist Church in Lewisville. She will be attending Baylor University in the fall to double major in professional writing and political science and eventually study law. Emmeline has already been admitted as one of six freshmen to the Baylor2Law program in which she will receive free tuition to Baylor law school on an expedited graduate school program. Her ultimate goal is to become a constitutional lawyer and policy writer and eventually reform educational policy.

6. Present Proclamation proclaiming June 4, 2019 – July 4, 2019 as “Crape Myrtle Month”

Mayor Hill read a proclamation proclaiming June 4, 2019 – July 4, 2019 as “Crape Myrtle Month” and presented it to the Crape Myrtle Committee.

7. Consider proposed Resolution denying Oncor Electric’s application to change rates

Mr. Doug Barnes, Director of Economic Development, presented Resolution No. 1272 denying a rate increase proposed by Oncor.

RESOLUTION NO. 1272

A RESOLUTION OF THE CITY OF WAXAHACHIE, TEXAS FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC’S APPLICATION FOR APPROVAL TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR PURSUANT TO 16 TEX. ADMIN. CODE § 25.243 TO INCREASE DISTRIBUTION RATES WITHIN THE CITY SHOULD BE DENIED; FINDING THAT THE CITY’S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS

(42)

REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL.

Action:

Councilmember Kevin Strength moved to approve Resolution No. 1272. Councilmember Chuck Beatty seconded, All Ayes.

8. Consider award of bid for Waxahachie Sports Complex Parking Lot Phase II

Mayor Hill stated the project was reviewed at briefing.

Action:

Mayor Pro Tem Mary Lou Shipley moved to award the bid for the Waxahachie Sports Complex Parking Lot Phase II to Reliable Paving Inc. in the amount of \$317,675.00, approve \$12,000.00 for testing and \$50,000.00 for contingency. Councilmember Melissa Olson seconded, All Ayes.

9. Public Comments

Mr. Ronald Levingston, 508 Peters Street, Waxahachie, expressed concern for the traffic on his street. He stated new development has brought more traffic to the neighborhood. Mr. Levingston stated the way the new roads line up with his neighbor's driveway it makes it difficult to back out onto the street and in addition the tree line blocks the view of backing out. He asked for a solution.

Pastor Bruce Zimmerman, 209 Brown Street, Waxahachie, representing Ms. Betty Hawkins, 703 Amherst Drive, Waxahachie, stated he recently attended a Council meeting concerning an incident that damaged Ms. Hawkins' vehicle. He thanked Councilmembers that gifted towards the repair of Ms. Hawkins' vehicle. Pastor Zimmerman stated it was brought to his attention by a councilmember who expressed they were personally offended by his comments. He stated he is grateful for the implication that he was responsible for the action and grateful for forgiveness. Pastor Zimmerman stated it was also brought to his attention by a councilmember that he publicly embarrassed city staff and noted it was never his intention. He stated he mentioned the offer of \$500.00 towards the deductible or \$75.00 for a tire but it was never his intention to embarrass city staff. Pastor Zimmerman stated he wanted to apologize publicly for any embarrassment that he caused.

10. Convene into Executive Session for deliberation regarding real property as permitted under Section 551.072 of the Texas Government Code

Mayor Hill announced at 7:15 p.m. the City Council would convene into Executive Session for deliberation regarding real property as permitted under Section 551.072 of the Texas Government Code.

11. Reconvene and take any necessary action

The meeting reconvened at 7:53 p.m.

Action:

None

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12. Comments by Mayor, City Council, City Attorney and City Manager

None

13. Adjourn

There being no further business, the meeting adjourned at 7:55 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary

A briefing session of the Mayor and City Council of the City of Waxahachie, Texas was held in the City Council Conference Room at City Hall, 401 S. Rogers, Waxahachie, Texas, on Monday, June 3, 2019 at 6:30 p.m.

Council Members Present: David Hill, Mayor
Mary Lou Shipley, Mayor Pro Tem
Chuck Beatty, Councilmember
Kevin Strength, Councilmember
Melissa Olson, Councilmember

Others Present: Michael Scott, City Manager
Albert Lawrence, Assistant City Manager
Tommy Ludwig, Assistant City Manager
Robert Brown, City Attorney
Lori Cartwright, City Secretary

1. Call to Order

Mayor David Hill called the meeting to order.

2. Conduct a briefing to discuss agenda items for the 7:00 p.m. regular meeting

City Manager Michael Scott reviewed the following Consent Agenda items:

- Item g: Council approved the purchase of property at a prior meeting and the budget amendment will allow for handling the internal paperwork.
- Item h: Tax Increment Reinvestment Zone No. 1 approved \$100,000.00 for the rehabilitation of the police building located at 216 N. College. The city advertised the location for a potential lease property and Mr. John Bailey's proposal was most in keeping with the downtown goals. Councilmember Melissa Olson asked Mr. Bailey what the expected revenue for the venue will be. Mr. Bailey stated the property will be a weekend music venue and steakhouse and through the week it will be a lunch business. He stated the music venue will seat up to 450 people. Mr. Bailey stated at this time he can't put a number on the revenues. Mr. Scott stated the lease agreement depicts the base amount and stated Mr. Bailey is assuming the risk of remodel at his cost.

Assistant City Manager Tommy Ludwig reviewed the following Consent Agenda items:

- Item i and j: On May 6, 2019 City Council approved bids for the Grove Creek Lift Station Expansion and the Lower Mustang Creek Lift Station improvement projects. Staff originally budgeted \$2,000,000.00 and bids came in at \$3,286,974.00 and through bonds, the balance would be funded. In speaking with Finance it has been determined to fully sell bonds for the projects and the proposed reimbursement resolutions will allow the projects to move forward before bonds are sold.

Mr. Doug Barnes, Director of Economic Development, reviewed item 7 being a Resolution denying Oncor Electric's application to change rates. He stated Oncor Electric filed an application to amend its distribution cost recovery factor and explained the resolution authorizes our city to

participate with other cities and deny the rate increase. Mr. Barnes stated it is routine to deny Oncor Electric's proposed rate increase annually.

Mr. James Villarreal, Assistant Parks Director at Sports Complex, reviewed item 8 noting council will be asked to consider award of bid for the Sports Complex Parking Lot Phase II. He stated they are in their second year of a three year parking lot improvements program. Phase II would add 100 additional parking spaces with curb and gutter on both sides. Mr. Villarreal stated eight bids were received and Reliable Paving Inc. was the lowest qualified bidder at \$317,675.00. He stated staff will recommend to award the bid to Reliable Paving Inc. in the amount of \$317,675.00. In addition to the scope it is recommended to allocate \$12,000.00 for testing services and \$50,000.00 for contingency. Mr. Villarreal stated the Waxahachie Community Development Corporation (WCDC) voted unanimously to approve the parking lot improvements in the amount of \$528,112.50.

Mr. Dan Morton, President of WCDC, stated partnering with First Baptist Church on sand volleyball courts is getting two projects for the price of one.

3. Adjourn

There being no further business, the meeting adjourned at 6:54 p.m.


Respectfully submitted,

Lori Cartwright
City Secretary

(40)



Memorandum

To: Honorable Mayor and City Council
From: Amy Borders, Director of Communications and Marketing
Thru: Michael Scott, City Manager 
Date: June 12, 2019
Re: Hachie Hearts and Getzendaner Park Mural

On Tuesday, June 11, 2019, the Waxahachie Community Development Corporation approved a request for 10 additional "Hachie Hearts" with a cost not to exceed \$21,000. A request was also approved for up to \$15,000 to secure Calina Mishay Johnson to construct a mural in Getzendaner Park during the 2020 Crossroads of Texas Film and Music Festival.

The additional Hachie Hearts will be located at locations across Waxahachie, and will be in addition to the initial 10 hearts, which were installed in the Downtown area earlier this year.

The mural in Getzendaner Park will be on the restroom building hear the west end of the park. The artist, Calina Mishay Johnson, also painted a mural in the Downtown area (Cape Myrtle and Mockingbird Mural) live during the Texas Country Reporter festival in 2018.

I am requesting City Council approve the funding for these two initiatives utilizing WCDC funds.



Memorandum

To: Honorable Mayor and City Council
From: Jamie Holbert, Director of Human Resources/Civil Service
Thru: Michael Scott, City Manager
Date: June 13, 2019
Re: Consider Supplemental Appropriation for Human Resources – Professional Services

Item Description: Consider approving a supplemental appropriation increasing the 2018-19 Human Resources – Professional Services budget by \$5,000.

Item Summary: On January 22, 2019, the City Council approved funds to hire a benefits consultant, McGriff, Seibels & Williams, Inc., to administer a request for proposal process that had several insurance companies submit benefit plan proposals and associated insurance premium costs. The consultant has completed this process and negotiated rates on the behalf of the City that propose approximately \$768,000 in cost savings to the City and its employees.


Now that the consultant has successfully completed the terms of their original contract, Human Resources recommends hiring McGriff, Seibels & Williams, Inc. through September 30, 2019, in order to assist staff with the transition to the new insurance providers, open enrollment and train staff on the new benefits. The cost for this service will be \$5,000.

Fiscal Impact: The proposed supplemental appropriation would increase the Human Resources – Professional Services (100-150-53200) budget from \$39,050 to \$44,050. These additional funds would come from the General Fund unrestrictive reserve balance. The reserve balance has sufficient funds available to absorb the additional expenditure with no significant impact.

(4e)



Memorandum

To: Honorable Mayor and City Council
From: Amy Borders, Director of Communications and Marketing
Thru: Michael Scott, City Manager 
Date: June 12, 2019
Re: Supplemental Appropriation- Summer Intern

In late May 2019, the opportunity to add a position for a summer internship presented itself. The 2019 Global High School Salutatorian, Lily Lawler, served as the May 2019 Honorary Councilmember. She expressed interest in possible employment with the City and after interviewing her, we felt that offering her a summer position at City Hall would be one of mutual benefit.

We have had interns serve at City Hall in the past, and would like to continue this program of growing young talent that has an interest in local government and City operations. Such a partnership has proven to be successful in the past, and one that both parties have benefited from.

Lily is headed to Yale University in the fall, with a full scholarship. She is a very bright young lady, and we are excited to have her here at the City of Waxahachie for the next 10 weeks. She will work approximately 20-24 hours per week, with a total cost to the City of approximately \$3,002.61.

Since this position is new, these funds will cover the additional costs to add the position. I am available at your convenience if additional information is needed.

Thank you for your consideration.



Memorandum

To: Honorable Mayor and City Council
From: Albert Lawrence, Assistant City Manager
Thru: Michael Scott, City Manager
Date: June 13, 2019
Re: Consider Establishing an Emergency Management Department and Operating Budget for Fiscal Year 2018-19

Item Description: Consider Establishing an Emergency Management Department and the Operations Budget for Fiscal Year 2018-19 provided in the attachment.

Item Summary: As we discussed at the City Council retreat, the emergency management functions for the City of Waxahachie have been administered through the Police Department utilizing one of their officers for the past several years. In order to free up police resources and continue to improve emergency management, the need to hire an Emergency Management Coordinator and develop an actual Emergency Management Department has been identified. Waxahachie is a rapidly growing community that has numerous industrial facilities, as well as, a network of railroad tracks with trains that frequently transport hazardous materials throughout the city. These potentially dangerous conditions and increased extreme weather events provide further justification for establishing an Emergency Management Department and establishing the operations budget as attached

Fiscal Impact: Creation of the proposed Emergency Management budget for fiscal year 2018-19 would be a total expense of \$30,193. These additional funds would come from the General Fund unrestrictive reserve balance. The reserve balance has sufficient funds available to absorb the additional expenditure with no significant impact.



City of Waxahachie, TX

Budget Report Account Summary

For Fiscal: FY 2019 Period Ending: 06/30/2019

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 100 - GENERAL								
Expense								
Category: 510 - Personal Services								
100-211-51100	Salaries	0.00	17,500.00	0.00	0.00	0.00	17,500.00	100.00 %
100-211-52200	Retirement- FICA	0.00	1,339.00	0.00	0.00	0.00	1,339.00	100.00 %
100-211-52400	Life & Health Insurance	0.00	4,057.00	0.00	0.00	0.00	4,057.00	100.00 %
100-211-52501	Retirement Plan Contribution-TMRS	0.00	2,653.00	0.00	0.00	0.00	2,653.00	100.00 %
100-211-52600	Workers' Compensation	0.00	19.00	0.00	0.00	0.00	19.00	100.00 %
Category: 510 - Personal Services Total:		0.00	25,568.00	0.00	0.00	0.00	25,568.00	100.00 %
Category: 515 - Supplies								
100-211-56100	Supplies & Equipment	0.00	300.00	0.00	0.00	0.00	300.00	100.00 %
100-211-56102	Supplies & Equip-Uniforms/City Labeled Clothing	0.00	525.00	0.00	0.00	0.00	525.00	100.00 %
100-211-56104	Supplies & Equip-Computers & Accessories	0.00	1,400.00	0.00	0.00	0.00	1,400.00	100.00 %
Category: 515 - Supplies Total:		0.00	2,225.00	0.00	0.00	0.00	2,225.00	100.00 %
Category: 530 - Travel, Training, Mem, Lic & Publication								
100-211-53201	Training	0.00	600.00	0.00	0.00	0.00	600.00	100.00 %
100-211-55350	Travel (Mileage Meals Lodging)	0.00	1,100.00	0.00	0.00	0.00	1,100.00	100.00 %
100-211-55400	Memberships/License/Cert Renewal	0.00	600.00	0.00	0.00	0.00	600.00	100.00 %
100-211-55450	Board & Local Meetings	0.00	100.00	0.00	0.00	0.00	100.00	100.00 %
Category: 530 - Travel, Training, Mem, Lic & Publication Total:		0.00	2,400.00	0.00	0.00	0.00	2,400.00	100.00 %
Expense Total:		0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %
Fund: 100 - GENERAL Total:		0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %
Report Total:		0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %

(14)

Budget Report

For Fiscal: FY 2019 Period Ending: 06/30/2019

Group Summary

Category	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 100 - GENERAL							
Expense							
510 - Personal Services	0.00	25,568.00	0.00	0.00	0.00	25,568.00	100.00 %
515 - Supplies	0.00	2,225.00	0.00	0.00	0.00	2,225.00	100.00 %
530 - Travel, Training, Mem, Lic & Publication	0.00	2,400.00	0.00	0.00	0.00	2,400.00	100.00 %
Expense Total:	0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %
Fund: 100 - GENERAL Total:	0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %
Report Total:	0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %

(47)

Budget Report

For Fiscal: FY 2019 Period Ending: 06/30/2019

Fund Summary

Fund		Original	Current	Period	Fiscal	Encumbrances	Variance	Percent
		Total Budget	Total Budget	Activity	Activity		Favorable (Unfavorable)	
100 - GENERAL		0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %
	Report Total:	0.00	30,193.00	0.00	0.00	0.00	30,193.00	100.00 %

(47)

(49)



Application for a Festival or Event Permit

Event Name and Description:

JUNETEENTH PARADE

Applicant Information

Name:

ELLIS COUNTY AFRICAN AMERICAN Hall of Fame

Address:

441 E MARTIN Luther King

City, State, Zip:

WAXAHACHIE

Phone:

469-337-7989

E-mail Address:

JAMAC5@sbcglobal.net

Organization Information

Organization Name:

ELLIS COUNTY AFRICAN AMERICAN Hall of Fame

Address:

441 E MARTIN Luther King BLVD

Authorized Head of Organization:

DR. JAMAL Rasheed

Phone:

469-337-7989

E-mail Address:

JAMAC5@sbcglobal.net

Event Chairperson/Contact

Name:

Doretha Nobles

Address:

City, State, Zip:

Phone:

469-297-8344

E-mail Address:

Event Information

Event Location/Address:

STAGE / START POINT
ELLIS COUNTY AFRICAN Am Hall of Fame

Purpose:

Celebration of Juneteenth

Event Start Date and Time:

9:00 AM, WEDNESDAY June 19, 2019

Received in

City Secretary's Office

10/3/19 AN
City of Waxahachie, Texas

(49)

Event End Date and Time: 11:00 AM / WEDNESDAY / June 19, 2019

Approximate Number of Persons Attending Event Per Day: _____

Site Preparation and Set-Up Date and Time: 9:00 AM.

Clean-Up Completion Date and Time: 11:00 AM / WEDNESDAY / June 19, 2019.

List all activities that will be conducted as a part of this event including street closures, traffic control, vendor booths, etc. Include any requests for city services.

START AT 441 E MLK / WYATT STREET
PROCEED NORTH ON WYATT ST TO
PETERS, EAST ON PETERS TO
GETZENDAUER South on
GETZENDAUER TO PENN PARK

Will food and/or beverages be available and/or sold? YES/NO

*Will alcohol be available and/or sold? YES/NO

If yes, will the event be in the Historic Overlay District? YES/NO

If food will be prepared on-site, a Temporary Food Permit must be obtained by the Environmental Health Department.

Will dumpsters be needed? NO

Will an Unmanned Aircraft Systems Unit (drone) be used? YES/NO If so, provide a copy of the current FAA License.

Please submit a site plan showing the layout of the event including equipment, stages, and street locations

I THE UNDERSIGNED APPLICANT, AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF WAXAHACHIE, ITS OFFICERS, EMPLOYEES, AGENTS, AND REPRESENTATIVES AGAINST ALL CLAIMS OF LIABILITY AND CAUSES OF ACTION RESULTING FROM INJURY OR DAMAGE TO PERSONS OR PROPERTY ARISING OUT OF THE SPECIAL EVENT.

James Kasheer
Signature of Applicant

3 June 2019
Date

* Please note that approval of this permit does not replace/modify compliance with all applicable state laws as specified by the Texas Alcoholic Beverage Commission (TABC).

(49)

Villarreal, Amber

From: Boyd, Ricky <RBoyd@waxahachiefire.org>
Sent: Monday, June 03, 2019 4:01 PM
To: Villarreal, Amber
Subject: RE: Event Application-Juneteenth Parade

I have no concerns with this request.

Ricky Boyd, Fire Chief

Waxahachie Fire-Rescue
214-463-9335

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Monday, June 3, 2019 1:24 PM
To: Boyd, Ricky <RBoyd@waxahachiefire.org>; Wade Goolsbey <wgoolsby@waxahachiepd.org>; Chambers, Jeff <jchambers@waxahachie.com>; Ojeda, Eneida <Eojeda@waxahachie.com>
Cc: Scott, Michael <msscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>
Subject: Event Application-Juneteenth Parade

Please review the attached event application and send me your comments/concerns.

Eneida,

If approved by council, will the Street Department drop off barricades near the African American Hall of Fame near Wyatt Street early that morning?

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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(49)

Villarreal, Amber

From: Wade Goolsby <wgoolsby@waxahachiepd.org>
Sent: Tuesday, June 11, 2019 10:45 AM
To: Villarreal, Amber
Subject: RE: Event Application-Juneteenth Parade

I don't have any issues.

From: Villarreal, Amber [<mailto:avillarreal@waxahachie.com>]
Sent: Tuesday, June 11, 2019 8:59 AM
To: Wade Goolsby <wgoolsby@waxahachiepd.org>
Subject: FW: Event Application-Juneteenth Parade

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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From: Villarreal, Amber
Sent: Monday, June 03, 2019 1:24 PM
To: Ricky Boyd <RBoyd@waxahachiefire.org>; Wade Goolsby <wgoolsby@waxahachiepd.org>; Chambers, Jeff <jchambers@waxahachie.com>; Ojeda, Eneida <Eojeda@waxahachie.com>
Cc: Scott, Michael <mscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>
Subject: Event Application-Juneteenth Parade

Please review the attached event application and send me your comments/concerns.

Eneida,

If approved by council, will the Street Department drop off barricades near the African American Hall of Fame near Wyatt Street early that morning?

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
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(4h)

Received in
City Secretary's Office
6-13-19
City of Waxahachie, Texas

Application for a Festival or Event Permit

Event Name and Description: Tune tenth Celebration

Applicant Information

Name: John Smith
Address: 401 S. Rogers St.
City, State, Zip: Wax TX 75165 Phone: 469 309 4271
E-mail Address: j.smith@waxahachie.com

Organization Information

Organization Name: Parks Dept. & NAACP
Address: _____

Authorized Head of Organization: _____

Phone: _____ E-mail Address: _____

Event Chairperson/Contact

Name: Betty Coleman
Address: _____

City, State, Zip: _____ Phone: 214 616 6564

E-mail Address: _____

Event Information

Event Location/Address: Penn Park 402 N. Getzender

Purpose: Tune tenth Celebration

Event Start Date and Time: 6-22-19 10:00 am

(14h)

Event End Date and Time: 6-22-19 7:00 pm

Approximate Number of Persons Attending Event Per Day: 500

Site Preparation and Set-Up Date and Time: 6-19-20 8:00 am

Clean-Up Completion Date and Time: 6-22-19 12:00 pm

List all activities that will be conducted as a part of this event including street closures, traffic control, vendor booths, etc. Include any requests for city services.

Bounce Houses, Stage & Music, Food
Served From concession stand, Games
Staff, tents, tables, chairs and sound
requested. Additional trash receptacles will be placed

Will food and/or beverages be available and/or sold? YES/NO

*Will alcohol be available and/or sold? YES/NO

If yes, will the event be in the Historic Overlay District? YES/NO

If food will be prepared on-site, a Temporary Food Permit must be obtained by the Environmental Health Department.

Will dumpsters be needed? NO

Will an Unmanned Aircraft Systems Unit (drone) be used? YES/NO If so, provide a copy of the current FAA License.

Please submit a site plan showing the layout of the event including equipment, stages, and street locations

I THE UNDERSIGNED APPLICANT, AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF WAXAHACHIE, ITS OFFICERS, EMPLOYEES, AGENTS, AND REPRESENTATIVES AGAINST ALL CLAIMS OF LIABILITY AND CAUSES OF ACTION RESULTING FROM INJURY OR DAMAGE TO PERSONS OR PROPERTY ARISING OUT OF THE SPECIAL EVENT.

Alm Ariza
Signature of Applicant

6-13-19
Date

* Please note that approval of this permit does not replace/modify compliance with all applicable state laws as specified by the Texas Alcoholic Beverage Commission (TABC).

(4h)

Cartwright, Lori

From: Boyd, Ricky <RBoyd@waxahachiefire.org>
Sent: Thursday, June 13, 2019 12:09 PM
To: Cartwright, Lori
Subject: RE: Event Application approval

I have no concerns with this request.

Ricky Boyd, Fire Chief

Waxahachie Fire-Rescue
214-463-9335

From: Cartwright, Lori <lcartwright@waxahachie.com>
Sent: Thursday, June 13, 2019 11:15 AM
To: Wade Goolsbey <wgoolsby@waxahachiepd.org>; Boyd, Ricky <RBoyd@waxahachiefire.org>
Cc: Smith, John <jsmith@waxahachie.com>
Subject: Event Application approval

Gentlemen,

Please find attached an application for your review/approval.

Please respond ASAP because if approved, it will go on the Council agenda I'm currently working on.

Thanks again for expediting your response.



(4i)



RECEIVED IN
CITY SECRETARY'S OFFICE
6-6-19 (cc)
CITY OF WAXAHACHIE, TEXAS

Application for a Festival or Event Permit

Event Name and Description: Arbor at Willow Grove - Summer BBQ & Pool Party

Applicant Information

Name: Jennifer Chelwick
Address: 2222 Ahela Dr.
City, State, Zip: Wax, TX 75165 Phone: 303-523-6476 cell
E-mail Address: jchelwick@gmail.com

Organization Information

Organization Name: Arbor at Willow Grove Homeowners Association
Address: _____
Authorized Head of Organization: Jennifer Chelwick, Board Treasurer
Phone: 303-523-6476 cell E-mail Address: jchelwick@gmail.com

Event Chairperson/Contact

Name: Same As Above
Address: _____
City, State, Zip: _____ Phone: _____
E-mail Address: _____

Event Information

(See Map)
Event Location/Address: Arbor at Willow Grove Pool - Corner of Liriope & Sumac - Back Street on side of pool
Purpose: Community BBQ
Event Start Date and Time: Saturday, June 29th 3pm - 10pm

(4i)

Event End Date and Time: 06/29/19 10pm.

Approximate Number of Persons Attending Event Per Day: 30-100

Site Preparation and Set-Up Date and Time: 06/29/19 - 3pm

Clean-Up Completion Date and Time: 06/29/19 - 10pm

List all activities that will be conducted as a part of this event including street closures, traffic control, vendor booths, etc. Include any requests for city services.

We would like to close Sumac at Liriope to the end of the Community Pool (See Map)
No houses will be blocked. We will be grilling + playing games. Blocked area is for tables/seating.

Will food and/or beverages be available and/or sold? YES/NO Available - NOT sold. Potluck

*Will alcohol be available and/or sold? YES/NO

If yes, will the event be in the Historic Overlay District? YES/NO

If food will be prepared on-site, a Temporary Food Permit must be obtained by the Environmental Health Department.

Will dumpsters be needed? No

Will an Unmanned Aircraft Systems Unit (drone) be used? YES/NO If so, provide a copy of the current FAA License.

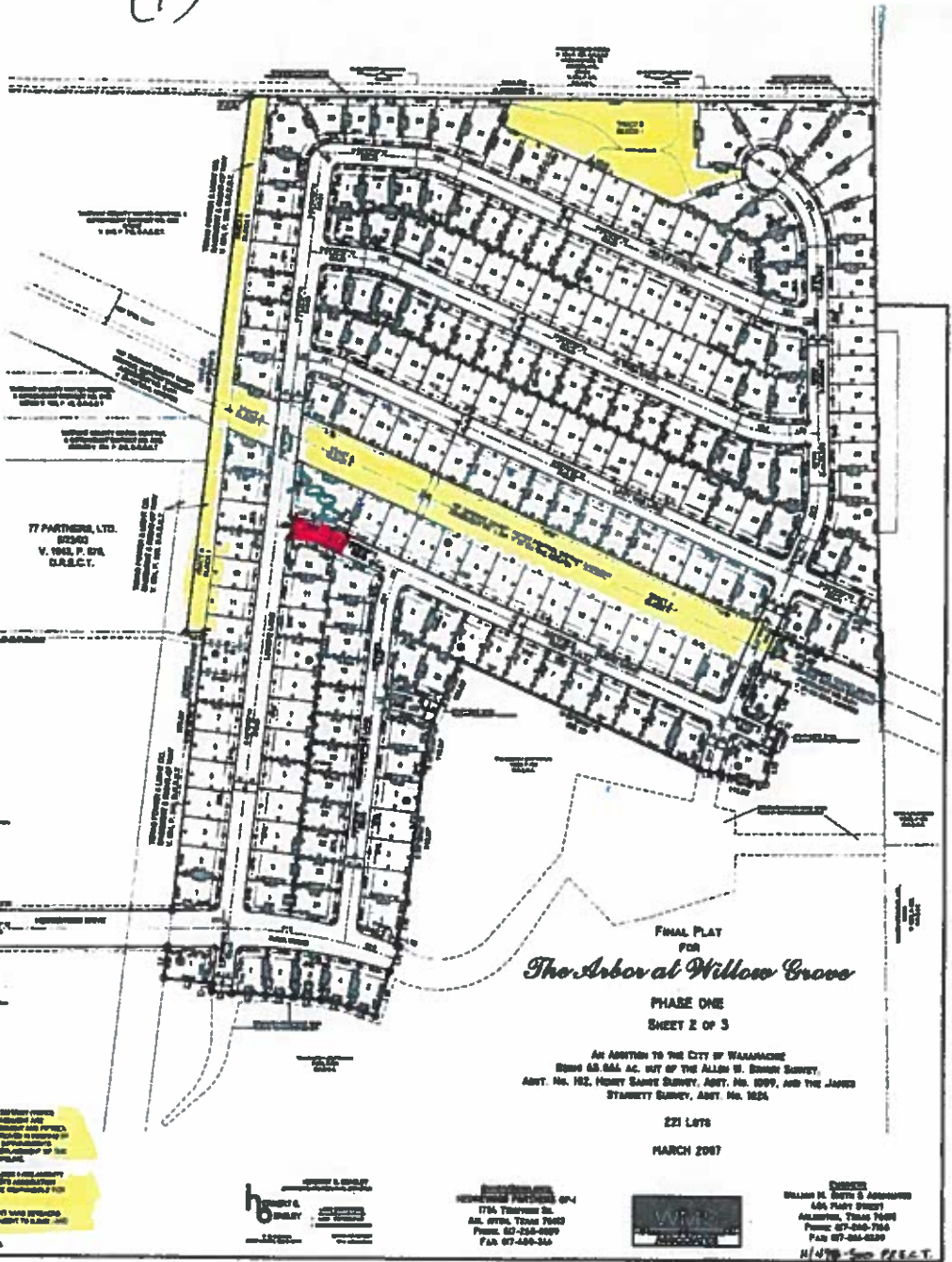
Please submit a site plan showing the layout of the event including equipment, stages, and street locations

I THE UNDERSIGNED APPLICANT, AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF WAXAHACHIE, ITS OFFICERS, EMPLOYEES, AGENTS, AND REPRESENTATIVES AGAINST ALL CLAIMS OF LIABILITY AND CAUSES OF ACTION RESULTING FROM INJURY OR DAMAGE TO PERSONS OR PROPERTY ARISING OUT OF THE SPECIAL EVENT.

[Signature]
Signature of Applicant

06/06/2019
Date

* Please note that approval of this permit does not replace/modify compliance with all applicable state laws as specified by the Texas Alcoholic Beverage Commission (TABC).



 = area to be blocked

(4i)

Villarreal, Amber

From: Wade Goolsby <wgoolsby@waxahachiepd.org>
Sent: Thursday, June 06, 2019 3:04 PM
To: Villarreal, Amber
Subject: RE: Event Application-Arbor at Willow Grove Summer BBQ

I don't have any issues.

From: Villarreal, Amber [mailto:avillarreal@waxahachie.com]
Sent: Thursday, June 06, 2019 2:42 PM
To: Wade Goolsby <wgoolsby@waxahachiepd.org>; Ricky Boyd <rboyd@waxahachiefire.org>; Martinez, Jose <jose.martinez@waxahachie.com>; Hill, Krystyne <khill@waxahachie.com>; Jeff Chambers <jchambers@waxahachie.com>
Cc: Michael Scott <msscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>; Tommy Ludwig <tludwig@waxahachie.com>; Albert Lawrence <alawrence@waxahachie.com>
Subject: Event Application-Arbor at Willow Grove Summer BBQ

Please review the attached event application and send me your comments/concerns.

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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(4i)

Villarreal, Amber

From: Boyd, Ricky <RBoyd@waxahachiefire.org>
Sent: Thursday, June 06, 2019 3:11 PM
To: Villarreal, Amber
Subject: RE: Event Application-Arbor at Willow Grove Summer BBQ

I have no concerns with this request.

Ricky Boyd, Fire Chief

Waxahachie Fire-Rescue
214-463-9335

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Thursday, June 6, 2019 2:42 PM
To: Wade Goolsbey <wgoolsby@waxahachiepd.org>; Boyd, Ricky <RBoyd@waxahachiefire.org>; Martinez, Jose <jose.martinez@waxahachie.com>; Hill, Krystyne <khill@waxahachie.com>; Chambers, Jeff <jchambers@waxahachie.com>
Cc: Scott, Michael <msscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>; Ludwig, Tommy <tludwig@waxahachie.com>; Lawrence, Albert <alawrence@waxahachie.com>
Subject: Event Application-Arbor at Willow Grove Summer BBQ

Please review the attached event application and send me your comments/concerns.

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
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(4i)

Villarreal, Amber

From: Hill, Krystyne
Sent: Friday, June 07, 2019 11:57 AM
To: Villarreal, Amber
Subject: Re: Event Application-Arbor at Willow Grove Summer BBQ

Good morning!

Sorry for the delay.
The food trucks will all need to be permitted and inspected prior to event opening

Thank you!!

Sent from my iPhone

On Jun 6, 2019, at 2:41 PM, Villarreal, Amber <avillarreal@waxahachie.com> wrote:

Please review the attached event application and send me your comments/concerns.

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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<Event Application-Arbor at Willow Grove Summer BBQ.pdf>



(4j)

Application for a Festival or Event Permit

Event Name and Description: Fireworks Event @ The Avenue Church

Applicant Information

Name: Katherine Thomas

Address: PO Box 149

City, State, Zip: New Castle, PA 16103 Phone: 724.923.6628

E-mail Address: kthomas@pyrotecnico.com

Organization Information

Organization Name: Pyrotecnico

Address: PO Box 149

Authorized Head of Organization: Michael Simmons

Phone: 941.232.2114 E-mail Address: msimmons@pyrotecnico.com

Event Chairperson/Contact

Name: Worship Pastor, Joel Warren

Address: 1761 N HWY 77

City, State, Zip: Waxahachie, TX 75165 Phone: 972.937.5301

E-mail Address: Joel@TheAvenueChurch.com

Event Information

Event Location/Address: 1761 N HWY 77 Waxahachie, TX 75165

Purpose: Fireworks Event

Event Start Date and Time: June 29, 2019 @ approx 7pm

Received in
City Secretary's Office
10/7/19 OW
City of Waxahachie, Texas

(4j)

Event End Date and Time: June 29, 2019 @ approx 7:30pm

Approximate Number of Persons Attending Event Per Day: unknown

Site Preparation and Set-Up Date and Time: June 29, 2019 @ TBD

Clean-Up Completion Date and Time: n/a

List all activities that will be conducted as a part of this event including street closures, traffic control, vendor booths, etc. Include any requests for city services.

We are providing fireworks only at this event

Will food and/or beverages be available and/or sold? YES/☒ NO

*Will alcohol be available and/or sold? YES/☒ NO

If yes, will the event be in the Historic Overlay District? YES/☒ NO

If food will be prepared on-site, a Temporary Food Permit must be obtained by the Environmental Health Department.

Will dumpsters be needed? no

Will an Unmanned Aircraft Systems Unit (drone) be used? YES/☒ NO If so, provide a copy of the current FAA License.

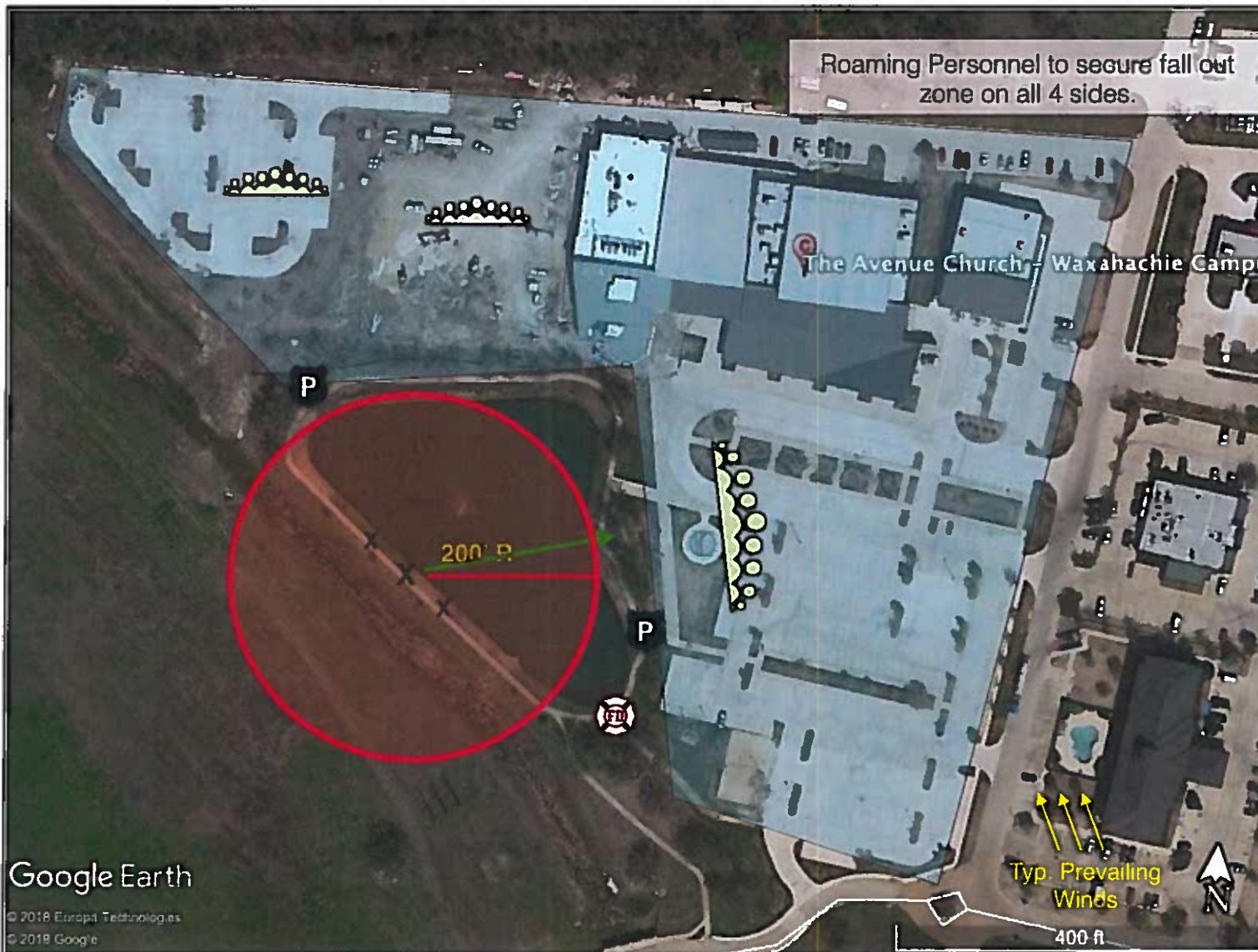
Please submit a site plan showing the layout of the event including equipment, stages, and street locations

I THE UNDERSIGNED APPLICANT, AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF WAXAHACHIE, ITS OFFICERS, EMPLOYEES, AGENTS, AND REPRESENTATIVES AGAINST ALL CLAIMS OF LIABILITY AND CAUSES OF ACTION RESULTING FROM INJURY OR DAMAGE TO PERSONS OR PROPERTY ARISING OUT OF THE SPECIAL EVENT.

Karen Jones
Signature of Applicant

June 7, 2019
Date

*** Please note that approval of this permit does not replace/modify compliance with all applicable state laws as specified by the Texas Alcoholic Beverage Commission (TABC).**



THE AVENUE CHURCH

Pyrotechnic Site Plan
Show Date: 6/29/19

Waxahachie Campus
1761 US-77
Waxahachie, TX 75165

Display time: ~ 9:15 pm
4 - 5 Minute Display

32°25'53.75" N
96°50'30.35" W

Max. 1.3g Firework
Diameter: 2", Red Circle
depicts 200 Radius (400'
Diameter) which exceeds
NFPA 1123 for 2" Shells.

NOTES:

Site plan is drawn to an
approximate scale using
NFPA 1123, NFPA 1126 or
NFPA 160 as applicable.

No health care, detention or
correction facilities within
distance required by NFPA
1123. There are no licensed
day care, churches or open
schools within 600' of firing
site. No Hazmat is within
twice the NFPA distance of
the firing site.

DRAWN BY: M. Simmons
Revised Date: 5/31/19

- Fire - Marine Security - Audience - Closed
 - Police - Medical - Wind Direction - TBD - Radius - Firing Site
 - Distance to Audience 200' + - Secured/Blocked During Display - Safety Fallout Zone

2" Maximum Device Per Pyrotecnico 100' Per Inch Policy

200' Safety Fall Out Radius



299 Wilson Rd.
New Castle, PA 16103
800-854-4705

(14)



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
6/6/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Britton-Gallagher and Associates, Inc. One Cleveland Center, Floor 30 1375 East 9th Street Cleveland OH 44114		CONTACT NAME: PHONE (A/C, No, Ext): 216-658-7100 FAX (A/C, No): 216-658-7101 E-MAIL ADDRESS: info@brittongallagher.com	
INSURED Pyrotechnico Fireworks Inc. P.O. Box 149 299 Wilson Road New Castle PA 16103		INSURER(S) AFFORDING COVERAGE INSURER A: Everest Indemnity Insurance Co. NAIC # 10851 INSURER B: Everest National Insurance Company 10120 INSURER C: Maxum Indemnity Company 26743 INSURER D: INSURER E: INSURER F:	

COVERAGES

CERTIFICATE NUMBER: 2022461311

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC			SI8ML00891-191	1/14/2019	1/14/2020	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$500,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMPOP AGG \$2,000,000 \$
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			SI8CA00141-191	1/14/2019	1/14/2020	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
C	UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$			EXC6030375	1/14/2019	1/14/2020	EACH OCCURRENCE \$4,000,000 AGGREGATE \$4,000,000 \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y/N <input type="checkbox"/> N/A				WC STATUTORY LIMITS <input type="checkbox"/> OTHER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
C	Excess Liability #2			EXC6034019	1/14/2019	1/14/2020	Each Occurrence \$5,000,000 Aggregate \$5,000,000 Total Excess Limits \$9,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Additional Insured extension of coverage is provided by above referenced General Liability policy where required by written agreement.
Fireworks Display Date: June 29, 2019
Location: The Avenue Church: 1761 N Hwy 77, Waxahachie, TX 75165
Additional Insured: City of Waxahachie, State of Texas

CERTIFICATE HOLDER**CANCELLATION**

The Avenue Church
210 YMCA Drive
Waxahachie TX 75165

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

(4j)

Villarreal, Amber

From: Wade Goolsby <wgoolsby@waxahachiepd.org>
Sent: Friday, June 07, 2019 12:24 PM
To: Villarreal, Amber
Subject: RE: Event Application-Avenue Church Fireworks

I'm ok with the event, but he shows police in two locations and I need to know if they are planning on hiring police or if they have church members who are police officers who are going to volunteer their time.

Wade G. Goolsby
Chief of Police
Waxahachie Police Department
630 Farley St.
Waxahachie, TX 75165
469-309-4411



From: Villarreal, Amber [mailto:avillarreal@waxahachie.com]
Sent: Friday, June 07, 2019 10:32 AM
To: Wade Goolsby <wgoolsby@waxahachiepd.org>; Ricky Boyd <rboyd@waxahachiefire.org>; Marcus Brown (Fire) <MBrown@waxahachiefire.org>; Mosley, Laurie <Imosley@waxahachiecvb.com>
Cc: Michael Scott <msscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>; Albert Lawrence <alawrence@waxahachie.com>; Tommy Ludwig <tludwig@waxahachie.com>
Subject: Event Application-Avenue Church Fireworks

Please review the attached event application and send me your comments/concerns.

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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(4j)

Villarreal, Amber

From: Katherine Thomas <kthomas@pyrotecnico.com>
Sent: Tuesday, June 11, 2019 11:42 AM
To: Villarreal, Amber
Subject: Re: Event Application-Avenue Church Fireworks

Good Morning!

Thank you for the reminder email. I spoke with the Pastor today and he states that he will have church members as volunteers. He states that the Sheriff Mike McKorkel will be assisting with providing the staff. Please let me know if you have any other questions or concerns.

Thanks again

Katherine Thomas
Permitting Coordinator | PYROTECNICO
724.923.6628 | www.pyrotecnico.com

On Jun 11, 2019, at 9:33 AM, Villarreal, Amber <avillarreal@waxahachie.com> wrote:

Hi Katherine,

Do you have an answer to the Police Chief's question below? We will need to get this on the next council agenda (6/20/19) so if you can let me know this morning I'd greatly appreciate it. I'll be out after today at a seminar.

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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From: Villarreal, Amber
Sent: Friday, June 07, 2019 12:30 PM
To: Katherine Thomas <kthomas@pyrotecnico.com>
Subject: FW: Event Application-Avenue Church Fireworks

Katherine,

Please see the Police Chief's question below.

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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(4j)

Villarreal, Amber

From: Wade Goolsby <wgoolsby@waxahachiepd.org>
Sent: Tuesday, June 11, 2019 12:33 PM
To: Villarreal, Amber
Subject: RE: Event Application-Avenue Church Fireworks

OK... no problem. I have no issues.

Thanks,

Wade G. Goolsby
Chief of Police
Waxahachie Police Department
630 Farley St.
Waxahachie, TX 75165
469-309-4411



From: Villarreal, Amber [mailto:avillarreal@waxahachie.com]
Sent: Tuesday, June 11, 2019 12:05 PM
To: Wade Goolsby <wgoolsby@waxahachiepd.org>
Subject: FW: Event Application-Avenue Church Fireworks

Please see Katherine's response below. Thanks!

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
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From: Katherine Thomas <kthomas@pyrotecnico.com>
Sent: Tuesday, June 11, 2019 11:42 AM
To: Villarreal, Amber <avillarreal@waxahachie.com>
Subject: Re: Event Application-Avenue Church Fireworks

Good Morning!

Thank you for the reminder email. I spoke with the Pastor today and he states that he will have church members as volunteers. He states that the Sheriff Mike McKorkel will be assisting with providing the staff.

(4)

Villarreal, Amber

From: Brown, Marcus <MBrown@waxahachiefire.org>
Sent: Friday, June 07, 2019 3:33 PM
To: Villarreal, Amber; Wade Goolsbey; Ricky Boyd; Mosley, Laurie
Cc: Scott, Michael; Cartwright, Lori; Lawrence, Albert; Ludwig, Tommy
Subject: RE: Event Application-Avenue Church Fireworks

I sent an approval to the contractor for the site plan submitted. I have also forwarded the information to the appropriate FD personnel on duty for that date. We have no other concerns or comments for this event.

Marcus Brown
Fire Marshal
Waxahachie Fire Rescue

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Friday, June 7, 2019 10:32 AM
To: Wade Goolsbey <wgoolsby@waxahachiepd.org>; Boyd, Ricky <RBoyd@waxahachiefire.org>; Brown, Marcus <MBrown@waxahachiefire.org>; Mosley, Laurie <lmosley@waxahachiecvb.com>
Cc: Scott, Michael <msscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>; Lawrence, Albert <alawrence@waxahachie.com>; Ludwig, Tommy <tludwig@waxahachie.com>
Subject: Event Application-Avenue Church Fireworks

Please review the attached event application and send me your comments/concerns.

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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(4j)

Villarreal, Amber

From: Mosley, Laurie
Sent: Friday, June 07, 2019 4:07 PM
To: Villarreal, Amber
Subject: RE: Event Application-Avenue Church Fireworks

As long as police and fire are good with it, I don't see any conflicts for my department.

Thank you!

Laurie Mosley, CTE
Director
Waxahachie Convention & Visitors Bureau
2000 Civic Center Lane
Waxahachie, TX 75165

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Friday, June 7, 2019 10:32 AM
To: Wade Goolsbey <wgoolsby@waxahachiepd.org>; Ricky Boyd <rboyd@waxahachiefire.org>; Marcus Brown (Fire) <MBrown@waxahachiefire.org>; Mosley, Laurie <lmosley@waxahachiecvb.com>
Cc: Scott, Michael <msscott@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>; Lawrence, Albert <alawrence@waxahachie.com>; Ludwig, Tommy <tludwig@waxahachie.com>
Subject: Event Application-Avenue Church Fireworks

Please review the attached event application and send me your comments/concerns.

Thank you,

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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Application for a Festival or Event Permit

(4K)

Event Name and Description: Community STREET Dance (Oak Lawn Reunion)

Applicant Information

Name: Betty Square Coleman

Address: 116 Bradshaw Street

City, State, Zip: Waxahachie, TX 75165 Phone: (972) 935-9692

E-mail Address: Squarebj@swbell.net

Organization Information

Organization Name: Waxahachie Branch NAACP

Address: P.O. Box 478

Authorized Head of Organization: Betty Square Jefferson, President

Phone: (972) 937-1077 E-mail Address: naacp6240@att.net

Event Chairperson/Contact

Name: Same

Address: _____

City, State, Zip: _____ Phone: _____

E-mail Address: _____

Event Information

Event Location/Address: Oak Lawn Site

Purpose: Street Dance

Event Start Date and Time: July 4, 2019

Received in
City Secretary's Office
6-5-19
City of Waxahachie, Texas

(4K)

Event End Date and Time: July 4, 2019 11:00 pm

Approximate Number of Persons Attending Event Per Day: 100 - 150

Site Preparation and Set-Up Date and Time: 4:00 pm

Clean-Up Completion Date and Time: July 5, 2019

List all activities that will be conducted as a part of this event including street closures, traffic control, vendor booths, etc. Include any requests for city services.

Street Closures

Traffic Control

Vendor Booths

City Services: Clean Up, Dumpsters, lighting, etc.

Will food and/or beverages be available and/or sold? YES/NO BBQ Onsite For Give Away.

*Will alcohol be available and/or sold? YES/NO

If yes, will the event be in the Historic Overlay District? YES/NO

If food will be prepared on-site, a Temporary Food Permit must be obtained by the Environmental Health Department.

Will dumpsters be needed? Yes

Will an Unmanned Aircraft Systems Unit (drone) be used? YES/NO If so, provide a copy of the current FAA License.

Please submit a site plan showing the layout of the event including equipment, stages, and street locations

I THE UNDERSIGNED APPLICANT, AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF WAXAHACHIE, ITS OFFICERS, EMPLOYEES, AGENTS, AND REPRESENTATIVES AGAINST ALL CLAIMS OF LIABILITY AND CAUSES OF ACTION RESULTING FROM INJURY OR DAMAGE TO PERSONS OR PROPERTY ARISING OUT OF THE SPECIAL EVENT.

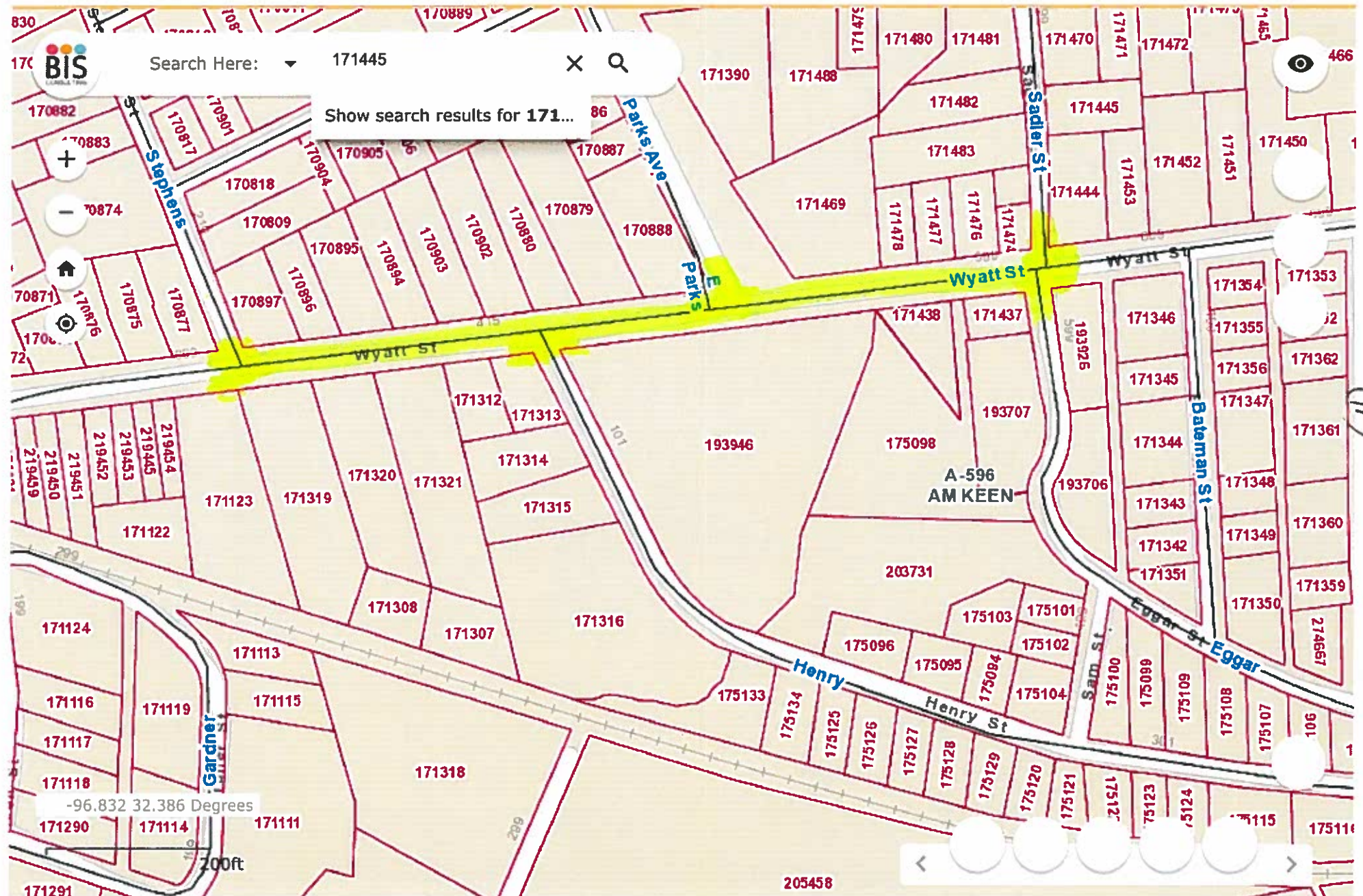
Betty Square Goleman
Signature of Applicant

6/5/19
Date

* Please note that approval of this permit does not replace/modify compliance with all applicable state laws as specified by the Texas Alcoholic Beverage Commission (TABC).

Ellis CAD
Interactive Map

HOME



(HK)

Cartwright, Lori

From: Wade Goolsby <wgoolsby@waxahachiepd.org>
Sent: Wednesday, June 12, 2019 11:39 AM
To: Ricky Boyd
Cc: Villarreal, Amber; Smith, John; Martinez, Gumaro; Cartwright, Lori; Scott, Michael
Subject: Re: Event Application-Community Street Dance

I've been locked out of my computer all morning so replying from my phone. I don't see how we can shut Wyatt street down if that's what she is requesting. It's too major of a street.

Sent from my iPhone

On Jun 11, 2019, at 4:10 PM, Boyd, Ricky <RBoyd@waxahachiefire.org> wrote:

The proposal would greatly hinder our response capability. I think it would be ok to block off Wyatt from Stephens to Sadler/Eggar as long as the intersections at Wyatt and Stephens, Wyatt and Sadlet, Wyatt and Eggar remain open. That should give us the capability to go around the closure sufficiently.

Ricky Boyd, Fire Chief

Waxahachie Fire-Rescue
214-463-9335

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Tuesday, June 11, 2019 3:23 PM
To: Smith, John <jsmith@waxahachie.com>; Martinez, Gumaro <gmartinez@waxahachie.com>; Wade Goolsbey <wgoolsby@waxahachiepd.org>; Boyd, Ricky <RBoyd@waxahachiefire.org>
Cc: Cartwright, Lori <lcartwright@waxahachie.com>; Scott, Michael <msscott@waxahachie.com>
Subject: RE: Event Application-Community Street Dance

I've attached a map with Mrs. Coleman's street closure requests from 4 p.m.-9 p.m. on July 4, 2019.

She would also like the following intersections closed to traffic:
Stephens and Wyatt
Parks and Wyatt
Eggar and Wyatt.

Please send Lori your comments/concerns by tomorrow at noon. I'll be out the remainder of the week at a conference and if approved by staff, this item will be on the June 17th council agenda.

Thank you!

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

(4K)

Villarreal, Amber

From: Hill, Krystyne
Sent: Thursday, June 06, 2019 8:45 AM
To: Ludwig, Tommy; Martinez, Jose
Cc: Villarreal, Amber
Subject: RE: Event Application-Community Street Dance

Good morning

Sorry for the delay! I am good with this as long as whoever is handling the food has a food *manager* certificate, and a temporary food establishment permit. If there is not a food truck and just a "tent" (it has to be a covered area from falling debris) then they will have to have a way for hot/cold holding of the food(s) and a hand wash station setup. All which will need to be inspected prior to the event opening.

Thank you!

Krystyne Hill
Health Inspector
City of Waxahachie
469-309-4138



From: Ludwig, Tommy <tludwig@waxahachie.com>
Sent: Wednesday, June 5, 2019 12:54 PM
To: Martinez, Jose <jose.martinez@waxahachie.com>
Cc: Hill, Krystyne <khill@waxahachie.com>; Villarreal, Amber <avillarreal@waxahachie.com>
Subject: FW: Event Application-Community Street Dance

Jose,

Please see below and attached. Building and Community Services will also need to review as there seems to be a food component as well.

Thanks,



Tommy Ludwig
Assistant City Manager
City of Waxahachie
O: 469-309-4021
C: 214-949-0529
TLudwig@waxahachie.com

(4/4)

Villarreal, Amber

From: Chambers, Jeff
Sent: Wednesday, June 05, 2019 4:57 PM
To: Villarreal, Amber; Wade Goolsbey; Ricky Boyd; Smith, John
Cc: Scott, Michael; Lawrence, Albert; Ludwig, Tommy; Cartwright, Lori
Subject: RE: Event Application-Community Street Dance

Zi offer no objection.

Jeff

From: Villarreal, Amber
Sent: Wednesday, June 5, 2019 12:24 PM
To: Wade Goolsbey <wgoolsby@waxahachiepd.org>; Ricky Boyd <rboyd@waxahachiefire.org>; Smith, John <jsmith@waxahachie.com>; Chambers, Jeff <jchambers@waxahachie.com>
Cc: Scott, Michael <msscott@waxahachie.com>; Lawrence, Albert <alawrence@waxahachie.com>; Ludwig, Tommy <tludwig@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>
Subject: Event Application-Community Street Dance

Please review the attached event application and send me your comments/concerns.

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
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(4K)

Villarreal, Amber

From: Smith, John
Sent: Tuesday, June 11, 2019 11:43 AM
To: Villarreal, Amber; Martinez, Gumaro
Subject: RE: Event Application-Community Street Dance

I'm good with this application.

Thanks,
John

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Tuesday, June 11, 2019 10:32 AM
To: Smith, John <jsmith@waxahachie.com>; Martinez, Gumaro <gmartinez@waxahachie.com>
Subject: FW: Event Application-Community Street Dance

Can you send me your comments/concerns today? I'll be at a conference the remainder of the week and we'll need to get this on 6/17/19 council agenda if approved by staff.

Thank you!

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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From: Villarreal, Amber
Sent: Wednesday, June 05, 2019 12:24 PM
To: Wade Goolsby <wgoolsby@waxahachiepd.org>; Ricky Boyd <RBoyd@waxahachiefire.org>; Smith, John <jsmith@waxahachie.com>; Chambers, Jeff <jchambers@waxahachie.com>
Cc: Scott, Michael <mscott@waxahachie.com>; Lawrence, Albert <alawrence@waxahachie.com>; Ludwig, Tommy <tludwig@waxahachie.com>; Cartwright, Lori <lcartwright@waxahachie.com>
Subject: Event Application-Community Street Dance

Please review the attached event application and send me your comments/concerns.

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
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(HL)

Application for a Festival or Event Permit

Event Name and Description: Oak Lawn Memorial Celebration and High School reunion Parade

Applicant Information

Name: Barbara A. Turner

Address: 406 Bluff Creek

City, State, Zip: Ovilla, Texas 75154 Phone: 972-515-8303/760-715-0065

E-mail Address: oscar-turner@sbcglobal.net

Organization Information

Organization Name: Oak Lawn / Turner High School Reunion Committee

Address: 102 Leatherwood Street, Waxahachie, Texas 75165

Authorized Head of Organization: Edith Finley

Phone: 972-938-1800 E-mail Address: _____

Event Chairperson/Contact

Name: Edith Finley

Address: 102 Leatherwood Street

City, State, Zip: Waxahachie, Texas 75165 Phone: _____

E-mail Address: _____

Event Information

Event Location/Address: Memorial Celebration will be held at the Oak Lawn site, located on Wyatt Street, Waxahachie, Texas _____

Purpose: Celebrate the historical memory of Oak Lawn

Event Start Date and Time: July 6, 2019, at 9:00 A.M.

Event End Date and Time: July 6, 2019, 12:00 P.M.

Approximate Number of Persons Attending Event Per Day: 100

Received in
City Secretary's Office
10-12-19
City of Waxahachie, Texas

(41)

Site Preparation and Set-Up Date and Time: July 6, 2019, by 8:00 A.M.

Clean-Up Completion Date and Time: Time: July 6, 2019, by 12:00P.M. _____

List all activities that will be conducted as a part of this event including street closures, traffic control, vendor booths, etc.

Need the following items set-up at the Oak Lawn site on Wyatt Street: tent, wireless microphone, podium and at least fifty chairs if available. These items will need to be removed after the parade has started.

Parade: Need traffic control officers and a fire truck during the parade.

Parade Route: Starting at the Oak Lawn site proceeding up Wyatt Street to Peters. Turn right on Peters to Getzendaner. Turn right on Getzendaner and proceed across Martin Luther King Blvd. to Jefferson. Turn right on Jefferson and proceed to Clift. Turn right on Clift and proceed to Martin Luther King Blvd. Turn right on Martin Luther King Blvd and proceed to Friedman Plaza. The parade ends at Friedman Plaza.

Will food and/or beverages be available and/or sold? **YES/NO** *None will be available or sold*

*Will alcohol be available and/or sold? **YES/NO** *None will be available or sold*

If yes, will the event be in the Historic Overlay District? YES/NO

If food will be prepared on-site, a Temporary Food Permit must be obtained by the Environmental Health Department.

Will dumpsters be needed? _____

Please submit a site plan showing the layout of the event including equipment, stages, and street locations

I THE UNDERSIGNED APPLICANT, AGREE TO INDEMNIFY AND HOLD HARMLESS THE CITY OF

WAXAHACHIE, ITS OFFICERS, EMPLOYEES, AGENTS, AND REPRESENTATIVES AGAINST ALL CLAIMS OF

LIABILITY AND CAUSES OF ACTION RESULTING FROM INJURY OR DAMAGE TO PERSONS OR PROPERTY

ARISING OUT OF THE SPECIAL EVENT.

Barbara A. Turner, June 11, 2019

Signature of Applicant Date

**** Please note that approval of this permit does not replace/modify compliance with all applicable state laws as specified by the Texas Alcoholic Beverage Commission (TABC).***

(HL)

Cartwright, Lori

From: Boyd, Ricky <RBoyd@waxahachiefire.org>
Sent: Wednesday, June 12, 2019 8:42 AM
To: Cartwright, Lori
Cc: Randall Potter; Maeker, David
Subject: FW: Event Application
Attachments: 2019 Application for a Festival or Event Permit.docx

I have no concerns with this request and we will have a fire engine there unless we do not have one available due to emergency calls.

Ricky Boyd, Fire Chief

Waxahachie Fire-Rescue
214-463-9335

From: Villarreal, Amber <avillarreal@waxahachie.com>
Sent: Tuesday, June 11, 2019 4:55 PM
To: Boyd, Ricky <RBoyd@waxahachiefire.org>; Wade Goolsbey <wgoolsby@waxahachiepd.org>; Chambers, Jeff <jchambers@waxahachie.com>
Cc: Cartwright, Lori <lcartwright@waxahachie.com>; Scott, Michael <msscott@waxahachie.com>
Subject: FW: Event Application

Please review the attached event application and send Lori your comments/concerns by tomorrow at 5 p.m. if possible.

Amber Villarreal, TRMC, CMC
Assistant City Secretary
City of Waxahachie
Direct (469) 309-4006 | Fax (469) 309-4003 | PO Box 757, Waxahachie, Texas 75168
www.waxahachie.com

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From: Barbara Turner <oscar-turner@sbcglobal.net>
Sent: Tuesday, June 11, 2019 4:30 PM
To: Villarreal, Amber <avillarreal@waxahachie.com>
Subject: Re: Event Application

Thanks Amber,

Attached is a file that I hope will be acceptable due to my circumstances. I do not have the same software on my computer that is needed to complete the application on line and I have transportation constraints at this time.

I do understand standardization, hopefully, this file will qualify as a variance due to the issues that I listed above.

(le)

Planning & Zoning Department

Plat Staff Report

Case: PP-19-0058



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Consider request by Juan Carlos Flores, Flores Homes INC, for a Preliminary Plat of Clift Estates Phase V for 21 lots, being 7.356 acres situated in the Silas M. Durrett Survey, Abstract 272 (Property ID 239606) – Owner: JUAN C FLORES (PP-19-0058)

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of plat no. PP-19-0058, as presented.

CASE INFORMATION

Applicant: Juan Carlos Flores, Flores Homes, Inc.

Property Owner(s): Juan C Flores

Site Acreage: 7.356 acres

Number of Lots: 21 lots

Number of Dwelling Units: 21 units

Park Land Dedication: The cash in lieu of park land dedication for this case is estimated at **\$8,400** (21 residential units at \$400.00 per unit).

Adequate Public Facilities: The development will provide adequate public facilities for the subject property.

SUBJECT PROPERTY

General Location: South of Parks School House Road, between US Highway 287 and Dr. Martin Luther King, Jr. Blvd.

Parcel ID Number(s): 239606

Current Zoning: Planned Development-Single Family-3 (Ordinance 3062)

Existing Use: Undeveloped

Platting History: 272 S M DURRETT 7.37 ACRES

(6)

Site Aerial:



STAFF CONCERNS

1. Staff has no concerns at the time this report was made (5/31/19).

APPLICANT RESPONSE TO CONCERNS

1. The applicant submitted an updated plat that addressed all of staff's concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

ATTACHED EXHIBITS

1. Plat drawing.

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

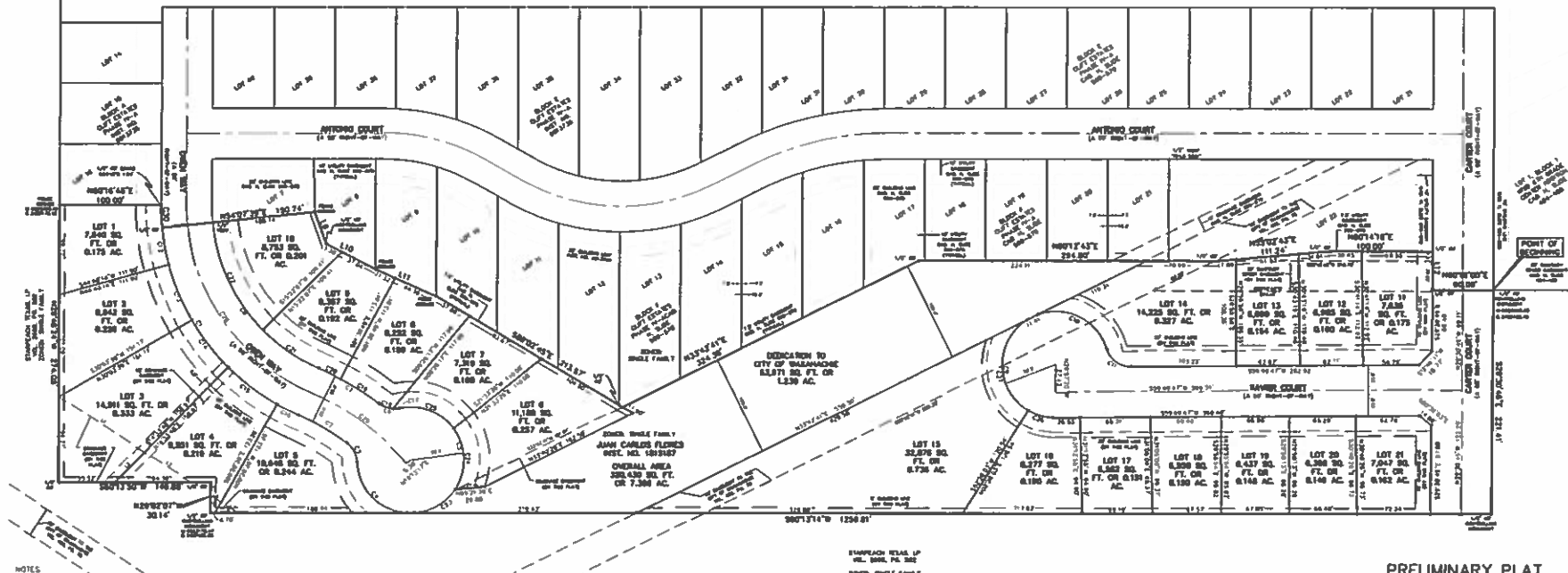
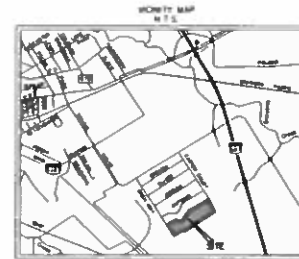
STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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NOTES

1. 10' - from Red Flag
2. 95' - from Red Flag
3. 10' - from Red Flag
4. 10' - from Red Flag
5. 10' - from Red Flag
6. 10' - from Red Flag
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16. 10' - from Red Flag
17. 10' - from Red Flag
18. 10' - from Red Flag
19. 10' - from Red Flag
20. 10' - from Red Flag
21. 10' - from Red Flag



UNITS EASTMENT HERE
15' Front Easement
(UNLESS OTHERWISE NOTED)

BUILDING LINE NOTES
Front Building Line As Noted
15' Side Street Building Line
3' Rear Building Line

ENGINEER
SHELIA WOODWARD
112 S. MARSH AVE
DALLAS, TX 75208
214-641-9412

OWNER
JAN CARLOS FLORES
611 HALLWAY ROAD
OYULA, TEXAS 75154

PRELIMINARY PLAT CLIFT ESTATES PHASE V 21 LOTS BEING 7.356 ACRES SITUATED IN THE CITY OF WABAMACHE, ELLIS COUNTY, TEXAS CASE NO. PP-19-0058

PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com		
DATE: 08/15/2024 SCALE: 1" = 40' FIELD: 1/4" CHECKED: 1/4"	123 E. DALLAS ROAD DALLAS, TEXAS 75208 (214) 641-9412 (214) 641-9413	

[illegible]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JUAN CARLOS FLORES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED, AND AS THE ACT AND DEED OF SAID PARTIESHIP.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE _____ DAY OF _____ 2018.

NOTARY PUBLIC IN AND FOR _____ COUNTY
MY COMMISSION EXPIRES _____

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON AND DESIGNATED AS THE FINAL PLAT OF CLIFF ESTATES, PHASE V, AN ADDITION TO THE CITY OF MARATHON, ELUS COUNTY, TEXAS WAS APPROVED _____ DAY OF _____, 2019, BY THE CITY COUNCIL OF THE CITY OF MARATHON, TEXAS SAID ADDITION SHALL BE SUBJECT TO ALL REQUIREMENTS OF THE SUBDIVISION ORDINANCE OF THE CITY OF MARATHON, TEXAS.

IN THE SS AND HAND OF THE DAY OF 2019

www.pc200

DATE: 08/08/1987

SUMMARY AND CONCLUSIONS

It is to be certified that [Name] is a Licensed Professional Land Surveyor of the State of Texas, who plotted the above subdivision from an actual survey on the ground, and that this plot correctly represents that survey made by me or under my direction and control.

PRELIMINARY-NOT TO BE RECORDED

Foresty & Monism
Landscape Degradation, Inc. 11/22

BEING all that certain 7.3% acre tract of land situated in the Saco in Current Survey, about the 272. C4, of Washington, the County, Texas, and being all that certain tract of land conveyed to Juan Carlos Flores, by General Morant, Good this in Instrument No. 181587, Official Public Records, the County, Texas, and being more particularly described as follows:

BELOWING at a 1/2 inch run red found for the most easterly northeast corner of said Flares trail, same being the southeast corner of Carter Court (58 foot right-of-way per instrument the 0519723 and OFFICE PLAIN RECORD), same being a north corner of that certain tract of land conveyed to Stepperson Tamen LP, by deed recorded in Volume 2640, Page 222, and OFFICE PLAIN RECORD.

Notes along the common line of the three tract and the three tract as follows:

Soak 18 deg 30 min at sec 400 a distance of 221.41 feet to a 1/2 inch van der Grint
for the 100-amp carrier of solid flexing tract.

South 60 day 13 wire 14 sec. level a distance of 1258.81 feet to a 1/2 inch iron rod found for the small southernly south-east corner of sand flares tract.

North 29 deg 32 min E, 1000 yds, to distance of 3016 feet to a 1/2 inch iron rod found
for fence.

South 60 deg 17 min 30 sec West, a distance of 149.89 feet to a 1/2 inch iron rod found for the short section on the west corner of east Flare tract.

North 29 deg 48 min 24 sec. Byvt., a distance of 274.85 feet to a fence corner found for the most accurate north-south corner of said Flannery tract, same being the southwest corner of Block A, City Section Phase IV-A, an addition to the City of Birmingham, Elba County, Texas, according to the plat thereof recorded in Instrument No. 0813735, referenced Oilfield Rights Bureau.

NE1/4 Sec 40 T46S R18E S12E, along the common line of said Flares tract and said Block A, a distance of 100.00 feet to a point far corner, from which a 1/2 mile run to the south-southwest, North 24 deg 42 min West 1.54 feet, same being the south-west corner of said Block A, thence being to the center-right-of-way line of Deane City [30 feet right-of-way per instrument No. 0813732, said City of Public Records], same being the beginning of a new survey curve to the left, having a radius of 275.00 feet and a central angle of 65 deg 06 min. 00 sec.

TRAIL: Along road near tangent curve to the left and along the upper edge of sand Flats tract and sand Dune Bay, an arc distance of 22.65 feet and a chord bearing and distance of South 22 deg 58 min 35 sec West, 23.64 feet to a 1/2 inch brass rod found for corner same being the short-end corner of sand Dune Bay.

THEENCE March 3d dug 87' and 39' sec East, continuing along the common line of old Fluvial tract and sand Ocean Bay, passing a 1/2 inch iron rod with galvanized cap found for the southeast corner of sand Ocean Bay, sand being the southwest corner of Block F and Old Island Phase IV-A, and continuing along the common line of old Fluvial tract and sand Ocean Bay and Block F a total distance of 150.74 feet to a fence corner found for corner.

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Time 49 sec 34 min 42 sec (444 = distance of 3) 71 feet to a 1/2 inch eye red band for center.

[illegible]

North 24 deg 17 min 19 sec. East, a distance of 85.71 feet to a fence corner. Round for angle point.

South 88 deg 42 min 45 sec East a distance of 213.97 feet to a point at internal corner

North 33 deg 42 min 41 sec East, a distance of 324.36 feet to a 1/2 inch iron rod found
at corner.

Narrow 65 deg 12 mm 43 sec. [est. a distance of 27485 feet to a 1/7 inch mm red band]

© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 111–118

April 23 day 100. Area 43 cont. 1961. A distance of 111.24 feet to a 174 inch van 100 yards
to the south.

North 60 deg 16 min 16 sec East, a distance of 100.00 feet to a 1/2 inch iron rod found at the most northerly northeasterly corner of the herein described tract, same being the southeasterly corner of said Block F, same being in the westerly right-of-way line of aforesaid Carter Court.

THECE does not collect any of your private bank and credit card information.

From 28 deg. 42 min. 42 sec. lat. (lat. = distance of 28 28 feet to 1/2 inch and red round for corner, same being the intersection corner of road for 1/2 inch.

North 68 deg 16 min 00 sec. East, a distance of 60 feet to the POINT OF BEGINNING and
containing 720 acres of surveyed land more or less.

ENGINEER
SHOLA MOROHLUNFOLA
OKM ENGINEERING, INC.
112 S. MAPSON AVENUE
DALLAS, TX 75208
214-941-9412

OWNER:
JUAN CARLOS FLORES
611 WALLEY ROAD
ONILLA, TEXAS 75154

PRELIMINARY PLAT
CLIFT ESTATES PHASE V

21 LOTS
BEING 7.356 ACRES
SITUATED IN THE
SILAS M DURRETT SURVEY, ABSTRACT NO 272
CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS
CASE NO PP-19-0058

(707) 439-1111 FAX: (707) 439-1111 1515 S. BAY Sausalito, CA 94965		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com		D-CE 1 2 2
 1515 S. BAY Sausalito, CA 94965 (707) 439-1111 FAX: (707) 439-1111		1515 S. BAY Sausalito, CA 94965 (707) 439-1111 FAX: (707) 439-1111		

(1)

Planning & Zoning Department

Plat Staff Report

Case: PP-19-0064



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Consider request by Vernon L. Witherspoon, FirstLook, for a **PETITION TO EXTEND APPROVAL FOR 2 YEARS** pursuant to Appendix C – Subdivisions, Section 2.3 – Procedures and Submission Requirements for Preliminary Plat Approval of PP-17-0088 Lakeridge II (Property ID 186874) – Owner: FERRIS AVENUE BAPTIST DBA THE AVENUE (PP-19-0064).

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of plat no. PP-19-0064, as presented.

CASE INFORMATION

Applicant: Donna Young, First Look Clinic

Property Owner(s): Ferris Avenue Baptist Church DBA The Avenue

Site Acreage: 2.596 acres

Number of Lots: 1 lot

Number of Dwelling Units: 0 units

Park Land Dedication: Cash in lieu of park land dedication for the property is set at \$1,610.40. This fee will be due at time of final plat.

Adequate Public Facilities: Adequate facilities will be provided by City water and wastewater.

SUBJECT PROPERTY

General Location: End of YMCA Drive

Parcel ID Number(s): 186874

Current Zoning: Commercial

Existing Use: Undeveloped

Platting History:

PP-17-0088 was initially submitted to staff on February 2, 2017.
This is an extension request for the same plat.

Site Aerial:**STAFF CONCERNS**

1. All staff concerns have been addressed at the time of this report (6/4/2019).

APPLICANT RESPONSE TO CONCERNS

1. The applicant submitted an updated plat that addressed staff concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

ATTACHED EXHIBITS

1. Plat drawing.

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(7)

RECEIVED
5/10/19



May 6, 2019

City of Waxahachie
Attn. City Planning
Waxahachie, Texas 75165

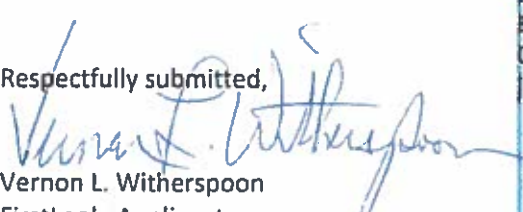
Re: FirstLook Building Preliminary Plat
Preliminary Plat Nos. 17-0088 and 17-0053/PP-17-0059
Parcel ID #: 186874 Site Address: 1761 N. Hwy 77
Subdivision: Lakeridge Lot: 5 Block: B
Development Name: Lakeridge II
Request for Extension of Time - Final Plat

Dear City Planning Manager:

Request is hereby made on behalf of FirstLook for an extension of time to complete its application for Final Plat.

Please process this request as soon as possible on the city scheduling for consideration of an extension.

Respectfully submitted,


Vernon L. Witherspoon
FirstLook, Applicant

Board of Directors

Vernon Witherspoon, Chairman
Pam Peterson, Vice-Chairman
John Hamaker, Treasurer
Tabitha R. Smith, Secretary
D. Wayne Shuffield, Jr.
Cassie Fulton
Demetrius McClendon
Peter Pinon

Medical Director

Michael Timothy Glover, D.O.

Team Lead Staff

Donna Young, CEO
Sharra Poteet, Clinic Director
Becky Scasta, RN, MSN, Nurse Manager
Brenda Stallcop, Boutique Manager
Carla Phillips, Boutique Manager
Julie Farrar, Capital Campaign Manager

Leading Ellis County to
embrace Life by promoting
best sexual health practices
and providing family
support in the name of
Jesus Christ.

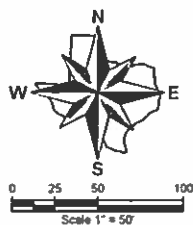
Values

Sanctity of Life
Authentic Relationships
Wholistic Care
Christlike Compassion

Waxahachie Clinic
1204 Ferris Ave., Suite E
Waxahachie, TX 75165
972-938-7900

FirstLook Boutique
1204 Ferris Ave., Suite B
Waxahachie, TX 75165
972-923-0778

FirstLook Boutique
210 W. Brown St.
Ennis, TX 75119
972-875-8055



Owner of the remainder tract shall install the water, sewer, streets, drainage, and dedicate right-of-way when the overall property develops.

BENCHMARK:

BM Number 612 Elev. = 620.19'
North of Waxahachie. From the intersection of Highway 77 - Ferns Street and
Business Route 287 - Main Street in Waxahachie, go north along Highway 77 for
2.99 miles to the station. The station is 60-feet north of YMCA Road in south
corner of the east headwall over Mustang Creek, see Superconducting Super
Collider report on Permanent Monumentation for Horizontal and Vertical Control
at the SSC Site dated May 1991.

**Winkelmann
& Associates, Inc.**

[illegible]

PRELIMINARY PLAT
LAKE RIDGE II
LOT 5, BLOCK B

Date: 11.29.18

Scale: 1" = 50'

File: 09140.PPLT

Project No. : 09140

1
OF
2

PP-19-0064

FLOOD NOTE

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48139C0190F, dated June 3, 2013, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

The flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The flood statement shall not create liability on the part of the surveyor.

OWNER:
Ferns Avenue Baptist Church
210 YMCA Drive
Washach, Texas 75165

SURVEYOR:
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive
Suite 215
Dallas, Texas 75230
ph# 214-490-7090
l.lueker@winkelmann.com

PRELIMINARY PLAT
LAKERIDGE II
LOTS 5, BLOCK B
AN ADDITION TO THE CITY OF WAXAHACHIE,
TEXAS, BEING 2.684 IN THE HENRY LEVY
SURVEY, ABSTRACT NO. 629
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

3 609140 SURVEYOR#BX0140-PPL T.dwg

OWNERS DEDICATION

STATE OF TEXAS §
COUNTY OF ELLIS §

BEING a tract of land situated in the HENRY LEVY SURVEY ABSTRACT NO. 629, in the City of Waxahachie, Ellis County, Texas, and being part of a tract of land described in deed in Ferns Avenue Baptist Church as recorded in Volume 1975, Page 1105, Official Public Records, Ellis County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for corner at the Northeastly corner of YMCA Drive, a 60-foot right-of-way dedicated by plat of Lakeridge I, an addition to the City of Waxahachie, Ellis County, Texas, according to the Plat thereof recorded in Cabinet B, Page 245, Official Public Records, Ellis County, Texas;

THENCE South 52 deg 41 min 27 sec West, along the Northwestly right-of-way of said YMCA Drive, a distance of 60.00 feet to a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for the Northeast corner of Lot 4, Block B, of said Lakeridge I;

THENCE South 60 deg 03 min 02 sec West, along the Northwest line of said Lot 4, passing the Northwest corner of said Lot 4 and the Northwest corner of Lot 3, Block B, of said Lakeridge I at a distance of 222.00 feet, continuing along the Northwest line of said Lot 3 an additional distance of 68.00 feet, for a total distance of 290.00 feet to a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for corner on the Northwest line of said Lot 3;

THENCE North 79 deg 16 min 58 sec West, departing the Northwest line of said Lot 3, over and across said Ferns Avenue Baptist Church tract, a distance of 390.00 feet to a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for corner;

THENCE North 60 deg 03 min 02 sec East, continuing over and across said Ferns Avenue Baptist Church tract, a distance of 290.50 feet to a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for corner;

THENCE South 29 deg 48 min 03 sec East, continuing over and across said Ferns Avenue Baptist Church tract, a distance of 322.16 feet to a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for corner;

THENCE North 60 deg 11 min 57 sec East, continuing over and across said Ferns Avenue Baptist Church tract, a distance of 68.00 feet to a 1/2-inch iron rod with a red plastic cap stamped "WAI" set for corner;

THENCE South 29 deg 48 min 03 sec East, continuing over and across said Ferns Avenue Baptist Church tract, a distance of 60.00 feet to the POINT OF BEGINNING.

CONTAINING within these meters and bounds 116,935 square feet or 2.684 acres of land, more or less. Bearings shown herein are based upon an on-the-ground survey performed in the field on the 8th day of July, 2017, utilizing a G.P.S. measurement (NAD 83) using the Geospatial VR8 network.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Ferns Avenue Baptist Church, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as LAKERIDGE II, an addition to the City of Waxahachie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The Easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or part of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas.

WITNESS, my hand this the _____ day of _____, 2019.

BY

Authorized Signature of Owner

Printed Name and Title

STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2019.

Notary Public in and for the State of Texas

My Commission Expires On _____

SURVEYORS CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

KNOW ALL MEN BY THESE PRESENTS:

That I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Leonard J. Lueker
Registered Professional Land Surveyor
Texas Registration No. 5714
Winkelmann & Associates, Inc.
6750 Hilcrest Plaza Drive, Suite 325
Dallas, Texas 75230
(972) 490-7090

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same for the purposes and considerations therein stated.

Given under my hand and seal of office, this _____ day of _____, 2019.

Notary Public in and for the State of Texas

My Commission Expires On _____

APPROVED BY: Planning and Zoning Commission, City of Waxahachie

By _____ Date _____
Chairperson

APPROVED BY: City Council, City of Waxahachie

By _____ Date _____
Mayor

Attest _____ Date _____

Owner's Acknowledgment

I hereby acknowledge this document as the officially approved preliminary plat

Owner's Signature

OWNER:
Ferns Avenue Baptist Church
210 YMCA Drive
Waxahachie, Texas 75165

SURVEYOR:
Winkelmann & Associates, Inc.
6750 Hilcrest Plaza Drive
Suite 325
Dallas, Texas 75230
ph# 214-490-7090
llueker@winkelmann.com

PRELIMINARY PLAT
LAKERIDGE II
LOTS 5, BLOCK B
AN ADDITION TO THE CITY OF WAXAHACHIE,
TEXAS, BEING 2.684 IN THE HENRY LEVY
SURVEY ABSTRACT NO. 629
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

PP-19-0064

Winkelmann & Associates, Inc.
CONSULTING ENGINEERS & SURVEYORS
1900 MILLER AVENUE, SUITE 211
IRVING, TEXAS 76039
TEL: (972) 490-7090
FAX: (972) 490-7091
www.winkelmann.com

PRELIMINARY PLAT
LAKERIDGE II
LOT 5, BLOCK B

Date : 07/11/17
Scale : N/A
File : 69146-PPLT
Project No. : 69146

SHEET
2 of 2

(8)

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0059



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Request by James Bledsoe for a **Replat** of Lot 9A, Whispering Meadows Addition, to create Lots 9A-1 and 9A-2, Whispering Meadows Addition, 4.997 acres (Property ID 210307) in the Extra Territorial Jurisdiction – Owner: JAMES BLEDSOE AND NETA BLEDSOE (RP-19-0059)

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of plat no. RP-19-0059, per staff comments.

CASE INFORMATION

Applicant: James Bledsoe

Property Owner(s): James and Neta Bledsoe

Site Acreage: 4.997 acres

Number of Lots: 2 lots

Number of Dwelling Units: 2 units

Park Land Dedication: N/A

Adequate Public Facilities: A water letter was received from Rockett SUD regarding this plat. While Rockett SUD said their water system can provide water flow and pressure for domestic service per TCEQ regulations, they are not able to project fire flow.

SUBJECT PROPERTY

General Location: NE corner of Old Boyce Road and Wilson Road

Parcel ID Number(s): 210307

Current Zoning: N/A (ETJ)

Existing Use: Undeveloped

Platting History:

Two attempts were made to replat this property in 2018. RP-18-0084 was withdrawn on June 12, 2018. RP-18-0127 was denied by City Council on September 4, 2018.

Site Aerial:



STAFF CONCERNS

While most comments have been addressed, there are still a few concerns regarding this plat.

1. The southeast corner of lot 2 still shows it as a prescriptive ROW. Based off the dimensions they need to dedicate some ROW to get the minimum 60 foot ROW.

APPLICANT RESPONSE TO CONCERNS

1. The applicant submitted an updated plat drawing that addressed most issues staff initially had with the first submittal.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. A waiver will be needed for Fire Flow.

ATTACHED EXHIBITS

Identify the exhibits that will be included as agenda backup material.

1. Plat drawing
2. Water letter from Rockett-SUD

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

(8)

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

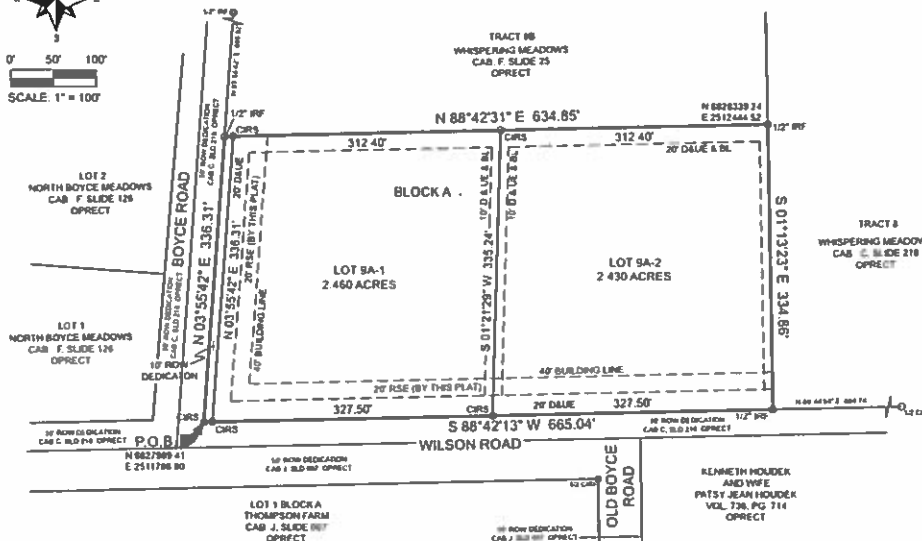
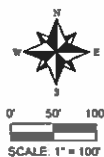
cwebb@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



STATE OF TEXAS
COUNTY OF ELLIS

KNOW ALL MEN BY THESE PRESENTS

THAT WE, JAMES BLEDSOE AND META BLEDSOE, ARE THE SOLE OWNERS OF A TRACT OF LAND SITUATED IN THE F.M. WOODWARD SURVEY, ABSTRACT NO. 1120, ELLIS COUNTY, TEXAS, AND BEING ALL OF TRACT 9A OF A REPLAT OF LOT 8 WHISPERING MEADOWS ADDITION, AN ADDITION TO ELLIS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF, RECORDED IN CLERK'S OFFICE OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT), AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN DEED TO JAMES BLEDSOE AND META BLEDSOE, RECORDED IN INSTRUMENT NUMBER 1819649 (OPRECT), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH CAP STAMPED "T18C3" SET FOR THE INTERSECTION OF THE NORTH RIGHT-OF-WAY (ROW) LINE OF WILSON ROAD (A VARIABLE WIDTH PREScriptive AND DEDICATED ROW) AND THE EAST ROW LINE OF BOYCE ROAD (A CALLED 60' ROW), AND THE SOUTHWEST CORNER OF SAID TRACT 9A,

THENCE N 81°55'42" E ALONG THE WEST LINE OF SAID TRACT 9A AND THE COMMON EAST ROW LINE OF SAID BOYCE ROAD, A DISTANCE OF 336.11 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID TRACT 9A AND THE COMMON SOUTHWEST CORNER OF TRACT 18 OF SAID REPLAT, FROM WHICH A 1/2" IRON ROD FOUND FOR THE NORTHWEST CORNER OF TRACT 80 AND THE COMMON SOUTHWEST CORNER OF TRACT 90 OF SAID REPLAT BEARS N 01°55'42" E A DISTANCE OF 605.82 FEET,

THENCE N 81°42'31" E ALONG NORTH LINE OF SAID TRACT 9A AND THE COMMON SOUTH LINE OF SAID TRACT 9B, A DISTANCE OF 634.85 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID TRACT 9A AND THE COMMON SOUTHWEST CORNER OF SAID TRACT 9B, IN THE WEST LINE OF TRACT 8 OF WHISPERING MEADOWS ADDITION, RECORDED IN CLERK'S OFFICE, SLIDE 214, OPRECT,

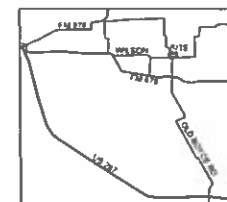
THENCE S 01°12'21" E ALONG THE EAST LINE OF SAID TRACT 9A AND THE COMMON WEST LINE OF SAID TRACT 8, A DISTANCE OF 334.86 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID TRACT 9A AND THE COMMON SOUTHWEST CORNER OF SAID TRACT 8, IN THE NORTH ROW LINE OF SAID WILSON ROAD, FROM WHICH A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID TRACT 8 BEARS N 81°42'31" E A DISTANCE OF 664.14 FEET,

THENCE S 81°42'31" W ALONG THE SOUTH LINE OF SAID TRACT 9A AND THE COMMON NORTH ROW LINE OF SAID WILSON ROAD, A DISTANCE OF 665.04 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.967 ACRES OF LAND, MORE OR LESS.

I, TIMOTHY L. JACKSON, BEING HEREBY CERTIFIED THAT THIS PLAT WAS MADE ON THE GROUNDS UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND THAT ALL PROPERTY CORNERS HEREON HAVE BEEN FOUND OR SET AS SHOWN.

"Preliminary. This document shall not be recorded for any purpose and shall not be used or varied or relied upon as a final survey document."

TIMOTHY L. JACKSON
REGISTRATION NUMBER 5644



VICINITY MAP
1" = 2.5 MILES

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT JAMES BLEDSOE AND META BLEDSOE, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS TRACT 9A WHISPERING MEADOWS ADDITION, AND DO HEREBY DEDICATE, IN FEE SIMPLE, TO ELLIS COUNTY AND THE CITY OF WAXAHACHE, TEXAS, FOR THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON, AND HEREBY CERTIFY THE FOLLOWING:

1. THE STREETS AND ALLEYS ARE DEDICATED IN FEE SIMPLE FOR STREET AND ALLEY PURPOSES.
2. ALL PUBLIC IMPROVEMENTS AND DEDICATIONS SHALL BE FREE AND CLEAR OF ALL DEBTS, LIENS, AND/OR ENCUMBRANCES.
3. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, AND CREATED BY THIS PLAT, ARE DEDICATED FOR THE PUBLIC USE FOREVER FOR THE PURPOSES INDICATED ON THIS PLAT.
4. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN.
5. ELLIS COUNTY AND THE CITY OF WAXAHACHE ARE NOT RESPONSIBLE FOR REPLACING ANY IMPROVEMENTS IN, UNDER, OR OVER ANY EASEMENTS CAUSED BY MAINTENANCE OR REPAIR.
6. UTILITY EASEMENTS MAY ALSO BE USED FOR THE RATIONAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES. SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND ELLIS COUNTY'S AND THE CITY OF WAXAHACHE'S USE THEREOF.
7. ELLIS COUNTY, THE CITY OF WAXAHACHE AND/OR PUBLIC UTILITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN THE EASEMENTS.
8. ELLIS COUNTY, THE CITY OF WAXAHACHE AND PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, MAINTAINING, REPAIRING, REPLACING, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.
9. ALL MODIFICATIONS TO THIS DOCUMENT SHALL BE BY MEANS OF PLAT AND APPROVED BY ELLIS COUNTY AND THE CITY OF WAXAHACHE.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE ELLIS COUNTY, TEXAS AND THE CITY OF WAXAHACHE, TEXAS.

WITNESS MY HAND, THIS _____ DAY OF _____, 2019.

JAMES BLEDSOE _____ META BLEDSOE _____

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED JAMES BLEDSOE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, _____ DAY OF _____, 2019.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED META BLEDSOE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, _____ DAY OF _____, 2019.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

STATE OF TEXAS
COUNTY OF ELLIS

CERTIFICATE OF APPROVAL BY THE COMMISSIONER'S COURT OF ELLIS COUNTY TEXAS

APPROVED THIS, _____ DAY OF _____, 2019.

ATTEST

TODD LITTLE
COUNTY JUDGE

KRYSTAL VALDEZ
COUNTY CLERK

RANDY STINSON
COMMISSIONER PRECINCT 1

LANE GRAYSON
COMMISSIONER PRECINCT 2

PAUL PERRY
COMMISSIONER PRECINCT 3

RYLE BUTLER
COMMISSIONER PRECINCT 4

THIS PLAT HAS BEEN APPROVED BY THE DEPARTMENT OF DEVELOPMENT FOR AN ON-SITE SEWAGE FACILITY SYSTEM PENDING ANY AND ALL INFORMATION AS MAY BE REQUIRED BY THE ELLIS COUNTY DEPARTMENT OF DEVELOPMENT.

DEPARTMENT OF DEVELOPMENT DIRECTOR _____ DATE _____

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED TIMOTHY L. JACKSON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, _____ DAY OF _____, 2019.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

APPROVED BY PLANNING AND ZONING COMMISSION CITY OF WAXAHACHE

BY _____ DATE _____

APPROVED BY CITY COUNCIL,
CITY OF WAXAHACHE

BY _____ DATE _____

ATTEST _____ DATE _____

LEGEND

- CRPS = 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "T18C3" SET
- IRF = IRON ROD FOUND
- FND = FOUND
- OPRECT = OFFICIAL PUBLIC RECORDS ELLIS COUNTY TEXAS
- D & UE = DRAINAGE AND UTILITY EASEMENT
- RSE = ROCKY SUD EASEMENT - DEDICATED BY THIS PLAT
- BL = BUILDING LINE

NOTES

BEARING BASIS FOR THIS SURVEY IS TEXAS STATE PLANE COORDINATE, SYSTEM NORTH CENTRAL ZONE 4202, NAD 83, PER GPS OBSERVATIONS.

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DEEMED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48199C0225F DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ALL LOTS SHALL BE SERVICED BY AN ON-SITE SEWAGE FACILITY SYSTEM FOR RESIDENTIAL USE. AN ON-SITE EVALUATION SHALL BE PERFORMED BY A REGISTERED ENGINEER AND/OR A REGISTERED SANITARIAN.

REPLAT TRACT 9A WHISPERING MEADOWS ADDITION

4.997 ACRES
2 RESIDENTIAL LOTS

BEING 120 IN THE
F.M. WOODWARD SURVEY
ABSTRACT NO. 1120
ETJ OF THE CITY OF WAXAHACHE,
TEXAS
ELLIS COUNTY, TEXAS

OWNER
JAMES BLEDSOE AND
META BLEDSOE
3317 CIVILLA ROAD
RED OAK, TX 75154
214 796 4836

SURVEYOR
TEXAS REALITY CAPTURE &
SURVEYING, LLC
P.O. BOX 252
WAXAHACHE, TEXAS 75168
409 518 8534
TRPLS F034 NO 10194359



(8)

PLANNING & ZONING DEPARTMENT
401 South Rogers Street | Waxahachie, Texas 75168
(469) 309-4290 | www.waxahachie.com/Departments/PlanningandZoning



WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: James & Neta Bledsoe Parcel ID #: 210307
Subdivision Name: Whispering Meadows

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3765
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines. <u>no fire flow can be projected</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. The water line size servicing the lots is <u>4</u> inches.	<input type="checkbox"/>	<input type="checkbox"/>

Kay Phillips

Print Name of General Manager of water provider or Designee

Rockett SUD

Name of water provider company

Kay Phillips

Signature of General Manager of water provider or Designee

5/9/19

Date

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0051



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Consider request by Michael Evans, GSW Land Surveyors, for a Replat of a portion of Lots 3 and 4 and all of Lot 5, Block 14, West End, to create Lot 5R, Block 14, West End, 4.478 acres (Property ID 176761 and 176763) – Owner: CHRISTOPHER L GLEASON (RP-19-0051)

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 5-1 to recommend approval of plat no. RP-19-0051, subject to staff comments.

CASE INFORMATION

Applicant: Michael Evans, GSW Land Surveyors

Property Owner(s): Christopher L Gleason

Site Acreage: 4.478 acres

Number of Lots: 2 lot

Number of Dwelling Units: 0 units

Park Land Dedication: Exempt

Adequate Public Facilities: The property owner will need to connect to city sewer and water.

SUBJECT PROPERTY

General Location: 309 N Grand Avenue

Parcel ID Number(s): 176761, 176763

Current Zoning: General Retail and Light Industrial-1

Existing Use: Veterinary Clinic

Platting History: 3D; 4A; 5B 827 14 WEST END, 5A 14 WEST END

Site Aerial:**STAFF CONCERNS**

1. The applicant is currently not connected to City sewer and will need to do so before the plat is filed.

APPLICANT RESPONSE TO CONCERNS

1. The applicant has submitted an updated plat that addressed all engineering/planning concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. The applicant will need to connect to city utilities before the plat is filed.

ATTACHED EXHIBITS

Identify the exhibits that will be included as agenda backup material.

1. Plat drawing

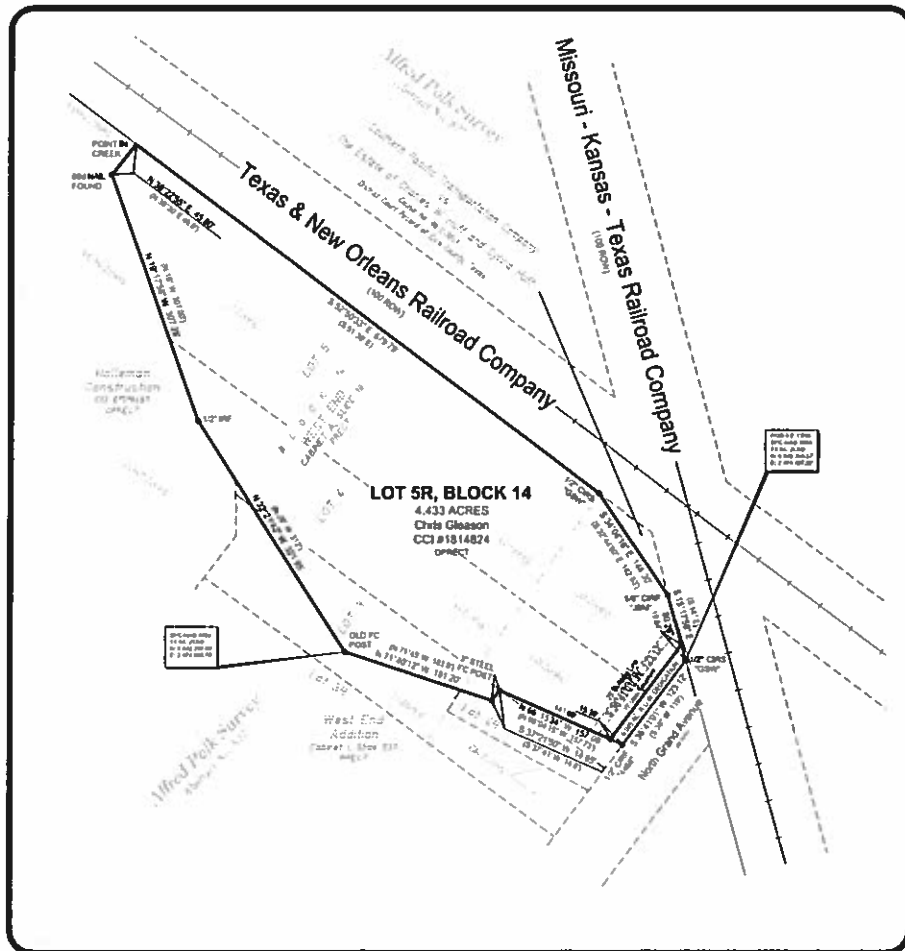
APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



State of Texas
County of Ellis

OWNER'S DEDICATION

Whereas Chris Gleason is the owner of that certain lot, tract or part of land lying in the Alfred Post Survey, Abstract No. 827, in the City of Waxahachie, Ellis County, Texas, and being a portion of Lots 3 and 4, and all of Lot 5, Block 14, West End, an addition to the City of Waxahachie according to the plat filed of record in Cabinet A, Slide 19, Plat Records of Ellis County, Texas, and being all that certain tract of land conveyed Chris Gleason according to the deed filed of record as County Clerk Instrument 81814874, Official Public Records of Ellis County, Texas, and being more particularly described by acres and bounds as follows:

BEGINNING at a 1/2" iron rod with a yellow plastic cap marked "GSW Surveyors" set at the intersection of the west line of North Grand Avenue and the west line of the right-of-way of the Missouri Kansas Texas Railroad Company, the State Plane Coordinates of which is N. 8,832,365.57 feet, and 1.247442792 feet, said point being the most easterly corner of said Huff tract, for the most easterly corner of this tract;

THENCE S 36°41'01" W, along the west line of said avenue and along the east line of said Block 14, a distance of 323.12 feet to a 1/2" iron rod with a yellow plastic cap marked "RPIS 4466" found, the northeast corner of Lot 48, Block 14, West End Addition, according to the plat filed of record in Cabinet A, Slide 537, Plat Records of Ellis County, Texas, and the southeast corner of said Huff tract, for the southeast corner of this tract;

THENCE N 64°15'14" W, along the north line of said West End Addition (Cabinet A, Slide 537), and along the south line of said Huff tract, and along or near a fence of variable construction materials, a distance of 257.08 feet to a 3" steel fence post for an angle point in the north line of said addition and the south line of said Huff tract, for an angle point in the south line of this tract;

THENCE S 37°21'50" W, along the north line of said addition and along a purported agreed boundary line between Larry A. Pope and Charles W. Huff according to the description of said purported agreement contained within the field notes of the **EMST TRACT** in the Warranty Deed (With Vendor's Lien) whereas Lloyd D. Stone, and wife, Linda Stone, convey the said **EMST TRACT** to Larry A. Pope, and wife, Linda Pope, on June 10, 1971, according to the deed filed of record in Volume 551, Page 653, Deed Records of Ellis County, Texas, a distance of 14.85 feet to a 3" steel fence post for an angle point in the north line of said addition and an angle point in the south line of said Huff tract, for an angle point in the south line of this tract;

THENCE N 71°40'12" W, along the south line of said Huff tract and along or near a fence, a distance of 181.20 feet to an old fence post found for an angle point in the south line of said Huff tract, for an angle point in the southwest line of this tract;

THENCE N 32°21'42" W, along or near a fence and along the southwest line of said Huff tract, a distance of 371.95 feet to a 1/2" iron rod found, an angle point in the southwest line of that certain tract of land conveyed by C. Dale Stephenson, et al, to Holleman Construction on August 13, 2015, according to the Special Warranty Deed filed of record as County Clerk Instrument 81519487, Official Public Records of Ellis County, Texas, and being an angle point in the southwest line of said Huff tract, for an angle point in the southwest line of this tract;

THENCE N 19°17'34" W, along the southwest line of said Huff tract and along the northeast line of said Holleman tract, and along or near a fence, a distance of 307.28 feet to a 60d nail found at the base of a 6-in fence post for an angle point in the southwest line of said Huff tract and the northeast line of said Holleman tract, an angle point in the northeast line of said Holleman tract, and being the most westerly corner of said Huff tract, for the most westerly corner of said Huff tract;

THENCE N 38°22'35" E, along the west line of said Huff tract and along the east line of said Holleman tract, and along or near a fence, a distance of 65.80 feet to a point in a steel tank being in the southwest line of the Texas and New Orleans Railroad Company right-of-way, the northeast corner of said Holleman tract, the northeast corner of said Huff tract, for the northeast corner of this tract;

THENCE S 53°50'33" E, along the southwest line of said railroad right-of-way and along the northeast line of said Huff tract, a distance of 876.79 feet to a 1/2" iron rod with a yellow plastic cap marked "GSW Surveyors" set for the northwest corner of that certain tract of land described in the judgment for Cause No. 96-C-3041, Southern Pacific Transportation Company vs. The State of Charles W. Huff and Sylvia Huff, as filed in the District Clerk Records of Ellis County, Texas, for an angle point in the northeast line of this tract;

THENCE S 34°04'16" E, along the southwest line of the tract described in said judgment, a distance of 164.30 feet to a 5/8" iron rod with plastic cap marked "JBM" found, the southeast corner of the tract described in said judgment, and being in the west line of North Grand Avenue, and being in the northeast line of said Huff tract, for an angle point in the northeast line of this tract;

THENCE S 15°17'58" E, along the west line of North Grand Avenue, and along the east of said Huff tract, a distance of 80.26 feet to the PLACE OF BEGINNING, and containing 4.478 acres of land, more or less.

HOW THESE FOREGOING ALL MEN BY THESE PRESENTS:

That Chris Gleason does hereby adopt this plat designating the herein above described property as Lot 5R, Block 14, WEST END, an addition to the City of Waxahachie, Texas, and does hereby dedicate, in fee simple to the public use forever, the streets and alleys shown hereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, to the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easements include the use to particular utilities, said use by public utilities being subordinate to the Public's and the City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of ingress and egress to or from their respective systems for the purpose of constructing, reconstructing, inspecting, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any line of proceeding permission from anyone.

This plat approved subject to all planning ordinances, rules regulations, and resolutions of the City of Waxahachie, Texas.

WITNESS my hand this the _____ day of _____, 2015.

Chris Gleason, Owner

STATE OF TEXAS §

COUNTY OF ELLIS §

This instrument was acknowledged before me on the _____ day of _____, 2015, by Chris Gleason, for the purposes and considerations therein expressed.

Notary Public

My Commission Expires

Printed Name:

PLANNING & ZONING COMMISSION APPROVAL:

APPROVED BY: Planning & Zoning Commission City of Waxahachie

By: _____ Date _____
Chairperson

CITY COUNCIL APPROVAL

City of Waxahachie

By: _____ Date _____
Mayor

Attest _____ Date _____

SURVEYOR'S STATEMENT:

This is to affirm that I, W. Michael Evans, a Registered Professional Land Surveyor of the State of Texas, have plotted the subdivision shown hereon from an actual survey on the ground, and that all lot corners, and angle points shall be properly marked on the ground, and that this plat represents that survey made by me in accordance with the Subdivision Ordinance of the City of Waxahachie.

Dated this the 21st day of March, 2015.

PRELIMINARY

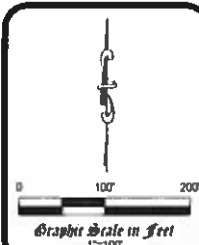
This document is not to be used for any purpose, you should not be used as evidence in a court of law.

W. Michael Evans
Registered Professional Land Surveyor No. 4715

OWNER/DEVELOPER:
DR. CHRIS GLEASON, DVM
309 N. GRAND AVE
WAXAHACHIE, TX 75165
(972) 298-2898
cgleasondvm@aol.net

SURVEYOR:
MICHAEL EVANS, RPLS
1305 BROOK ARBOR DR.
MANSFIELD, TX 76063
817-822-3591
mevans@cpwland.com

PROJECT NO. 98146



LEGEND

- IRF = IRON ROD FOUND
- CIRS = CAPPED IRON ROD SET (YELLOW PLASTIC CAP MARKED "GSW LAND SURVEYORS")
- SPC = STATE PLANE COORDINATES (TEXAS COORDINATE SYSTEM)
- NAD83 = NORTH AMERICAN DATUM OF 1983 (EPOCH 2010)
- TXNC ZONE = TEXAS NORTH CENTRAL ZONE
- P.O.B. = PLACE OF BEGINNING
- R.O.W. = RIGHT-OF-WAY



1305 Brook Arbor Drive
Mansfield, Texas 76063
(817) 822-3591
Firm Registration No. 10163400

RE-PLAT

LOT 5R, BLOCK 14

WEST END

an addition to the

City of Waxahachie

ELLIS COUNTY, TEXAS

Being portion of Lots 3 and 4, and all of Lot 5, Block 14

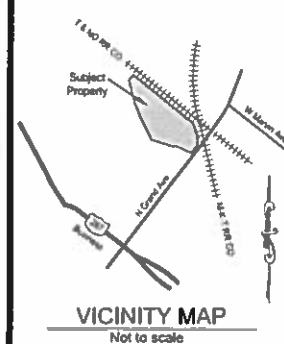
West End

an addition to the City of Waxahachie

as filed of record in Cabinet A, Slide 19

Plat Records of Ellis County, Texas Case #RP-19-0051

ELLIS COUNTY LBR 016 E



GENERAL NOTES

1. **BASIS OF BEARINGS:** The bearings and coordinates shown hereon are grid bearings and coordinates based upon an actual field survey and are related to the Texas Coordinate System of 1983, North Central Zone (NAD 1983) Epoch 2010.
2. The contained grid factor is 0.99991308, and the Angle of Convergence is 0°05'38.44".
3. The distances shown hereon are Surface distances.
4. Land areas shown are within the tolerances stated in the Professional and Technical Standards of the Texas Board of Professional Land Surveying.
5. Zoning designation for subject and surrounding properties is "C-1".

(12)

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0055



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Request by Brett Hess, Hi View Real Estate, for a Replat of Lot 1, Americase Business Park, to create Lots 1A, 1B, 1C, and 1D, Americase Business Park, 10.71 acres (Property ID 273983) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0055)

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of plat no. RP-19-0055, per staff comments.

CASE INFORMATION

Applicant: Brett Hess, Hi View Real Estate

Property Owner(s): R&R Americase Holdings LLC

Site Acreage: 10.71 acres

Number of Lots: 4 lots

Number of Dwelling Units: N/A

Park Land Dedication: N/A

Adequate Public Facilities: A water letter was received from Buena Vista Bethel endorsing this replat.

SUBJECT PROPERTY

General Location: FM 1446 at Hoyt Road

Parcel ID Number(s): 273983

Current Zoning: N/A (ETJ)

Existing Use: Currently Undeveloped

Platting History: PP-18-0052; FP-18-0053

Site Aerial:**STAFF CONCERNS**

There are a few staff concerns regarding this replat application.

1. The Case Number, RP-19-0055, needs to be added to the lower right hand corner Title Block of the plan.
2. Per City engineering and following a discussion with the applicant, a water detention pond will be required to handle the increased surface flow for the 4 proposed lots in this replat.
3. The point of beginning needs to be labeled.
4. Label the Right of Way dedication for Cox Road.
5. Change Carol Bush to Todd Little in the Signature Block.

APPLICANT RESPONSE TO CONCERNS

1. At the time of this report (5/31/19), the applicant has submitted an updated plat that addressed most of the staff's concerns. However, the Case Number, Point of Beginning, and a ROW dedication label for Cox Road will need to be added in order for the plat to be filed.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. The Case Number, RP-19-0055, needs to be added to the lower right hand corner Title Block of the plan.
 2. The point of beginning needs to be labeled.
 3. Label the Right of Way dedication for Cox Road.
 4. Change Carol Bush to Todd Little in the Signature Block.
 5. **Engineering Note:** The applicant shall place a description on the plat detailing the need for a detention pond. The applicant will need to delineate the general location of the detention pond.

ATTACHED EXHIBITS

1. Plat Drawing
2. Water Letter
3. PON Responses
 - 1 in support
 - 1 opposed

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

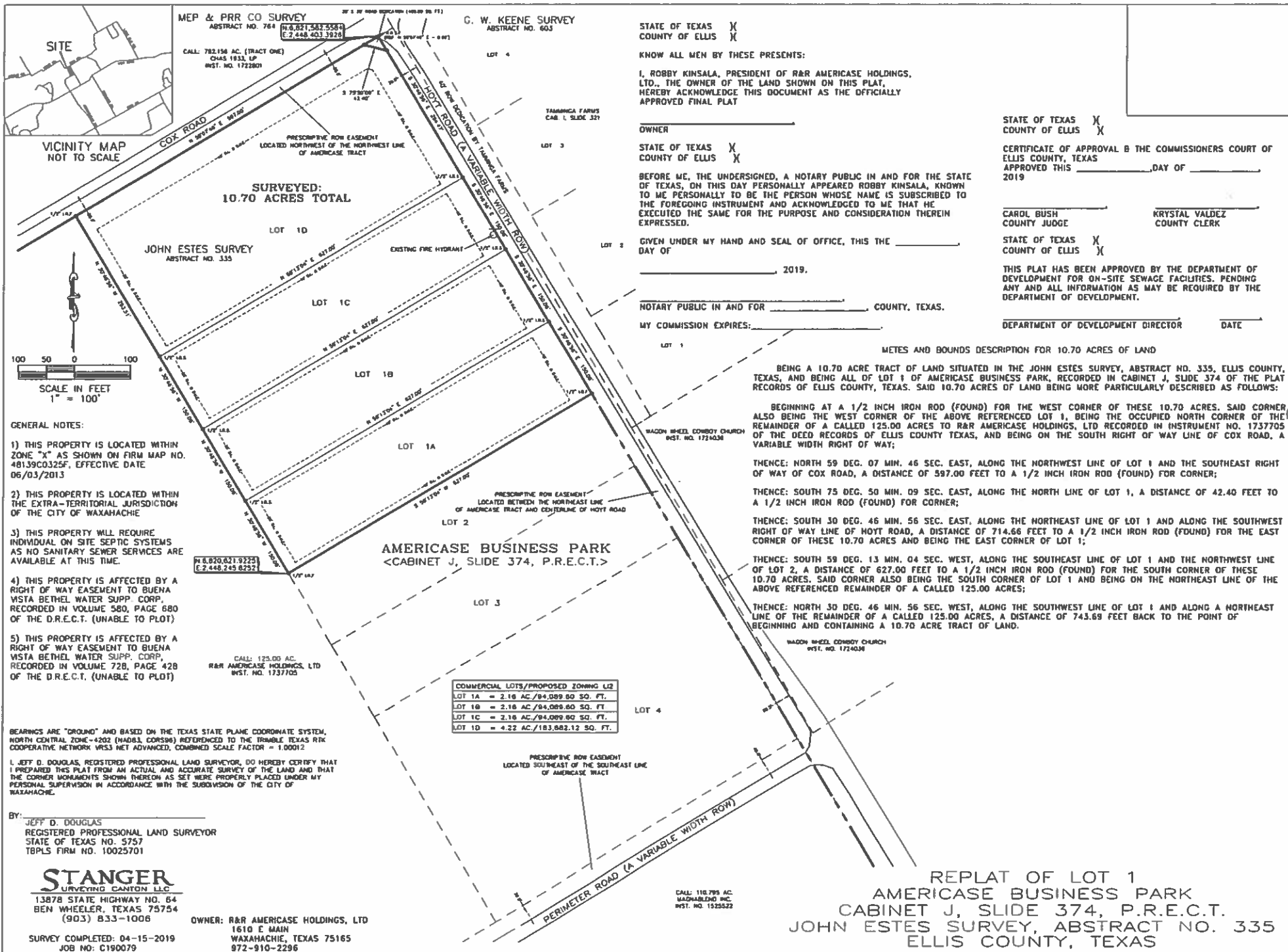
cwebb@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com





(12)

PLANNING & ZONING DEPARTMENT
401 South Rogers Street | Waxahachie, Texas 75168
(469) 309-4290 | www.waxahachie.com/Departments/PlanningandZoning



WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: Robby Kinsella ^(owner) Brett Hess ^(Agent) Parcel ID #: 209253
Subdivision Name: Americas Business Park

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3755
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. The water line size servicing the lots is <u>12</u> inches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Joe Buchanan

Print Name of General Manager of water provider or Designee

Boena Vista-Bethel SUD

Name of water provider company

Joe Buchanan

Signature of General Manager of water provider or Designee

Date

(12)

CASE RP-19-0055

Request by Brett Hess, Hi View Real Estate, for a **Replat** of Lot 1, Americase Business Park, to create Lots 1A, 1B, 1C, and 1D, Americase Business Park, 10.71 acres (Property ID 273983) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0055)

INSIDE REQUIRED 200' NOTIFICATION AREA

- 1 Support
- 1 Oppose

SUPPORT

1. Robert Kinsala, 6200 N I-35E, Waxahachie, TX 75165

OPPOSE

1. Brent McDowell, 380 Hoyt Road, Waxahachie, TX 75167

(12)

RECEIVED
4/29/19



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: RP-19-0055



R&R AMERICASE HOLDINGS LTD
6200 N I-35E
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Monday, May 20, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Brett Hess, Hi View Real Estate, for a Replat of Lot 1, Americase Business Park, to create Lots 1A, 1B, 1C, and 1D, Americase Business Park, 10.71 acres (Property ID 273983) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0055)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: RP-19-0055



SUPPORT

____ OPPOSE

Comments: _____

Your response to this notification is **OPTIONAL**. If you choose to respond, please return this form by 5:00 P.M. on **WEDNESDAY, MAY 8, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.

Signature

ROBERT KINSALA, OWNER
Printed Name and Title

Date

4/29/2019
6200 N I-35E, WAXAHACHIE, TX
75165
Address



(12)

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: RP-19-0055

RECEIVED
5/8/19

MC DOWELL BRENT & CATRINA
380 HOYT RD
WAXAHACHIE, TX 75167

The Waxahachie City Council will hold a Public Hearing on Monday, May 20, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Brett Hess, Hi View Real Estate, for a Replat of Lot 1, Americase Business Park, to create Lots 1A, 1B, 1C, and 1D, Americase Business Park, 10.71 acres (Property ID 273983) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0055)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: RP-19-0055

 SUPPORT

 ✓ OPPOSE

Comments: ① The building at 361 Hoyt has caused major flooding because the culverts they installed are too small. This has also caused massive amounts of dirt to wash into the creek.
Your response to this notification is **OPTIONAL**. If you choose to respond, please return this form by 5:00 P.M. on **WEDNESDAY, MAY 8, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.

NEXT PAGE
→

Brent McDowell
Signature

5/7/19
Date

Brent McDowell
Printed Name and Title

380 Hoyt RD Waxahachie TX
Address

(12)

This has caused blockage in the flow of the creek.

Our property is at 380 Hoyt next to the creek. 361 has caused flooding issues onto our property and we oppose more lots ~~being~~ being divided causing additional drainage issues.

RECEIVED
5/8/19

The second reason I oppose this property being divided is the additional ~~theft~~ theft risk by having commercial properties across from my personal property. (HOME)

The third reason I work nights and this will create more noise not allowing me to sleep during the day.

Brent McDowell
380 Hoyt Rd
469-233-1836

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0056



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Request by Brett Hess, Hi View Real Estate, for a Replat of Lot 4, Americase Business Park, to create Lots 4A and 4B, Americase Business Park, 6.06 acres (Property ID 273986) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0056)

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of plat no. RP-19-0056, per staff comments.

CASE INFORMATION

Applicant: Brett Hess, Hi View Real Estate

Property Owner(s): R&R Americase Holdings LLC

Site Acreage: 6.06 acres

Number of Lots: 2 lots

Number of Dwelling Units: N/A

Park Land Dedication: N/A

Adequate Public Facilities: A water letter was received from Buena Vista Bethel endorsing this replat.

SUBJECT PROPERTY

General Location: FM 1446 at Hoyt Road

Parcel ID Number(s): 273986

Current Zoning: N/A (ETJ)

Existing Use: Currently Undeveloped

Platting History: PP-18-0052; FP-18-0053

Site Aerial:**STAFF CONCERNS**

There are multiple staff concerns regarding this replat application.

1. The Case Number, RP-19-0056, needs to be added to the lower right hand corner Title Block of the plan.
2. Label point of beginning.
3. Per City engineering and following a discussion with the applicant, a water detention pond will be required to handle the increased surface flow for the 2 proposed lots in this replat.
4. Change Carol Bush to Todd Little in the Signature Block.

APPLICANT RESPONSE TO CONCERNS

1. At the time of this report (5/31/19), the applicant has submitted an updated plat. However, the Case Number and a Point of Beginning will need to be added before the plat can be filed.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. The Case Number, RP-19-0056, needs to be added to the lower right hand corner Title Block of the plan.
 2. Label point of beginning.
 3. Change Carol Bush to Todd Little in the Signature Block.
 4. **Engineering Note:** The applicant shall place a description on the plat detailing the need for a detention pond. The applicant will need to delineate the general location of the detention pond.

ATTACHED EXHIBITS

1. Plat Drawing
2. Water Letter
3. PON Responses
 - 1 in support

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

cwebb@waxahachie.com

Reviewed by:

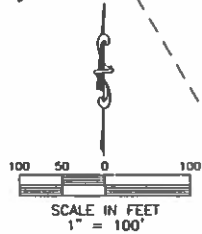
Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



VICINITY MAP
NOT TO SCALE



GENERAL NOTES:

- 1) THIS PROPERTY IS LOCATED WITHIN ZONE "K" AS SHOWN ON FIRM MAP NO. 48139C0325F, EFFECTIVE DATE 06/03/2013
- 2) THIS PROPERTY IS LOCATED WITHIN THE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF WAXAHACHIE
- 3) THIS PROPERTY WILL REQUIRE INDIVIDUAL ON SITE SEPTIC SYSTEMS AS NO SANITARY SEWER SERVICES ARE AVAILABLE AT THIS TIME.
- 4) THIS PROPERTY IS AFFECTED BY A RIGHT OF WAY EASEMENT TO BUENA VISTA BETHEL WATER SUPP. CORP. RECORDED IN VOLUME 580, PAGE 680 OF THE D.R.E.C.T. (UNABLE TO PLOT)
- 5) THIS PROPERTY IS AFFECTED BY A RIGHT OF WAY EASEMENT TO BUENA VISTA BETHEL WATER SUPP. CORP. RECORDED IN VOLUME 728, PAGE 428 OF THE D.R.E.C.T. (UNABLE TO PLOT)

BEARINGS ARE "GROUND" AND BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE-4202 (NAD83, CON596) REFERENCED TO THE TRIMBLE TEXAS RIK COOPERATIVE NETWORK VRS3 NET ADVANCED, COMBINED SCALE FACTOR = 1.00012

I, JEFF D. DOUGLAS, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION OF THE CITY OF WAXAHACHIE.

BY: JEFF D. DOUGLAS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 5757
TBPLS FIRM NO. 10025701

STANGER
SURVEYING CANTON LLC
13878 STATE HIGHWAY NO. 64
BEN WHEELER, TEXAS 75754
(903) 833-1006

SURVEY COMPLETED: 04-15-2019
JOB NO: C190079

OWNER: PREMIER FENCE COMPANY, LTD.
P.O. BOX 159
VAN ALSTYNE, TEXAS 75495
214-564-1793

MEP & PRR CO SURVEY
ABSTRACT NO. 764

CALL: 782.156 AC. (TRACT ONE)
CHAS 1933 LP
INST. NO. 1723801

PREScriptive ROW EASEMENT
LOCATED NORTHWEST OF THE NORTH LINE
OF AMERICASE TRACT

JOHN ESTES SURVEY
ABSTRACT NO. 335

LOT 1
PREScriptive ROW EASEMENT
LOCATED BETWEEN THE NORTHEAST LINE
OF AMERICASE TRACT AND CENTERLINE OF HOYT ROAD

COMMERCIAL LOTS/PROPOSED ZONING L2
LOT 4A = 2.01 AC / 84,559.80 SQ. FT.
LOT 4B = 4.05 AC / 176,354.21 SQ. FT.

AMERICASE BUSINESS PARK
<CABINET J, SLIDE 374, P.R.E.C.T.>

N 6.620.685.8706
E 2.448.618.0255

LOT 4
PREMIER FENCE COMPANY, INC.
INST. NO. 1907148

SURVEYED:
6.06 ACRES TOTAL

N 6.820.000.2115
E 2.448.618.1781

G. W. KEENE SURVEY
ABSTRACT NO. 503

STATE OF TEXAS X
COUNTY OF ELLIS X

KNOW ALL MEN BY THESE PRESENTS:

I, GARY J. McDONALD, PRESIDENT OF PREMIER FENCE COMPANY, INC., THE OWNER OF THE LAND SHOWN ON THIS PLAT, HEREBY ACKNOWLEDGE THIS DOCUMENT AS THE OFFICIALLY APPROVED FINAL PLAT

OWNER

STATE OF TEXAS X
COUNTY OF ELLIS X

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED GARY J. McDONALD, KNOWN TO ME PERSONALLY TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2019.

NOTARY PUBLIC IN AND FOR _____ COUNTY, TEXAS.

MY COMMISSION EXPIRES: _____

METES AND BOUNDS DESCRIPTION FOR 6.06 ACRES OF LAND

BEING A 6.06 ACRE TRACT OF LAND SITUATED IN THE JOHN ESTES SURVEY, ABSTRACT NO. 335, ELLIS COUNTY, TEXAS, AND BEING ALL OF LOT 4 OF AMERICASE BUSINESS PARK, RECORDED IN CABINET J, SLIDE 374 OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS, SAID 6.06 ACRES OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD (FOUND) FOR THE NORTH CORNER OF THESE 6.06 ACRES, SAID CORNER ALSO BEING THE NORTH CORNER OF THE ABOVE REFERENCED LOT 4 AND BEING ON THE SOUTHWEST RIGHT OF WAY LINE OF HOYT ROAD, A VARIABLE WIDTH RIGHT OF WAY;

THENCE: SOUTH 30 DEG. 46 MIN. 56 SEC. EAST, ALONG THE NORTHEAST LINE OF LOT 4 AND ALONG THE SOUTHWEST RIGHT OF WAY LINE OF HOYT ROAD, A DISTANCE OF 418.16 FEET TO A 1/2 INCH IRON ROD (FOUND) FOR THE EAST CORNER OF THESE 6.06 ACRES. SAID CORNER ALSO BEING THE EAST CORNER OF LOT 4 AND BEING AT THE INTERSECTION OF THE SOUTHWEST RIGHT OF WAY LINE OF HOYT ROAD AND THE NORTHWEST RIGHT OF WAY LINE OF PERIMETER ROAD, A VARIABLE WIDTH RIGHT OF WAY;

THENCE: SOUTH 58 DEG. 42 MIN. 53 SEC. WEST, ALONG THE SOUTHWEST LINE OF LOT 4 AND ALONG THE NORTHWEST RIGHT OF WAY LINE OF PERIMETER ROAD, A DISTANCE OF 627.02 FEET TO A 1/2 INCH IRON ROD (FOUND) FOR THE SOUTH CORNER OF THESE 6.06 ACRES. SAID CORNER ALSO BEING THE SOUTH CORNER OF LOT 4 AND BEING ON THE NORTHEAST LINE OF THE REMAINDER OF A CALLED 125.00 ACRES TO R&R AMERICASE HOLDINGS, LTD. RECORDED IN INSTRUMENT NO. 1737705 OF THE DEED RECORDS OF ELLIS COUNTY, TEXAS;

THENCE: NORTH 30 DEG. 46 MIN. 56 SEC. WEST, ALONG THE SOUTHWEST LINE OF LOT 4 AND ALONG THE NORTHEAST LINE OF THE ABOVE REFERENCED REMAINDER OF A CALLED 125.00 ACRES, A DISTANCE OF 423.66 FEET TO A 1/2 INCH IRON ROD (FOUND) FOR THE WEST CORNER OF THESE 6.06 ACRES AND ALSO BEING THE WEST CORNER OF LOT 4;

THENCE: NORTH 59 DEG. 13 MIN. 04 SEC. EAST, ALONG THE NORTHWEST LINE OF LOT 4, A DISTANCE OF 627.00 FEET BACK TO THE POINT OF BEGINNING AND CONTAINING A 6.06 ACRE TRACT OF LAND.

WAGON WHEEL COWBOY CHURCH
INST. NO. 1724036

CALL: 118.795 AC
WAGON WHEEL COWBOY CHURCH
INST. NO. 1724036

REPLAT OF LOT 4
AMERICASE BUSINESS PARK
CABINET J, SLIDE 374, P.R.E.C.T.
JOHN ESTES SURVEY, ABSTRACT NO. 335
ELLIS COUNTY, TEXAS



(14)

PLANNING & ZONING DEPARTMENT
401 South Rogers Street | Waxahatchie, Texas 75168
(469) 309-4290 | www.waxahatchie.com/Departments/PlanningandZoning



WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: Robby Kinsella ^(owner) Brett Hess ^(agent) Parcel ID #: 209253
Subdivision Name: Americas Business Park

The City of Waxahatchie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahatchie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3765
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. The water line size servicing the lots is <u>12</u> inches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Joe Buchanan

Print Name of General Manager of water provider or Designee

Buena Vista Bethel SUD

Name of water provider company

Joe Buchanan

Signature of General Manager of water provider or Designee

Date

(14)

CASE RP-19-0056

Request by Brett Hess, Hi View Real Estate, for a **Replat** of Lot 4, Americase Business Park, to create Lots 4A and 4B, Americase Business Park, 6.06 acres (Property ID 273986) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0056)

INSIDE REQUIRED 200' NOTIFICATION AREA

- 1 Support
- 0 Oppose

SUPPORT

1. Robert Kinsala, 6200 N I-35E, Waxahachie, TX 75165

OPPOSE

(14)



RECEIVED
4/29/19

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: RP-19-0056



R&R AMERICASE HOLDINGS LTD
6200 N I-35E
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Monday, May 20, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Brett Hess, Hi View Real Estate, for a **Replat** of Lot 4, Americase Business Park, to create Lots 4A and 4B, Americase Business Park, 6.06 acres (Property ID 273986) in the Extra Territorial Jurisdiction – Owner: R&R AMERICASE HOLDINGS LTD (RP-19-0056)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: RP-19-0056



SUPPORT

____ OPPOSE

Comments: _____

Your response to this notification is **OPTIONAL**. If you choose to respond, please return this form by 5:00 P.M. on **WEDNESDAY, MAY 8, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



Signature

4/29/2019

Date

ROBERT KINGSALA, OWNER

Printed Name and Title

6200 N I-35E, WAXAHACHIE, TX

Address

75165

(16)

Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0060



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 5-1 to recommend approval of case no. SU-19-0060, as presented by staff.

CAPTION

Public Hearing on a request by Edwin Walker, Standard ECO, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Single Family Residential-2 zoning district, located at 1565 Reserve Road (Property ID 265966) – Owner: LOUIE C RODRIGUEZ (SU-19-0060)

CASE INFORMATION

Applicant: Edwin Walker, Standard ECO

Property Owner(s): Louie C Rodriguez

Site Acreage: .232 acres

Current Zoning: Single Family-2

Requested Zoning: Single Family-2 with Specific Use Permit

SUBJECT PROPERTY

General Location: 1565 Reserve Road

Parcel ID Number(s): 265966

Existing Use: Single Family Residence

Development History: The Final Plat for The Cove Phase I, was approved by City Council on March 7, 2016.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-2	Single Family Residential
East	SF-2	Single Family Residential
South	SF-2	Single Family Residential
West	SF-2	Single Family Residential

Future Land Use Plan:

Low Density Residential

Comprehensive Plan:

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Thoroughfare Plan:

The subject property is accessible via Reserve Road.

Site Image:**PLANNING ANALYSIS**

The applicant seeks to install solar panels on the roof of the single family residence. Per the City of Waxahachie Zoning Ordinance, solar panels are permitted with a Specific Use Permit, and must be installed so that they do not front onto the right-of-way. According to the current site plan submitted by the applicant, there will be no solar panel systems facing the public ROW.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 28 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 5/24/19.

STAFF CONCERNS

1. A penalty may be assessed due to construction of panels prior to permit approval.

APPLICANT RESPONSE TO CONCERNS

1. The applicant is aware of staff concerns and intends to speak at the June 17, 2019 City Council meeting.

116)

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 - 1. A penalty may be assessed due to construction of panels prior to permit approval.

ATTACHED EXHIBITS

- 1. Site Plan
- 2. Ordinance

APPLICANT REQUIREMENTS

- 1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(16)

CASE SU-19-0060

Request by Edwin Walker, Standard ECO, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Single-Family Residential-2 zoning district, located at 1565 Reserve Road (Property ID 265966) – Owner: LOUIE C RODRIGUEZ (SU-19-0060)

INSIDE REQUIRED 200' NOTIFICATION AREA

- 0 Support
- 2 Oppose

SUPPORT

OPPOSE

1. Lauren Riley, 359 South Hill Drive, Waxahachie, TX 75165
2. Robert C. Tharp, 1564 Oasis, Waxahachie, TX 75165

(16)

RECEIVED
01/01/19

If you cannot attend the hearings, you may express your views by attending the hearings. bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: SU-19-0060

City Reference: 265965

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, June 5, 2019* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.

☐

SUPPORT

☒

OPPOSE

Comments: _____

Lauren Riley
Signature

5/29/2019
Date

Lauren Riley
Printed Name and Title

359 South Hill Dr,
Address Waxahachie, TX

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)



RECEIVED
6/11/19

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **SU-19-0060**



THARP ROBERT
1564 OASIS
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, June 11, 2019 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, June 17, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Edwin Walker, Standard ECO, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Single-Family Residential-2 zoning district, located at 1565 Reserve Road (Property ID 265966) – Owner: LOUIE C RODRIGUEZ (SU-19-0060)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: **SU-19-0060**
City Reference: **269639**

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, June 5, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.

☐

SUPPORT

☒

OPPOSE

Comments: * Please see attached *

Signature [Signature]

Date 06/06/19

Printed Name and Title Robert C. Tharp

Address 1564 Oasis Street
Waxahachie, TX 75165

(16)

Case Number: SU-19-0060

City Reference: 269639

I would like to state my opposition to the proposal to install solar panels at 1565 Reserve Road in case SU-19-0060. Please note that the panels are currently installed and have been in place for approximately one month. This was done without application and approval from the city and the governing HOA.

From a legal stance I feel that this is a clear violation of the process established by the city of Waxahachie to have an approved permit prior to performing such work along with an inspection following the work. This work has also violated the HOA policy of submitting an application prior to performing this type of work and gaining approval.

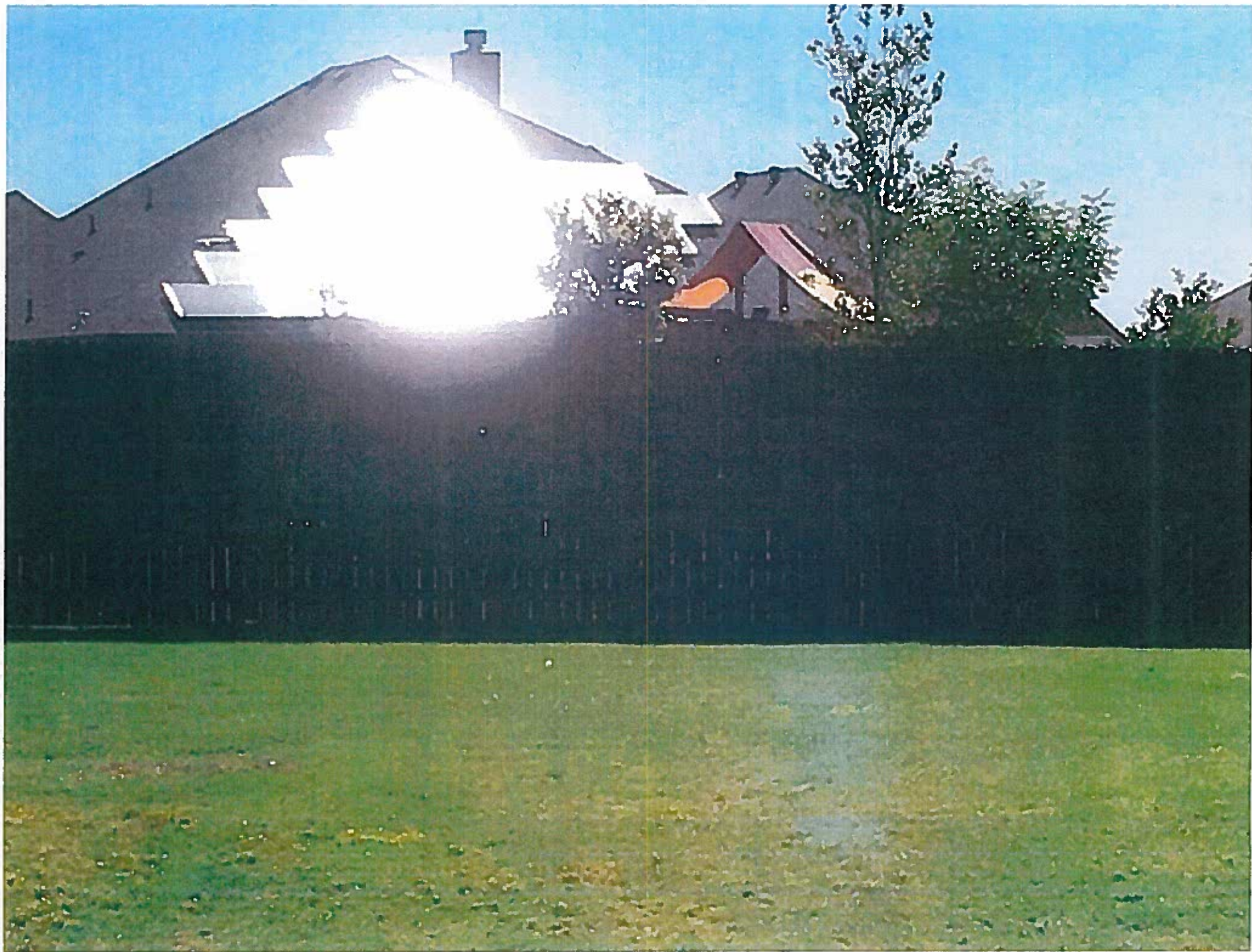
From a personal stance I find the panels to be very intrusive. My understanding is that all roofing in The Cove be from a limited selection of colors along with material. The panels do not blend cosmetically with the roofing colors or materials of any existing homes in The Cove. I also understand that if the proper legal process were to be followed and permission granted to install panels it would be on the rear of the house only. In this case the panels are on the rear along with the side. In addition, the reflected light from the panels makes outdoor activities unwelcoming during a large portion of the day.

From a professional view I find it frustrating that I along with many other citizens invest the time to educate ourselves on the proper legal process to perform such projects while others choose not to do so. I find this complete disregard for the established city ordinances and those persons in a position to oversee the process along with enforce it to be a disgrace.

Thank you for your time in considering my concerns.

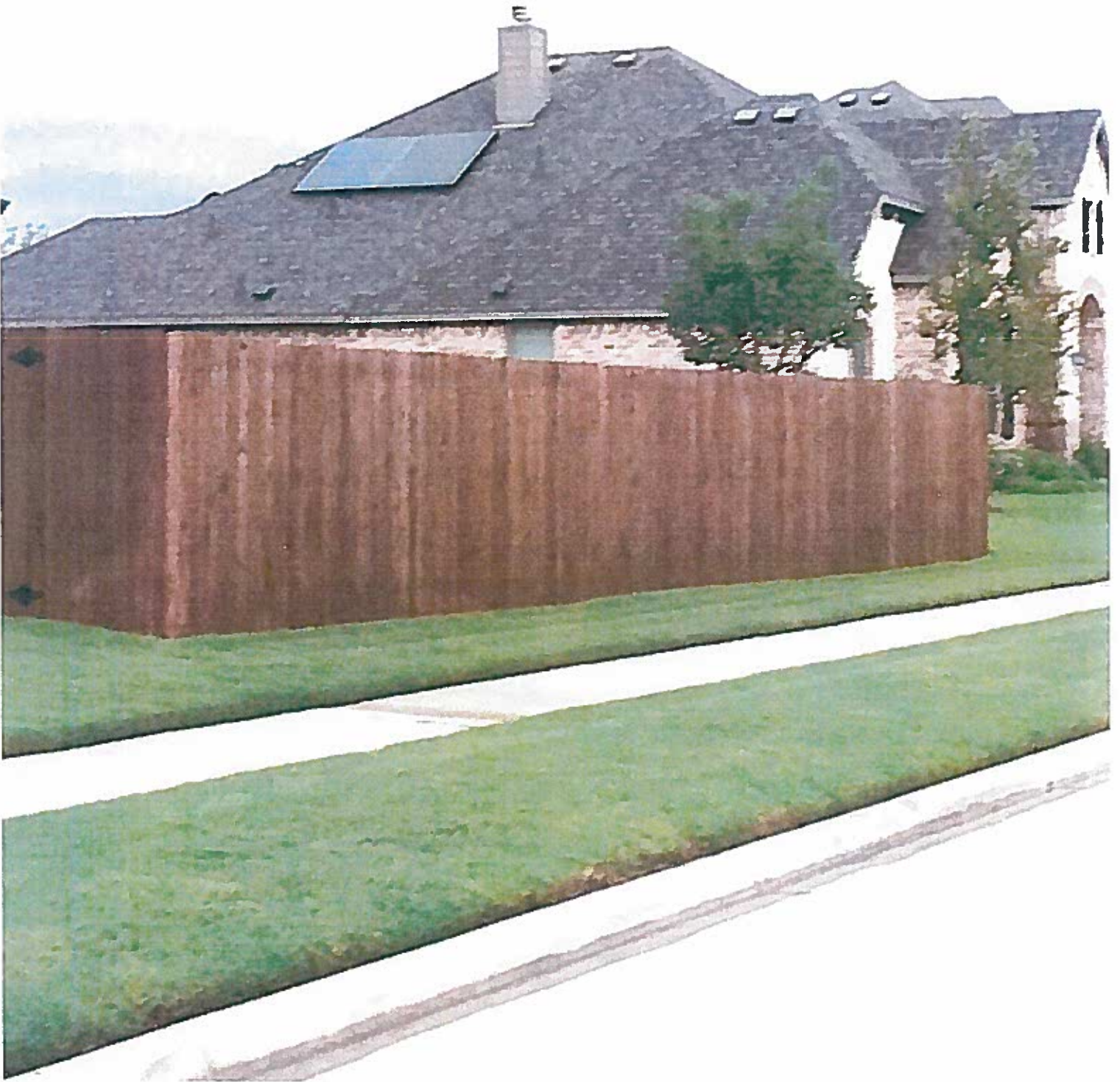


Robert C. Tharp



(1a)

(16)



3

(16)

2016 MAR 15 PM 2:32

FILED FOR RECORD
CINDY POLLEY
ELLIS COUNTY CLERK



ORIGINAL FILED

AFTER RECORDING RETURN TO:

ROBERT D. BURTON, ESQ.
WINSTEAD PC
401 CONGRESS AVE., SUITE 2100
AUSTIN, TEXAS 78701

NORTH GROVE
MASTER RESIDENTIAL
DESIGN GUIDELINES

Adopted by:

JHDMC LIMITED LIABILITY COMPANY, a Texas
limited liability company

By [Signature]
Printed Name: Chad Miles
Title: CFO

THE STATE OF TEXAS §
COUNTY OF Ellis §

This instrument was acknowledged before me on this 10th day of
March, 2016, by Chad Miles CFO
of JHDMC LIMITED LIABILITY COMPANY, a Texas limited liability company, on behalf of
said ~~limited liability company~~



[Signature]
Notary Public, State of Texas

Adopted by Declarant in accordance with Section 6.4.2 of North Grove Master Covenant, recorded as
Document No. 1606631 Official Public Records of Ellis County, Texas (the "Covenant").

NORTH GROVE
MASTER RESIDENTIAL DESIGN GUIDELINES

of the home finished floor elevation) at any point on the exterior wall of the residence.

- Views. Views are neither guaranteed, preserved nor protected within North Grove.

G. Porches

Porches will be allowed to extend past the front yard setback by ten feet (10') and will be required to be a minimum of six feet (6') in depth and minimum sixty (60') square feet to ensure usability.

H. Roofs and Chimneys

The pitch, color and composition of all roof materials must be approved in writing by North Grove Reviewer, prior to commencement of construction. Roof vents and other penetrations shall be as unobtrusive as possible and must match the principal color of the roof unless approved in advance by North Grove Reviewer.

- Accepted Roof Pitch: The roof pitch of the primary residence erected on a Lot must be appropriate for the style of the home with a pitch of no less than 8:12 unless otherwise approved in advance by North Grove Reviewer. The roof pitch of dormers, porches and other similar accessory structures attached to the primary residence must be complementary to the primary roof structure and may be permitted to have a minimum roof pitch of 4:12 under strict conditions and only with advance approval by the North Grove Reviewer. Ground floor plate heights of nine feet (9') shall be maintained for sixty percent (60%) of total exterior wall area and one hundred percent (100%) of front exterior wall elevations.
- Accepted Roof Materials: Roofing materials shall be limited to approved tile, slate or dimensional composition shingles with a rating of 25 years or more that conform to or exceed applicable local, FHA and VA requirements.
- Energy Efficiency Roofing. In addition, roofs of buildings may be constructed with "Energy Efficiency Roofing" with the advance written approval of North Grove Reviewer. For the purpose of the Section, "Energy Efficiency Roofing" means shingles that are designed primarily to: (a) be wind and hail resistant; (b) provide heating and cooling efficiencies greater than those provided by customary composite shingles; or (c) provide solar generation capabilities.

North Grove Reviewer will not prohibit an Owner from installing Energy Efficient Roofing provided that the Energy Efficient Roofing shingles: (i) resemble the shingles

used or otherwise authorized for use within the community; (ii) are more durable than, and are of equal or superior quality to, the shingles used or otherwise authorized for use within the community; and (iii) match the aesthetics of adjacent property. An Owner who desires to install Energy Efficient Roofing will be required to comply with the architectural review and approval procedures set forth the Restrictions. In conjunction with any such approval process, the Owner should submit information which will enable North Grove Reviewer to confirm the criteria set forth in this Section.

- Chimneys. Chimney style must be appropriate for the style of the home and may be brick or other masonry matching with the same permitted colors and materials as permitted on the body of the house; provided however, that any chimney located on the interior portion of the roof may also include cementitious materials solely or in addition to the brick or other masonry.
- Other Materials. Any other type of chimney or roofing material shall be permitted only with the advance written approval of North Grove Reviewer.
- Prohibited Elements:
 - Excessively pitched roofs.
 - Mansard, gambrel or chalet roofs.
 - Flat roofs (less than 3:12).
 - Roofs that are too steep or too shallow for the style of the home.
 - Shed roofs except as incidental to the main roof.
 - Glossy metal and/or reflective materials or bright colors.
 - Natural or silver Galvalume.
 - Roof vents on the front plane of the home.
 - On corner lots, roof vents on street side (unless prior written approval obtained).
 - Stove-pipe chimneys, prominent chimneys or other random roof penetrations.
 - Vents or skylights facing the street.
 - White or bubble skylights.

I. Driveways

The design, construction materials, and location of: (i) all driveways, and (ii) culverts incorporated into driveways for ditch or drainage crossings, must be approved by North Grove Reviewer.

- Width. Other than the flair in the driveway necessary to connect to the garage and, for side-entry garages area required for turning/maneuvering, the minimum

(16)

M. Setbacks

The setbacks shall be set forth as noted on the recorded Plat. In the event setbacks are not noted on the recorded Plat, the following setbacks shall apply to each Lot:

Product Types**	Lot Classification (Density)	Maximum Percentage of Total Single-Family Dwelling Units	Minimum Lot Area	Minimum Lot Width	Alley Access	Minimum Attached Garage Door	Minimum Principal Building Front Setback	Porch Zone Setback (Optional)	Minimum Side Yard Setback	Minimum Street Side Yard Setback	Minimum Side Setbacks for Attached / Detached Garage (Alley Access)	Minimum Floor Areas	Maximum Structure Height	Minimum Percentage of Total Single-Family Dwelling Units	Porch Percentage Minimum
Estate	A (Low)	NA	9,800 sf	80'	N	25'	25'	15'	7'	20'	5'	2,400 sf	35'	10%	25%
Manor	A (Low)	NA	8,400 sf	70'	N	25'	25'	20'	5'	15'	5'	2,200 sf	35'	15%	25%
Township	B (Med)	40%	7,200 sf	60'	Y	23'	20'	10'	5'	15'	5'	2,000 sf	35'	20%	25%
Cottage	C (High)	20%	5,500 sf	50'	Y	NA	20'	10'	5'	15'	5'	1,800 sf	35'	10%	35%
Bungalow	C (High)	10%	4,500 sf	40'	Y	NA	20'	10'	5'	10'	5'	1,500 sf	35'	NA	50%

The North Grove Reviewer reserves the right to stipulate additional building or improvement setbacks attributable to any Lot. The North Grove Reviewer further reserves the right to grant variances to the setbacks set forth herein in accordance the Covenant.

N. Address Markers and Mailboxes

Address markers must be readily visible from the street. The painting of addresses on the curb is not allowed. Mailbox specifications may be determined by the North Grove Reviewer.

O. Solar Energy Devices

The requirements for the installation of Solar Energy Devices are set forth in the Development Area Declaration.

P. Satellite Dishes

The requirements for the installation of Satellite Dishes are set forth in the Development Area Declaration.

(17)

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING A SPECIFIC USE PERMIT (SUP) TO PERMIT A ROOFTOP SOLAR PANEL SYSTEM USE WITHIN A SINGLE FAMILY-2 (SF-2) ZONING DISTRICT, LOCATED AT 1565 RESERVE ROAD, BEING PROPERTY ID 265966, IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING LOT 13, BLOCK G IN THE COVE PHASE I SUBDIVISION, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, the described property is classified in said ordinance and any amendments thereto as SF-2; and

WHEREAS, a proper application for an SUP has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number SU-19-0060. Said application having been referred to the Planning and Zoning (P&Z) Commission was recommended by the P&Z Commission for approval and the issuance thereof; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and,

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said SUP;

NOW, THEREFORE, this property is rezoned from SF-2 to SF-2, with an SUP in order to permit a Rooftop Solar Panel System use on the following property: Lot 13, Block G of The Cove Phase I subdivision, which is shown on Exhibit A, in accordance with the Site Layout Plan attached as Exhibit B.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED AND ADOPTED on this 17th day of June, 2019.

(17)

MAYOR

ATTEST:

City Secretary



Exhibit A - Location Exhibit

(17)

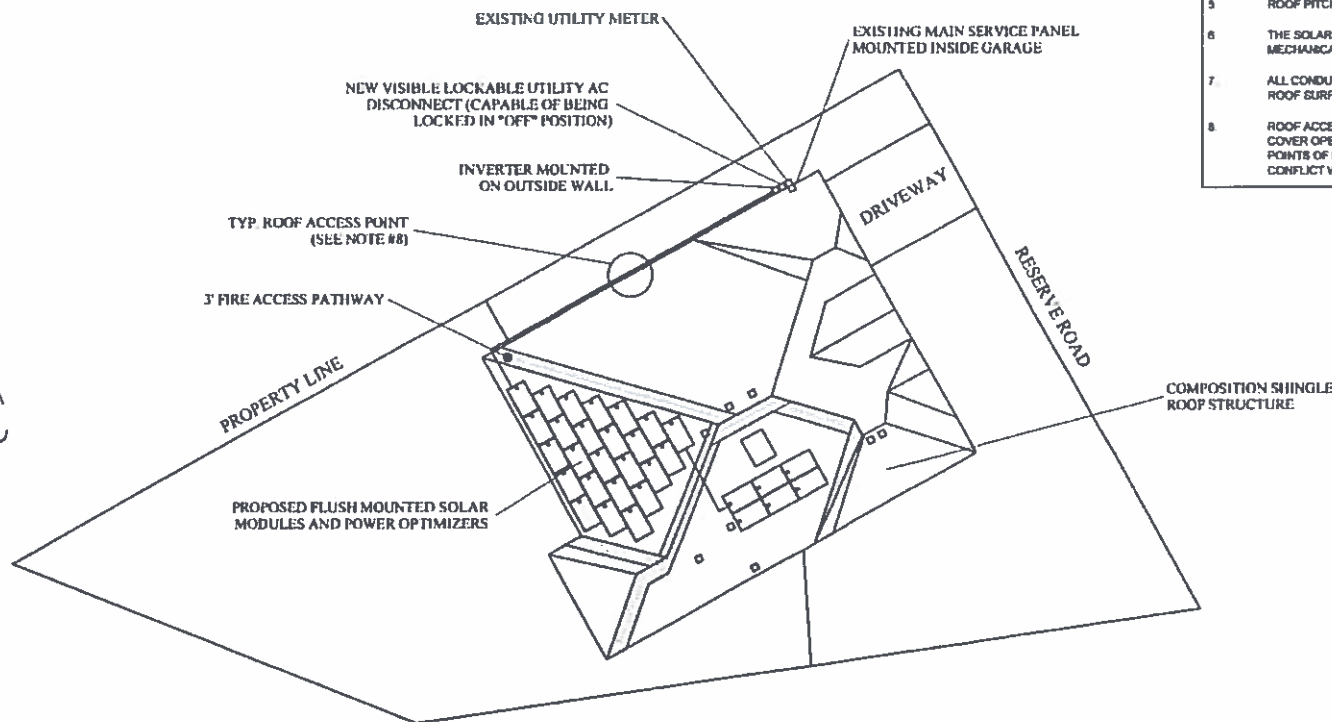


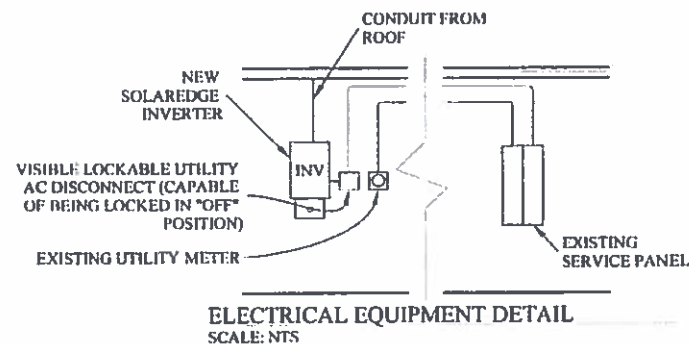
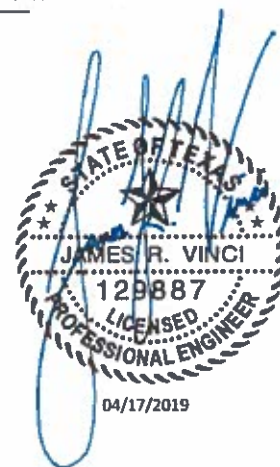
Exhibit B - Site Layout Plan



SITE PLAN
SCALE: 1" = 20'-0"

CONSTRUCTION NOTES:

1. SOLAR PHOTOVOLTAIC SYSTEM TO BE INSTALLED ON RESIDENTIAL STRUCTURE.
2. THIS PROJECT HAS BEEN DESIGNED IN COMPLIANCE WITH THE IRC SECTION 1808 TO WITHSTAND A BASIC WIND SPEED OF 115 MPH (3 SECOND GUST).
3. THE HOUSE IS A SINGLE STORY STRUCTURE.
4. THE ROOF MEMBERS ARE 2x4 RAFTERS ON 24" CENTERS. CONNECTION TO STRUCTURE SHALL NOT BE WITHIN 6" OF NAILING PLATES.
5. ROOF PITCH IS: 20° (4.5:12 SLOPE).
6. THE SOLAR PHOTOVOLTAIC INSTALLATION SHALL NOT OBSTRUCT ANY PLUMBING, MECHANICAL OR BUILDING ROOF VENTS.
7. ALL CONDUCTORS AND CONDUITS MOUNTED ON ROOF SHALL BE MINIMUM 3 3/4" ABOVE ROOF SURFACE (INCLUDING CABLES UNDERNEATH MODULES AND RACKING).
8. ROOF ACCESS POINTS SHALL BE LOCATED IN AREAS WHERE GROUND LADDERS DO NOT COVER OPENINGS SUCH AS DOORS OR WINDOWS. LADDERS TO BE LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS: TREE LIMBS, WIRES, OR SIGNS.



ELECTRICAL EQUIPMENT DETAIL
SCALE: NTS

STANDARD ECO

110 E. Houston St.,
San Antonio, TX 78205
TX License #:32439

**PHOTOVOLTAIC
SYSTEM SIZE:**
7,600 kW AC
9,455 kW DC
SINGLE PHASE 120V/240V

RODRIGUEZ Residence
1565 RESERVE ROAD, WAXAHACHIE,
TX 75165

REVISIONS:

DRAWN BY: ASD
DATE: 04/16/2019

SITI: PLAN
DRAWING

SHEET:

1

Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0065



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 17, 2019, the Commission voted 6-0 to recommend approval of case no. SU-19-0065, as presented by staff.

CAPTION

Public Hearing on a request by Ben Martinez, Kosmos Solar, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Single Family Residential-2 zoning district, located at 129 Liberty Way (Property ID 242010) – Owner: ROBERT & JANET LESIKAR (SU-19-0065)

CASE INFORMATION

Applicant: Ben Martinez, Kosmos Solar

Property Owner(s): Robert & Janet Lesikar

Site Acreage: .1767 acres

Current Zoning: Single Family Residential-2

Requested Zoning: Single Family Residential-2 with Specific Use Permit

SUBJECT PROPERTY

General Location: 129 Liberty Way

Parcel ID Number(s): 242010

Existing Use: Existing Single Family Residential Use

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-2	Single Family Residential
East	PD-SF-3	Single Family Residential
South	SF-2	Single Family Residential
West	SF-2	Single Family Residential

Future Land Use Plan: Low Density Residential

Comprehensive Plan:

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Thoroughfare Plan:

The subject property is accessible via Liberty Way.

Site Image:**PLANNING ANALYSIS**

The applicant seeks to install solar panels on the roof of the single family residence. Per the City of Waxahachie Zoning Ordinance, solar panels are permitted with a Specific Use Permit, and must be installed so that they do not front onto the right-of-way. According to the current site plan submitted by the applicant, there will be no solar panel systems facing the public ROW.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 30 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 5/24/19.

STAFF CONCERNS

1. Staff has no outstanding concerns for the applicant.

APPLICANT RESPONSE TO CONCERNS

1. Staff has no outstanding concerns for the applicant.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

ATTACHED EXHIBITS

1. Site Plan
2. Ordinance

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(19)

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING A SPECIFIC USE PERMIT (SUP) TO PERMIT A ROOFTOP SOLAR PANEL SYSTEM USE WITHIN A SINGLE FAMILY-2 (SF-2) ZONING DISTRICT, LOCATED AT 129 LIBERTY WAY, BEING PROPERTY ID 242010, IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING LOT 21, BLOCK M IN SETTLERS GLEN ADDITION PHASE II, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, the described property is classified in said ordinance and any amendments thereto as SF-2; and

WHEREAS, a proper application for an SUP has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number SU-19-0065. Said application having been referred to the Planning and Zoning (P&Z) Commission was recommended by the P&Z Commission for approval and the issuance thereof; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and,

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said SUP;

NOW, THEREFORE, this property is rezoned from SF-2 to SF-2, with an SUP in order to permit a Rooftop Solar Panel System use on the following property: Lot 21, Block M of Settlers Glen Addition Phase II, which is shown on Exhibit A, in accordance with the Site Layout Plan attached as Exhibit B.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED AND ADOPTED on this 17th day of June, 2019.

(19)

MAYOR

ATTEST:

City Secretary



Exhibit A - Location Exhibit

(b1)

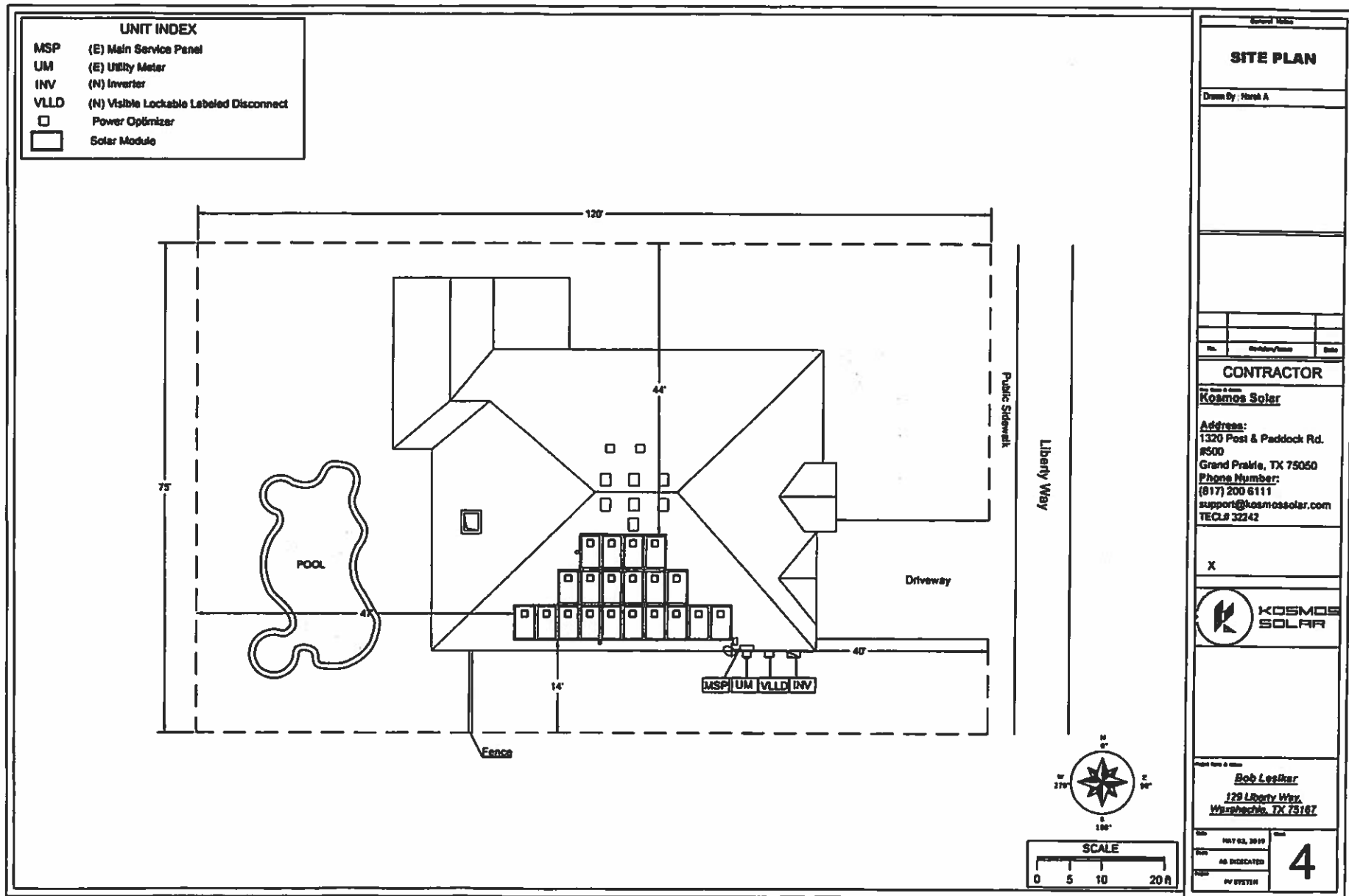


Exhibit B- Site Layout Plan

(20)

Planning & Zoning Department

Zoning Staff Report

Case: SP-19-0076



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval, per staff comments, of case no. SP-19-0076.

CAPTION

Request by Blain Vinson, Aspen Community Development, for a Site Plan Review of The Cottages on Cantrell located East of 865 Cantrell Street (Property ID 244351) - Owner: SAP PROPERTIES LLC (SP-19-0076)

CASE INFORMATION

Applicant: Blain Vinson, Aspen Community Development

Property Owner(s): SAP Properties LLC

Site Acreage: 17.348 acres

Current Zoning: Planned Development-Single Family-3 – Ordinance 3043)

Request: Site Plan Review

SUBJECT PROPERTY

General Location: East of 865 Cantrell Street

Parcel ID Number(s): 244351

Existing Use: Undeveloped

Development History: The Preliminary Plat for The Cottages on Cantrell was approved by City Council on May 20, 2019.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-3/GR	Single Family Residential/Poston Gardens
East	SF-3	Single Family Residential
South	SF-3	Single Family Residential
West	MF-1	Undeveloped Land

Future Land Use Plan: Commercial

Comprehensive Plan:

Commercial areas are intended for establishments that provide services to customers. Examples include car dealerships, self-storage businesses, and repair shops. Such uses are generally not significant contributors to a municipality's tax revenue, and, by their nature, commercial businesses can detract from positive aesthetics. Primarily for these reasons, commercial uses have generally only been recommended in locations consistent with where such uses currently exist.

Thoroughfare Plan:

The subject site is accessible via Cantrell St.

Site Image:**PLANNING ANALYSIS**

The applicant is requesting approval of a Site Plan to allow a residential development (The Cottages on Cantrell). Per the Planned Development Ordinance, approved July 2, 2018, the residential development will consist of 73 residential lots, with the addition of 10 carriage lots. When the Planned Development was approved, City Council required that a detailed Site Plan be reviewed and ultimately approved by the Planning and Zoning Commission and City Council before the applicant can submit a Final Plat to the Planning Department.

Key Features of the development include:

- Gym
- Walking trail
- Bridge (connection to Bullard Heights Neighborhood Park)
- Dog Park

STAFF CONCERNS

1. Staff has no outstanding comments for the applicant.

APPLICANT RESPONSE TO CONCERNS

1. The applicant has no outstanding comments.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. There can be a maximum of seventy-three (73) residential lots.
 2. There can be a maximum of a ten (10) carriage lots.
 3. At least sixty (60) percent of the total area must be reserved for greenspace.
 4. The applicant shall provide decomposed granite along the proposed walking trail within the development.
 5. No overnight guest shall stay in the carriage houses within the development. Carriage houses should only be used for community events.
 6. A HOA Development/Bylaws document shall be required before the commencement of any vertical construction.

ATTACHED EXHIBITS

1. Site plan
2. Design Standards
3. Landscape Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



Cottages on Cantrell Design Standards

2019

The Architectural intent of the design team for the Cottages on Cantrell has been one of strict adherence in maintaining the original vision presented to the Officials and Citizens of Waxahachie, while ensuring the required continuity of design.

In pursuit of this insurance, countless discussions have ensued to utilize the expertise of contractors, builders, architects, designers, officials to design and implement the best ideas and practices currently in place for this type of development.

This design team along with the experts in each field will be selected to reflect and fulfill the comprehensive selection of custom cottages as envisioned in the early stages of inception and further defined and detailed in the June 15th, 2018 narrative.

A. ELEVATIONS

The Cottages on Cantrell will have 5 Cottage plans each with 2 complimenting elevations for a total of 10 options in each POD.

1. 945 SF – A or B
2. 1192 SF – A or B
3. 1393 SF – A or B
4. 1482 SF – A or B
5. 1766 SF – A or B

A1. No outside cottage, carriage or garage plans will be allowed unless first approved in writing by the developer. Every plan approved in addition to the existing plans 1-5 must have 2 elevations.

B. FLOOR PLANS

B1. All floor plans are provided per Exhibit "A". Floor plans may be revised per builder and homeowner requests so long as the revision does not change the exterior elevation. Builders are encouraged to follow the designed floor plan, but changes shall be allowed upon written request to the developer. Each **Approved** change is considered for the betterment of the said Plan and will be recorded for future builders to consider as an "Option".

B2. Options - Once a change has been approved and is priced as an "option", the price for that particular change will be recorded and remain consistent amongst all builders.

C. EXTERIOR SIDING AND TRIM

C1. All exterior siding and trim shall be **HARDIE "Color Plus"** cementitious/fiber cement siding. The 13 approved "Color Plus" colors chosen for siding for all Cottages, Carriage Houses or Garage units shall be:

1. Sail Cloth
2. Light Mist
3. Cobble Stone
4. Monterey Taupe
5. Navajo Beige
6. Evening Blue
7. Boothbay Blue
8. Pearl Gray
9. Aged Pewter
10. Heathered Moss
11. Woodstock Brown
12. Timber Bark
13. Rich Espresso

C1A. No Color Plus color shall be used in any pod of 8 homes more than 3 times.

C1B. Carriage homes **MUST** be of any remaining colors **NOT** used in the pod of homes.

C1C. No Plan "X" (A or B) or Color Plus color "#" shall be repeated for every 3rd home.

(d)

Example: Plan XA #2.....Plan YA #5.....Plan ZA #8.....Plan XB #1 (Not XA nor #2)

C1D. No Color Plus color shall be repeated on any elevation directly across a common area from another identical elevation.

Example: X.....Common Space.....X

C1E. Garages – Garages will be approximately 12 'x 22' each in size and normally be in clusters of 4. Each Cluster will be approximately 23' D x 50' W. All exterior walls of any Garage unit must be Color Plus "Pearl Gray" with Artic White Trim. Final construction drawings will govern.

C1F. All Garage doors must be ordered in a color closely matching the trim color of Artic White. All garage doors in the development will be one design – The approved design is a Carriage Style as depicted in the following image.



C2. Allowable Hardie Product siding types and profiles are as follows:

C2A. Lap Siding (Cedarmill or Smooth Plank)

C2B. Shingle/ Shake Siding (Straight Edge or Staggered Edge)

C2C. Hardie Panel (Select Cedarmill or Smooth) may only be used in conjunction with vertical Hardie Trim Batten Boards in gables, dormers, or second story elevations. Stucco or Sierra 8 will not be approved.

C3. No siding shall have more than a 5" exposure.

C4. Siding shall not transition around an outside or inside corner, or any other change of plane, horizontal or vertical without terminating into an approved trim or frieze board.

C5. Approved TRIM color for all Cottages, Carriage houses and Garages will be "Color Plus" ARTIC WHITE only. Vertical trim boards shall be a minimum of 5" wide (dressed).

C6. All horizontal or diagonal frieze boards (in the case of a gable), shall be a minimum of 8" wide (dressed).

C7. Any secondary or incidental elements within a siding field shall be trimmed with minimum 4" trim on all sides.

C8. See WINDOW AND EXTERIOR DOOR CASINGS below for additional information.

D. WINDOWS AND EXTERIOR DOORS

- a. All window units shall be either single-hung or fixed. No casement, hopper or awning-types windows are allowed.
- b. Bay and Bow windows are allowed on the front and rear elevations of the dwelling only
- c. Glazing in all window units should be insulated units of clear, low-e glass only. Exception: *Privacy glass is allowed within a bathroom- but not on either the front or rear elevation of the dwelling*
- d. All window units shall be constructed of wood and clad in either aluminum or vinyl. All window sashes shall be a minimum of 1 1/4" wide as measured from the interior edge of the exterior window casing to the edge of the glass. All units should have either an integral, sloped and projected window sill/ stool; or the ability to have one field-applied. No aluminum windows of any kind are allowed.
- e. Both true and simulated divided lite windows are allowed. In either case, the lites must create a minimum 3/8" profile past the exterior face of the glass to which it is adjacent. Applied storm window units are not allowed.
- f. Exterior doors must be a minimum 1 3/4" thick; be of a single or multiple raised-panel design and contain at least 10% of glass- relative to the overall area of the door itself. No slab-type doors shall be allowed.
- g. Storm doors are not allowed over the primary entrance door. Screen doors over the primary entrance doors are allowed; provided that they are constructed of wood and are consistent with the architectural style of the dwelling. Wood storm doors and screen doors are allowed on all secondary doors. No aluminum screen doors are allowed over any exterior door.

E. WINDOW AND EXTERIOR DOOR CASINGS

- E1. Vertical door and window casings and horizontal head casings will meet the minimum standards of B4. and B5. within these standards.
- E2. At the top of all door and window head casings; a minimum 1 ½" molding of any profile with cap trim shall be applied.
- E3. All window sills/ stools shall project a minimum of 1" out from the face of the surrounding casings.

F. PORCHES AND MASONRY

- F1. Each dwelling shall have a front porch facing the common area.
- F2. The overall length of the porch shall be at least 50% of the length of the front elevation facing the common area.
- F3. No part of the dwelling shall project past the front plane of the porch towards the common area.
- F4. Each porch shall have at least (2) columns. These columns shall be articulated with appropriate capital and base trim. The minimum dimension for a square column shall be 6" x 6" (dressed) and accordingly 6" in diameter for a round column. No unadorned posts or manufactured column covers of any kind or material are allowed.
- F5. Columns may be either of wood or allowable masonry- in full or in part; consistent with the architectural style of the dwelling.
- F6. If porches are to have balustrades/ railings: Top rail must be 36" high or greater. Balusters or pickets shall be either turned or flat stock. If flat is used; then a 1' x 4" minimum shall be used for each baluster. A 4" dia. Ball shall be unable to pass between any baluster or picket used. No metal, fiberglass or composite material of any kind shall be used for any element of the balustrade or railing assembly.
- F7. Masonry may be used at only the following locations:

F71 *Porch Columns, Porches***F8. Allowable Masonry:**

F81 *Brick*: Modular common brick in a running bond shall be used for the primary field of the surface to be bricked. Soldier, rowlock, header courses, etc. are allowed as appropriate decorative elements. No king-size, Roman or other uncommon sized brick shall be used. Only smooth, wire-cut or raked finishes are allowed.

F82 *Masonry*: Masonry shall be laid-up in a coursed ashlar-pattern-with modular sizes and with distinct and regular horizontal and vertical mortar joints. Random patterns are not allowed. Finish of stone should be muted grays and natural neutral colors. No stark colored stone shall be allowed.

D9. For both brick and masonry, full or fully-adhered thin-units are allowed-depending upon the application. Lightweight concrete masonry products to approximate allowable stone patterns and finishes are allowed.

G. ROOF

- G1. No roof or part of a roof shall have a slope less than 8:12.
- Exception: *Parts of the roof that exclusively cover an exterior porch area may have a minimum slope of 3:12*
- G2. All finished roofs shall have composition shingles as its primary roofing material.
- G3. Composition shingles shall be 'architectural grade' or similar and have a minimum 25-year warranty. All cottages, garages and carriage houses shall have the same color roofing carried throughout the entire "pod".
- G4. All shingles shall be Charcoal or of similar Charcoal character only. No other shingles are allowed.
- G5. A maximum of 10% of the overall roof area may be of an alternate roofing finish such as standing or batten seam roofing provided that it logically adds to the architectural character of the exterior.
- G6. At least (1) gable shall be located on the front elevation facing the Common Area. This gable should compliment and be proportional to this front elevation and be sided with one or more of the approved exterior finishes contained in these standards.

(80)

G7. All roof penetrations (vents, flues, etc.) shall be painted to approximate the roof color. All roof penetrations shall be placed on the back side of the roof line only and not visible from the front elevation. Exposed sheet metal, lead or galvanized finishes are not allowed.

G8. No boxed chimney flues with siding are allowed. All chimneys will be constructed of either full-brick or applied thin-brick (or allowable masonry) veneer depending on the nature of the fireplace served.

H. FENCING

H1. Yard Fences shall be constructed of Aluminum or Natural Wood materials only.

H1A. Front yard "privacy" shall be no taller than 36" spaced picket Vinyl "Chelsea" style fencing. Fencing must stop at both sides of the front walk leading to the home or at builders discretion, can be connected with a gate of the same style.– White only

H1B. Rear yard shall be 48" Steel 2 Rail "Kent" style residential fencing only – Black only – Reference Merchant Metals

I. MISCELLANEOUS

I1. A continuous water-table molding shall define the transition from the top of the concrete slab to the first course of any approved siding along the front elevation. The water table must return around the front corners of the house and continue for a minimum of 4' before terminating. Exception: This is not required where a front porch is attached to the dwelling.

I2. No hose caddies, tool racks or similar elements shall be affixed anywhere on the front elevation of any dwelling.

I3. Postal numbering shall be posted on the front facing post of each cottage. Numbering shall not be larger than 6" in size and must be black in color.

I4. Yard equipment including HVAC, utility meters, clotheslines, satellite dishes, play equipment, hot tubs, and the like shall be permitted in rear yards only.

I5. Any outdoor lighting, including motion sensor lighting must be directed down and not facing any adjacent home windows.

Date _____
Scale 1" = 20'
Drawn _____
Job _____
Sheet 9 of 4 sheets



Plan 945 A Elevation



Plan 945 B Elevation





Plan 1192 A Elevation



Plan 1192 B Elevation



(187)

Plan 1192





Plan 1393 A Elevation



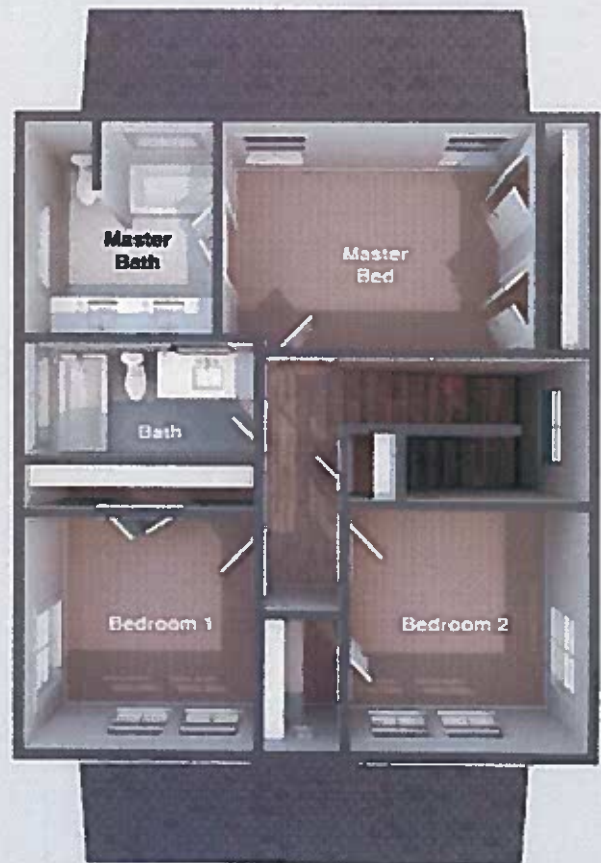
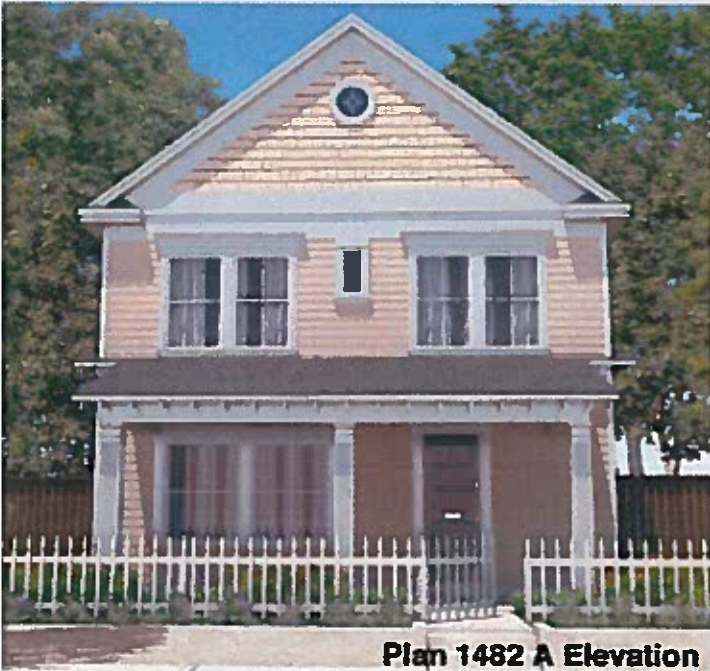
Plan 1393 B Elevation



Plan 1393



(90)





Plan 1766 A Elevation



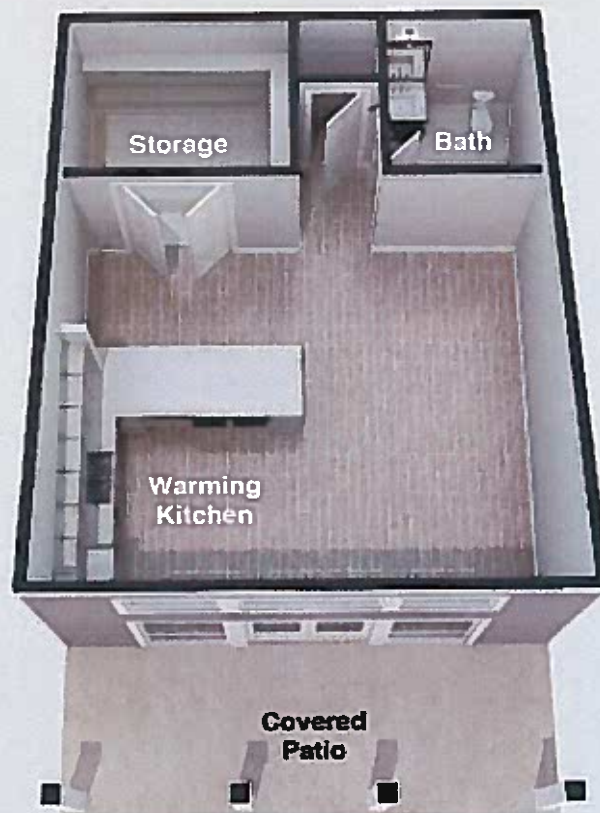
Plan 1766 B Elevation



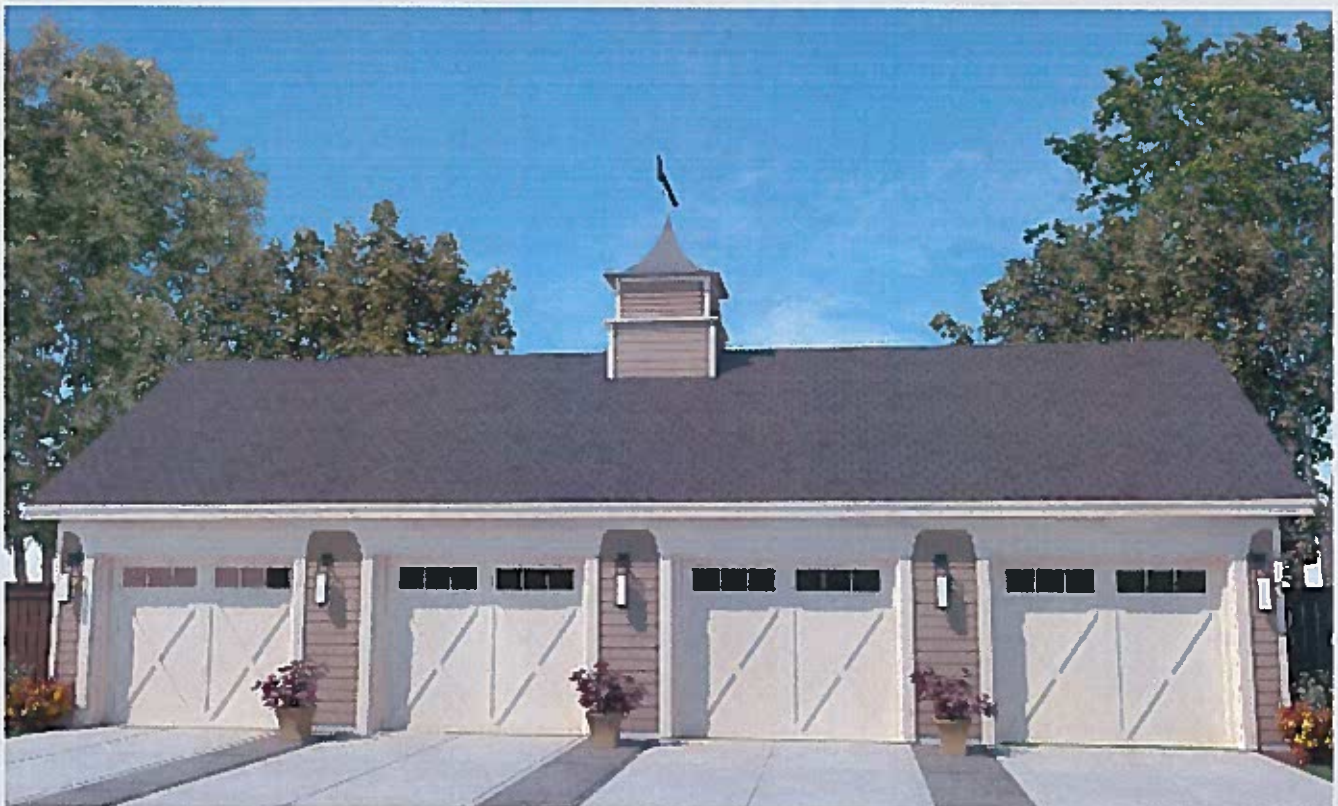
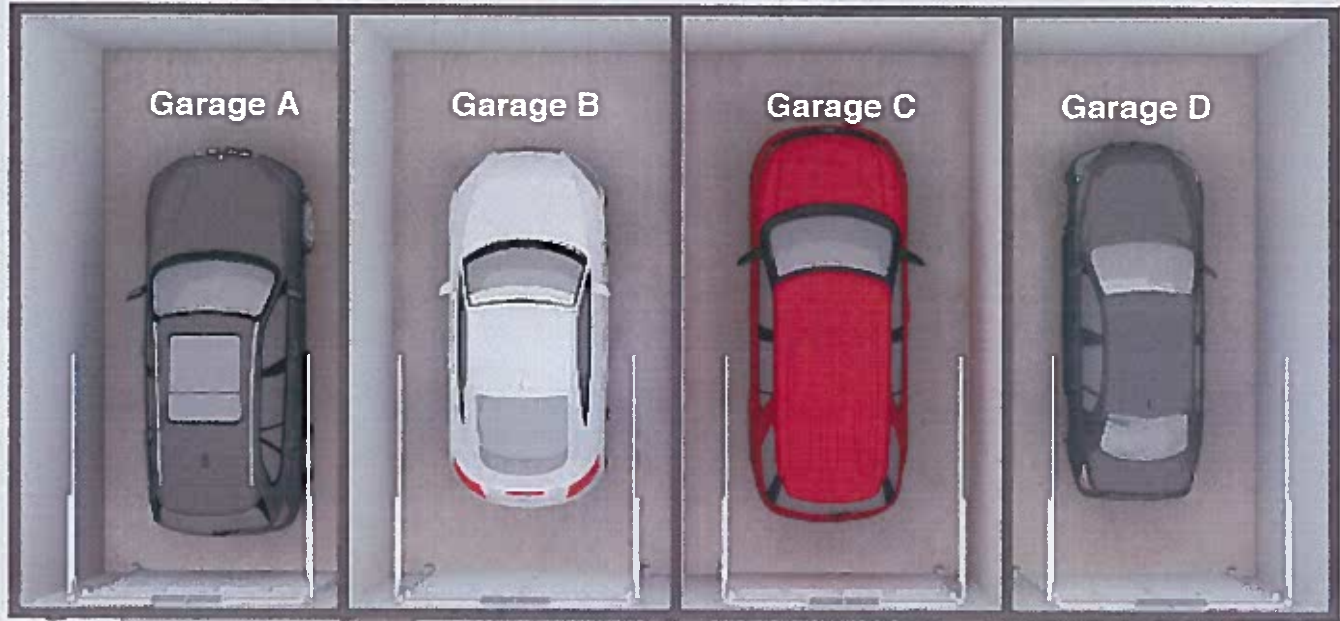
Plan 1766



Club House



Garage



LEGEND & NOTES

POD AREA LIMIT LINE AND ROW LINE ON STREET
SEE LA-4 FOR LANDSCAPE PLANT LIST
SEE LA-1 FOR LEGEND LANDSCAPE PLANT SYMBOLS
ALL PLANTS NOTED WITH (B) ARE REQUIRED BY THE BUILDER TO INSTALL ON EACH POD WHERE NOTED
SEE LA-4 FOR LEGEND WALL/FENCE NOTES
SEE LA-4 FOR POD LOT LANDSCAPE PLAN(TYPICAL)

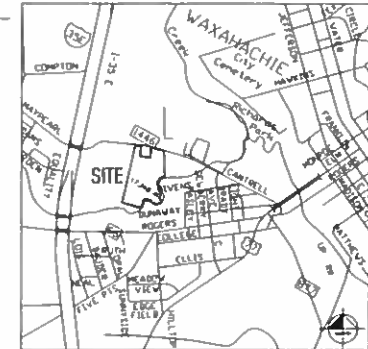
Landscape Plan - The Cottages on Cantrell

LEGEND & PLANT SYMBOLS

SEE SHEET LA-4 FOR LANDSCAPE PLANT LIST

- 1-PCC-1 QUANTITY
SYMBOL KEY TO PLANT LIST
- (B)2-RST-1 SYMBOL KEY FOR BUILDER REQUIRED TREES
- IRR SLEEVE IRRIGATION SLEEVE: IRRIGATION WATER SUPPLY 4", WIRES 2" OR AS NOTED ON PLAN
- ST 4.0" CALIPER SITE DEVELOPER REQUIRED STREET TREES ONE PER 30 FEET INSTALL BETWEEN SIDEWALK AND CURB AND ALONG THE EDGES OF PARKWAY AS SHOWN
- ST 4.0" CALIPER POD BUILDER REQUIRED STREET TREES ONE PER 30 FEET INSTALL BETWEEN SIDEWALK AND CURB AND ALONG THE EDGES OF PARKWAY AS SHOWN
- PL 3.0" CALIPER POD BUILDER REQUIRED REQUIRED PARKING LOT TREES, INSTALL NO MORE THAN 60 FEET OF EACH PARKING SPACE, PER PLAN
- OS 3.0" CALIPER REQUIRED CANOPY SITE TREES ONE PER 4500 SQ FT OF OPEN SPACE AREA
- 3.0" CALIPER
- 2.5" CALIPER SITE AND LOT ORNAMENTAL TREES LOTS ONE PER REAR YARD

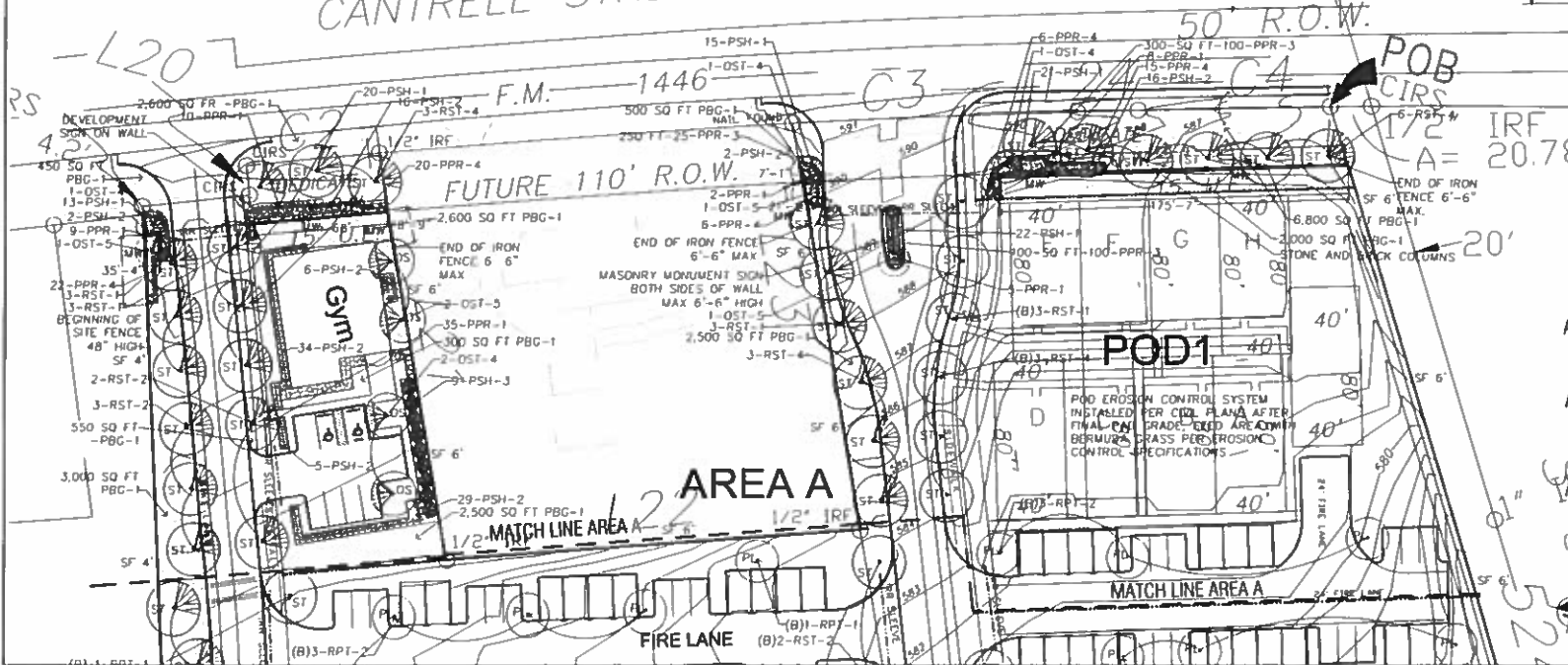
- 8' LARGE SCREENING SHRUB
- EVERGREEN SHRUBS
- EVERGREEN FLOWERING SHRUBS
- COLORFUL FLOWERING SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- NATIVE GRASSES
- VINES, WIRE TO WALL OR FENCE
- SEASONAL COLOR BEDS, 8" DEEP MIRACLE GROW SOIL
- SITE DEVELOPER REQUIRED BERMUDA GRASS, SOLID 500, SEE GRASS NOTES
- SITE DEVELOPER REQUIRED BERMUDA GRASS, "SEEDING" HYDRO-MULCH
- SITE DEVELOPER REQUIRED, RAIN GARDENS TO BE PLANTED WITH MIX OF PERENNIALS AND NATIVE GRASSES AT 1 GAL. PER 20 SQ FT.



LOCATION MAP

F.M. HIGHWAY NO. 1446
CANTRELL STREET

15' Water Line
Easement
2154/1971 OPRECT



AREA A
AREA B
AREA C



KEY MAP

PLANS ARE PREPARED FOR PRELIMINARY PLAT AND ARE NOT FOR CONSTRUCTION

ASPEN COMMUNITY DEVELOPMENT
BLANKINSON, Vice President
C 488-115-8254
B 910-0714-2212

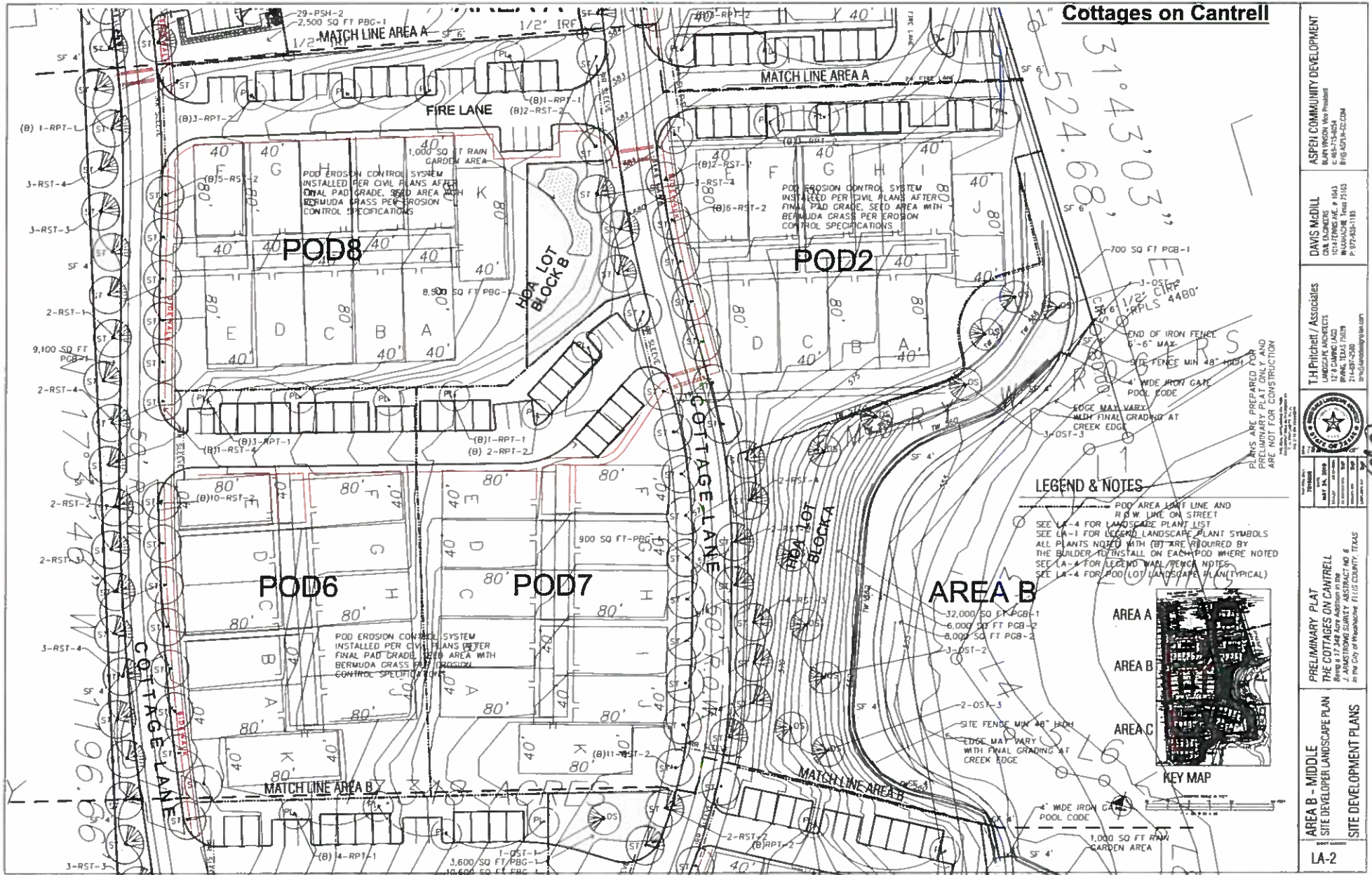
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LANDSCAPE ARCHITECTS
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IRVING, TEXAS 75039
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tpritchett@tpritchett.com



PRELIMINARY PLAT
THE COTTAGES ON CANTRELL
Being a 17.348 Acre Addition in the
J. ANASTASIOUS SUPPLY ABSTRACT NO. 6
in the City of Waxahachie, ELLIS COUNTY, TEXAS

AREA A - NORTH SIDE
SITE DEVELOPER LANDSCAPE PLAN
SITE DEVELOPMENT PLANS
LA-1

Landscape Plan - The Cottages on Cantrell



ASPEN COMMUNITY DEVELOPMENT
BLAIR VISION, Vice President
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T.H. Pritchett / Associates
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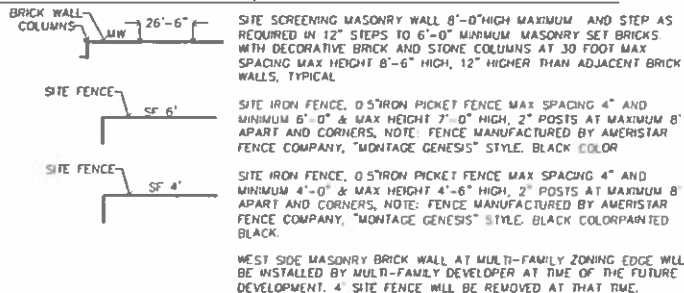


PRELIMINARY PLAN
THE COTTAGES ON CANTRELL
Being a 17.248 Acre Addition to the
J. ARNSTON SURVEY ABSTRACT NO. 6
in the City of Mesquite, TARRANT COUNTY, TEXAS

AREA B - MIDDLE
SITE DEVELOPER LANDSCAPE PLAN
SITE DEVELOPMENT PLANS

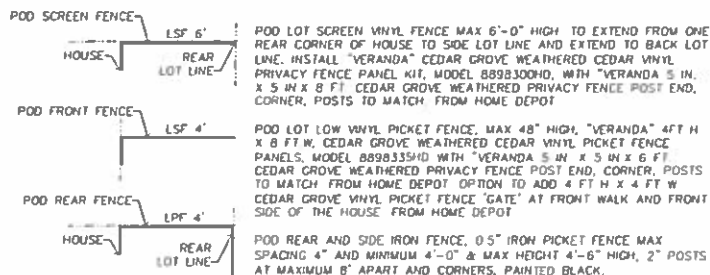
Landscape Plan - The Cottages on Cantrell

LEGEND SITE WALLS/FENCE

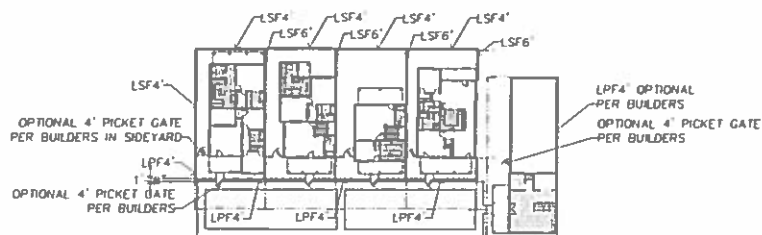


LEGEND POD FENCES

BUILDER SHALL PROVIDE DETAIL PLAN FOR ALL LOTS IN EACH POD WITH FENCE LOCATIONS FOR APPROVAL BY THE HOA AND THE CITY FOR PERMIT.



LOT EXAMPLE FENCE PLANS



LANDSCAPE PLANT LIST

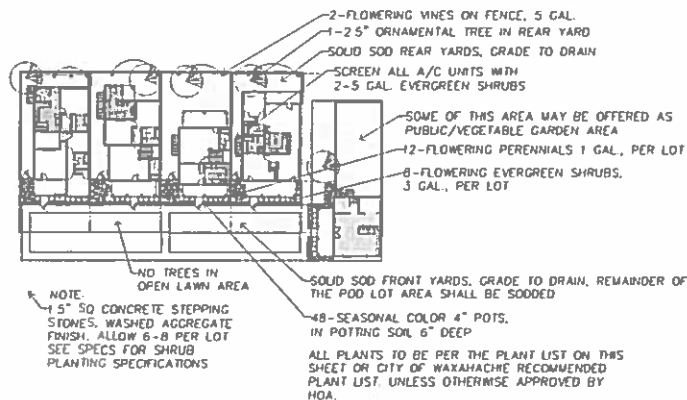
NOTE: NOT ALL OF PLANTS LISTED ARE USED ON THE PLANTING PLAN

COMMON NAME	BOTANICAL NAME	SIZE
REQUIRED STREET TREES		
RST-1 LIVE OAK, SINGLE TRUNK	QUERCUS VIRGINIANA	100 GAL. 4.00"-4.25" CALIPER, SINGLE TRUNK
RST-2 CEDAR ELM	ULMAS CRASSIFOLIA	100 GAL. 4.00"-4.25" CALIPER, SINGLE TRUNK
RST-3 CHINKAPIN OAK, SINGLE TRUNK	QUERCUS MUELENBURGHII	100 GAL. 4.00"-4.25" CALIPER, SINGLE TRUNK
RST-4 OCTOBER GLORY MAPLE	ACER RUBRUM, OCTOBER GLORY	100 GAL. 4.00"-4.25" CALIPER, SINGLE TRUNK
REQUIRED PARKING LOT TREES		
RPT-1 CEDAR ELM	ULMAS CRASSIFOLIA	65 GAL. 3.0"-3.5" CAL. SINGLE TRUNK TO 2 FEET
RPT-2 OCTOBER GLORY MAPLE	ACER RUBRUM, OCTOBER GLORY	65 GAL. 3.0"-3.5" CAL. SINGLE TRUNK TO 3 FEET
OPEN SPACE TREES ON SITE		
OST-1 LIVE OAK, SINGLE TRUNK	QUERCUS VIRGINIANA	65 GAL. 3.0"-3.5" CAL. SINGLE TRUNK TO 6 FEET
OST-2 OCTOBER GLORY MAPLE	ACER RUBRUM, OCTOBER GLORY	65 GAL. 3.0"-3.5" CAL. SINGLE TRUNK TO 6 FEET
OST-3 CEDAR ELM	ULMAS CRASSIFOLIA	65 GAL. 3.0"-3.5" CAL. SINGLE TRUNK TO 6 FEET
OST-4 CREPEMYRTLE NATCHEZ WHITE	LAGERSTROMIA INDICA, (W) WHITE	65 GAL. 3.0"-4.5" CAL. MULTI TRUNK, FULL HEAD
OST-5 LITTLE GEM MAGNOLIA	MAGNOLIA LITTLE GEM	65 GAL. 3.0"-3.5" CAL. SINGLE TRUNK TO 1 FEET
SHRUBS, HEDGES		
PSH-1 DWARF YAUPOIN HOLLY	ILEX VOMITORIA, NANA	3 GAL.
PSH-2 DWARF BURFORD HOLLY	ILEX CORNUTA, BURFORD	3 GAL.
PSH-3 NELLIE H. STEVENS	ILEX OPACA, N.R. STEVENS	25 GAL.
PSH-4 TEXAS MOUNTAIN LAUREL	DERMATOPHYLLUM SECUNDFLORUM	25 GAL. PURPLE
GROUND COVERS		
PCC-1 PURPLE WINTER CREEPER	EUDONYMUS FORTUNEI	1 GALLON
PCC-2 MEXICAN FEATHER GRASS	STIPA TENUISSIMA "PONYTAIL"	1 GALLON
PERENNIALS		
PPR-1 TEXAS RED YUCCA	HESPERALOE PARVIFOLIA	3 GAL. OR BB WITH SPIKE
PPR-2 CHERRY SAGE	SALVIA GREGGII	3 GAL. (R) RED, (C) CORAL
PPR-3 DAYLIES, EVERGREEN	HEMEROCALLIS, YELLOW	1 GAL.
PPR-4 LANTANA TRAILING, WHITE	LANTANA MONTEVINES	1 GAL. (W) WHITE
PPR-5 PURPLE MUMLY GRASS	MUMLY FLEURS	3 GAL.
GRASS		
PBG-1 TIF BERMUDA GRASS	BERMUDA SPECIES, 419 TIF	SOLID SOD
PBG-2 BERMUDA GRASS	BERMUDA SPECIES, COMMON	SEED, HYDROMULCH

TREE PRESERVATION NOTES

A TREE REMOVAL PERMIT IS REQUIRED FOR THE PROTECTED TREES TO BE REMOVED FROM SITE.

REQUIRED MINIMUM LOT LANDSCAPE PLANS (TYPICAL)



ASPEN COMMUNITY DEVELOPMENT
BARRY WILSON, Vice President
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BYO ASPEN-CD.COM

DAVIS McDILL
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PLANS ARE PREPARED FOR
PRELIMINARY PLAT ONLY AND
ARE NOT FOR CONSTRUCTION

PRELIMINARY PLAT
THE COTTAGES ON CANTRELL
Being a 17.544 Acre Addition to the
J. WAXAHACHE SURVEY ABSTRACT NO. 6
in the City of Waxahatche, ELLIS COUNTY, TEXAS

LANDSCAPE PLANT LIST
WALL / FENCE NOTES
REQUIRED LOT LANDSCAPE
SITE DEVELOPMENT PLANS

LA-4

(81)

Planning & Zoning Department

Zoning Staff Report

Case: PD-19-0062



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of zoning change PD-19-0062, subject to staff comments.

It should be noted that this request is for a Planned Development (PD) Concept Plan. The second part of the PD process is the Detailed Site Plan. If the Concept Plan ordinance is adopted, then the applicant's Detailed Site Plan will be administratively reviewed and can be approved in accordance with the Concept Plan.

CAPTION

Public Hearing on a request by Chris Acker, Southfork Capital LLC, for a Zoning Change from a Commercial zoning district to Planned Development-Single Family Residential-3, with Concept Plan, located at 500 Dunaway (Property ID 172322) - Owner: SOUTHFORK CAPITAL LLC (PD-19-0062)

CASE INFORMATION

Applicant: Chris Acker, Southfork Capital LLC

Property Owner(s): Southfork Capital LLC

Site Acreage: 1.031 acres

Current Zoning: Commercial and Single Family-3

Requested Zoning: Planned Development-Single Family Residential-3

SUBJECT PROPERTY

General Location: 500 Dunaway

Parcel ID Number(s): 172322

Existing Use: Undeveloped Land

Development History: N/A

(81)

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-3	Single Family Residential
East	C	Undeveloped Land
South	C	Single Family Residential
West	SF-3	Single Family Residential

Future Land Use Plan:

Retail with a portion Low Density Residential

Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Thoroughfare Plan:

The subject property is accessible via Dunaway St.

Site Image:



PLANNING ANALYSIS

The applicant is requesting a Zoning Change from a Commercial and Single Family-3 zoning district to Planned Development-Single Family Residential-3 to allow construction of 7 single family homes. The development will feature gated access to all units, wrought iron fencing, large front porches and exterior vintage style lighting. 100% of all landscaping will be maintained by the existing HOA that is currently in place at Franklin Township and Kaufman Township East.

It should be noted that this request is for a Planned Development (PD) Concept Plan. The second part of the PD process is the Detailed Site Plan. If the Concept Plan ordinance is adopted, then the applicant's Detailed Site Plan will be administratively reviewed and can be approved in accordance with the Concept Plan.

Table 1: Proposed Payton's Place Standards (Planned Development-SF-3 Base Zoning)

*****Rows highlighted in bold represent a deviation from SF-3 of the City of Waxahachie Zoning Ordinance**

Standard	Payton's Place	City of Waxahachie	Meets Y/N
Height	2 stories for the main building. 1 story for accessory buildings without garages	2 stories for the main building. 1 story for accessory buildings without garages	Yes
Min. Lot Area	5,036 sq. ft.	10,000 sq. ft.	No
Min. Lot Width	55 ft.	80 ft.	No
Min. Lot Depth	87.5 ft.	100 ft.	No
Min. Front Setback	15 ft.	30 ft.	No
Min. Side Setback	5'; 15' on corner lots adjacent to a street	10'; 15' on corner lots adjacent to a street	No
Min. Rear Setback	10 ft.	25 ft.	No
Max. Lot Coverage	60%	50%	No
Min. DUA	1,600 sq. ft.	1,200 sq. ft.	Yes
Parking	Minimum of 2 covered parking spaces behind the front building line on the same lot as the main structure	Minimum of 2 enclosed parking spaces behind the front building line on the same lot as the main structure	Yes

ADDITIONAL STANDARDS

- Façade materials (fiber cement siding w/ stone accent) will match the surrounding character of the neighborhood district.
- Shared access easements smaller than 28 ft. shall not allow for on-street parking.
- Gates designed for vehicular access shall be set back from the property line a minimum of twenty (20) feet.
- All property lines shall meet in the middle of the street within the Planned Development.
- The road shall be maintained by the development's HOA.
- The City of Waxahachie will maintain utilities in the road.
- Water and sewer utilities will remain public and be placed in the shared drive.
- The HOA will be required by the bylaws to set aside a percentage of dues for road maintenance.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 22 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 5/24/19.

STAFF CONCERNS

1. Per the City of Waxahachie Zoning Ordinance, gates designed for vehicular access shall be set back from the property line a minimum of twenty (20) feet. The applicant currently shows a 15 ft. setback.
2. Shared access easements smaller than 28 ft. shall not allow for on-street parking. The applicant is currently showing a 26 ft. shared access easement.
3. Lot sizes. The smallest lot size, per the City of Waxahachie Zoning Ordinance is 10,000 sq. ft. The applicant is currently providing 4,757 sq. ft.

APPLICANT RESPONSE TO CONCERNS

1. The applicant informed staff that revised plans will be submitted to show the sliding gate setback 20 ft. from the property line.
2. The applicant is aware of staff's concern and will state his reasoning at the June 11, 2019 Planning and Zoning meeting and June 17, 2019 City Council meeting.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. Shared access easements smaller than 28 ft. shall not allow for on-street parking. The applicant is currently showing a 26 ft. shared access easement.
 2. Per the City of Waxahachie Zoning Ordinance, gates designed for vehicular access shall be set back from the property line a minimum of twenty (20) feet. The applicant currently shows a 15 ft. setback. *Staff shall receive revised plans from the applicant showing the sliding gate setback 20 ft. from the property line.*
 3. All property lines shall meet in the middle of the street within the Planned Development.
 4. The road shall be maintained by the development.
 5. The HOA will be required by the bylaws to set aside a percentage of dues for road maintenance.
 6. The City of Waxahachie will maintain utilities in the road.

ATTACHED EXHIBITS

1. Development Plan
2. Concept Plan Provisions
3. Elevations
4. Ordinance

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

(21)

STAFF CONTACT INFORMATION

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Senior Planner
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Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(22)

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING A ZONING CHANGE FROM COMMERCIAL (C) TO PLANNED DEVELOPMENT-SINGLE FAMILY-3 (PD-SF3), WITH CONCEPT PLAN LOCATED AT 500 DUNAWAY IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING 1.031 ACRES KNOWN AS A PORTION OF PROPERTY ID 172322 OF LOT 1B, BLOCK 1, OF THE BULLARD-REV SUBDIVISION, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, a proper application for a PD, with Concept Plan has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number PD-19-0062. Said application, having been referred to the Planning and Zoning (P&Z) Commission for their final report, was recommended by the P&Z Commission for zoning change approval of the subject property from C to PD-SF3, with Concept Plan; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said zoning amendment;

NOW, THEREFORE, this property is rezoned from C to PD-SF-3, with Concept Plan in order to construct a single family residential development on the following property: a portion of Property ID 172322 of Lot 1B, Block 1, of the Bullard-Rev subdivision, which is shown on Exhibit A, in accordance with the Concept Plan provisions attached as Exhibit B, Site Plan shown in Exhibit C, and the conceptual elevation/facade plan attached as Exhibit D.

PLANNED DEVELOPMENT

Purpose and Intent

The purpose of this planned development to create a single family residential development and to establish appropriate restrictions and development controls necessary to ensure predictable land development, safe and efficient vehicular and pedestrian circulation, compatible uses of land and compliance with appropriate design standards.

Development Standards

All development on land located within the boundaries of this Planned Development District shall adhere to the rules and regulations set forth in this ordinance. The locations of buildings, driveways, parking areas, amenity areas, trails, fencing, and other common areas shall substantially conform to

the locations shown on the approved Site Plan (Exhibit C).

Base Zoning

1. Any zoning, land use requirement or restriction not contained within this zoning ordinance shall conform to those requirements and/or standards prescribed in Exhibits B – Planned Development Provisions. Where regulations are not specified in Exhibit B or in this ordinance, the regulations of Single Family-3 zoning district of the City of Waxahachie Zoning Ordinance shall apply to this development.
2. Façade materials (fiber cement siding w/ stone accent) will match the surrounding character of the neighborhood district.
3. Shared access easements smaller than 28 ft. shall not allow for on-street parking.
4. Gates designed for vehicular access shall be set back from the property line a minimum of twenty (20) feet.
5. All property lines shall meet in the middle of the street within the Planned Development.
6. The road shall be maintained by the development's HOA.
7. The City of Waxahachie will maintain utilities in the road.
8. Water and sewer utilities will remain public and be placed in the shared drive.
9. The HOA will be required by the bylaws to set aside a percentage of dues for road maintenance.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED, AND ADOPTED on this 17th day of June, 2019.

MAYOR

ATTEST:

City Secretary



Exhibit A - Location Exhibit

PD-19-0082

PD-19-0062 EXHIBIT "B"**Concept Plan Provisions**Purpose and Intent

The purpose and intent of this Planned Development (PD) is to allow for the development of seven single family homes.

Key Design Features: The residential architectural style for this development will consist mainly of southern farm house and Texas regional architecture that lends itself to large front porches and homes opening directly on both public and private spaces. Features that Promote a Unique Identity and Quality of Life. Payton's Place is designed to evoke a neo-classical feel. The architecture within the community is one of similarity and continuity, but with a variety of design options. The main design idea is to mimic the existing Waxahachie "original town" and downtown areas that were constructed in the later 1800s and to mid 1900s.

Sustainability of Site Location: Within 1/8 mile to hike and bike trail and ¼ mile of Downtown Waxahachie. All residential development will be Energy Star rated.

Strategies for Healthy Communities and Indoor Environments: Walkable streets; Vintage street lighting and bike and pedestrian trails that provide connections from the development to the nearby hike and bike trail as well as downtown Waxahachie and the Amphitheater.

Any conditions found within the Single Family Residential District-3 (SF-3) zoning district or Zoning Ordinance that are not written herein, shall default to the City of Waxahachie's Code of Ordinances, as amended.

Compliance with the City's Comprehensive Plan

Zoning District (SF-3) is the intended base zoning classification underlying this PD. The SF-3, Single Family Residential District-3, is a residential district intended to provide the highest residential density of four (4) dwelling units per acre. The principal permitted land uses will include single family dwellings, residential areas are permitted in this District.

PD District Development Standards***Description of Request***

- We intend to modify the existing zoning commercial requirements under a Planned Development which will allow for the development of seven single family homes.

Proposed Use of Property

- The proposed development is compiled of 7 new single family homes. The development will create a common look that will serve as a model for future development in the surrounding area. The development will feature gated access to all units, wrought iron fencing, large front porches and exterior vintage style lighting. 100% of all landscaping will be maintained by the existing HOA that is currently in place at Franklin Township and Kaufman Township East. We intend to break ground in early summer, with completion of the project in spring 2020.

General Development Requirements

- **Site Plan:** The development plan is attached as Exhibit "C"
- **Elevations:** Per elevation plan Exhibit "D" 100% fiber-cement exterior with stone accents
- **Density:** 7 dwelling units per acre (7 units total)

(22)

- **Sec. 3.06 - Single-Family Residential-3 (SF3).**

(a)

General purpose and description: The Single-Family Residential-3 (SF3) Zoning District is intended to be similar to the SF2 except composed of detached, single-family residences on lots of not less than ten thousand (10,000) square feet.

(b)

SF-3 Standards

Height Regulations	
	2 stories for the main building. 1 story for accessory buildings without garages
Area Regulations	
Minimum Lot Area	10,000 SF
Minimum Lot Width	80'
Minimum Lot Depth	100'
Minimum Front Yard	30'
Minimum Side Yard	10'; 15' on corner lots adjacent to a street
Minimum Rear Yard	25'
Maximum Lot Coverage	50% by main and accessory buildings
Parking Regulations	Minimum of 2 enclosed parking spaces behind the front building line on the same lot as the main structure
Minimum DUA	1,200 SF

(22)

- **Proposed Planned Development Single-Family Residential 3**

Payton's Place Planned Development Standards

Height Regulations	
	2 stories for the main building. 1 story for accessory buildings without garages
Area Regulations	
Minimum Lot Area	5,036 SF
Minimum Lot Width	55'
Minimum Lot Depth	87.5'
Minimum Front Yard	15'
Minimum Side Yard	5'; 15' on corner lots adjacent to a street
Minimum Rear Yard	10'
Maximum Lot Coverage	60% by main and accessory buildings
Parking Regulations	Minimum of 2 covered parking spaces behind the front building line on the same lot as the main structure
Minimum DUA	1,600 SF
Exterior Facade	100 percent fiber-cement exterior façade with stone accents



LEONARD J. ANDERSON, F.D.R.
ATTORNEY AT LAW
www.leonardjanderson.com



EXHIBIT "C"
 1.01 ACRES
 LOTS 1 & BLOCK 1
 PAYTON'S PLACE ADDITION
 WAXAHACHIE, TEXAS 75165
 PD-19-0062



Post Office Capital
1751 HWY 287 BOX 111
WAXAHACHIE, TEXAS 75165
OFFICE 1-214-729-5571-10



DEVELOPEMENT PLAN
NOT TO SCALE



LOT 1 ELEVATION



LOT 2 ELEVATION



LOT 3 ELEVATION



LOT 4 ELEVATION



LOT 5 ELEVATION



LOT 6 ELEVATION



ALTERNATE ELEVATION



LOT 7 ELEVATION

Exhibit D - Facade/Elevations

(98)



TARRANT COUNTY, TEXAS
COUNTY CLERK'S OFFICE
WWW.TARRANTCOUNTYTX.GOV



JUNE 5th, 2019
EXHIBIT "D"
PL 19-0005 TAYLOR'S PLACE ADDITION
LOTS 1, 2, BLOCK 1
LOLLACKER
WAXAHACHIE, TEXAS 75161



171 LINDA AVE SOUTH
WAXAHACHIE, TEXAS 75161
972.707.0520
For the State of Texas

(23)

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0063



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

CAPTION

Request by Chris Acker, Southfork Capital LLC, for a Replat of Lot 1B, Block 1, Bullards Addition, to create Lots 1-8, Block A, Payton's Place Addition, 1.031 acres (Property ID 172322) – Owner: SOUTHFORK CAPITAL LLC (RP-19-0063)

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of plat no. RP-19-0063, per staff comments.

CASE INFORMATION

Applicant: Chris Acker, Southfork Capital, LLC

Property Owner(s): Southfork Capital, LLC

Site Acreage: 1.031 acres

Number of Lots: 8 lots

Number of Dwelling Units: 7 units

Park Land Dedication: Cash in lieu of park land dedication for the property is set at \$2,800.00. This fee must be paid before the plat is filed.

Adequate Public Facilities: Adequate public facilities will be established

SUBJECT PROPERTY

General Location: 500 Dunaway

Parcel ID Number(s): 172322

Current Zoning: Commercial with SUP (Ordinance 2651)

Existing Use: Undeveloped

Platting History:

Replat/Final: Lots 1A and 1B, Block 1, being a Replat of Blocks 1 and 2, Bullards Addition bordered by Cantrell, Dillion, Turner and Dunaway Streets was approved by City Council on October 1, 2007.

Site Aerial:**STAFF CONCERNS**

At the time of this report (6/3/19), staff has some concerns regarding Payton's Place:

1. According to the civil plans Water flow contours show water flowing from lot to lot while not providing a discernable path to proposed water inlets.
2. The HOA Area on the plat and the Site plan differ in size.
3. The lots need to be labeled 1-7, with the HOA area or the HOA area labeled as an "x" lot.
4. The current zoning needs to be included for the subject site on the plat.
5. At the time of this report (6/5/19), the plat on file is out of date. An updated plat will need to be submitted to staff before it can be filed.

APPLICANT RESPONSE TO CONCERNS

Staff received an updated plat and civil plans showing the proposed building layout and infrastructure. However, the above concerns are still outstanding, even with the latest submittal.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. Plans for a retaining wall designed by an engineer will be required before plat filing.
 2. Current zoning for the subject site must be represented on the plat.
 3. The HOA area needs to be addressed as to which drawing is the correct size.
 4. The lots need to be labeled 1-7, with the HOA area or the HOA area labeled as an "x" lot.
 5. An up to date plat needs to be submitted to staff.

ATTACHED EXHIBITS

1. Plat drawing.

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

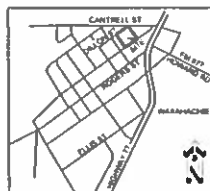
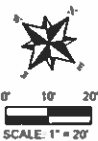
cwebb@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

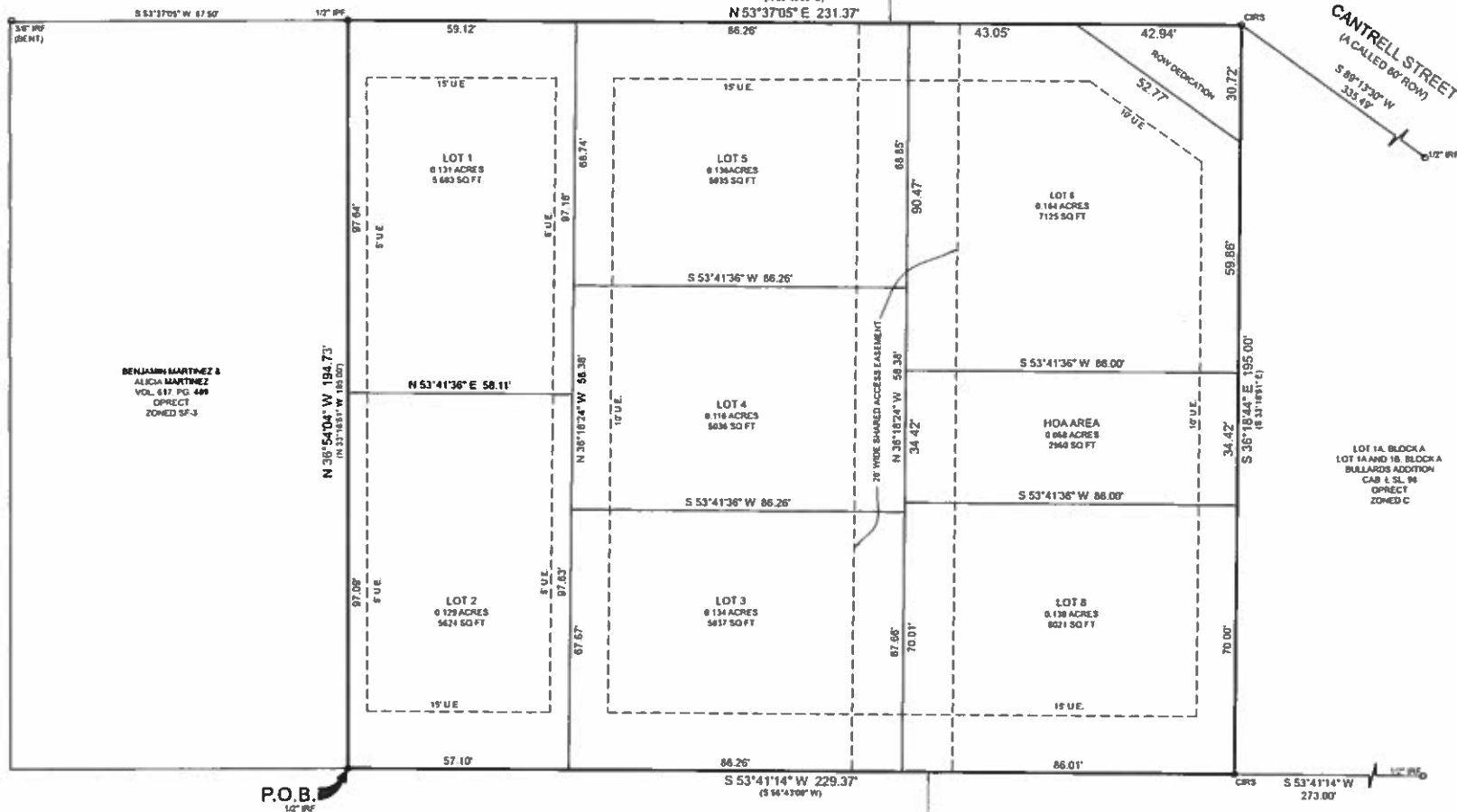
sbrooks@waxahachie.com



VICINITY MAP
NOT TO SCALE

TURNER STREET
(A CALLED 60' ROW)

BENJAMIN MARTINEZ &
ALICIA MARTINEZ
VOL. 517, PG. 449
OPRECT
ZONED SF-3



P.O.B.
1/2" IRF

LEGEND

CRS = 5/8 IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET
IRF = IRON ROD FOUND
FND = FOUND
UE = UTILITY EASEMENT

NOTES

BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM NORTH CENTRAL
ZONE 4202. HAD 83 PER GPS OBSERVATIONS

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" DEFINED AS "AREAS DETERMINED TO
BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN" ACCORDING TO THE FIVE (5) YEAR
INSURANCE RATE MAP NO. 41 (R007) DATED JUNE 1, 2013 AS PUBLISHED BY THE
FEDERAL EMERGENCY MANAGEMENT AGENCY

DUNAWAY STREET
(A CALLED 60' ROW)

OWNER
SOUTHFORK CAPITAL, LLC
P.O. BOX 537
WAXAHACHIE, TX 75168
469 383 5839

SURVEYOR
TEXAS REALTY CAPTURE &
SURVEYING, LLC
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469 518 9338
TDLPS FIRM NO. 10194359

JOB NO. 1324

REPLAT
LOT 1-8, BLOCK 1
PAYTON'S PLACE ADDITION
BEING A REPLAT OF LOT 1B

BLOCK 1
BULLARDS ADDITION
CABINET I, SLIDE 98
1.031 ACRES

SHOWN IN THE
E.W. ROGERS SURVEY,
ABSTRACT NO. 896
CITY OF WAXAHACHIE,
ELLIS COUNTY, TEXAS
8 RESIDENTIAL LOTS
ZONED C

MAY 2019

PAGE 1 OF 2

STATE OF TEXAS
COUNTY OF ELLIS

OWNER'S CERTIFICATE

WHEREAS SOUTH FORK CAPITAL, LLC, IS THE SOLE OWNER OF A TRACT OF LAND SITUATED IN THE E W ROGERS SURVEY ABSTRACT NO. 896, IN THE CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN DEED TO SOUTH FORK CAPITAL, LLC, RECORDED IN INSTRUMENT NO. 1718215, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT), AND BEING ALL OF LOT 1B, BLOCK 1 OF LOT 1A AND 1B, BLOCK 1 OF BULLARDS ADDITION, AN ADDITION TO THE CITY OF WAXAHACHE, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET 1, SLIDE 98, OPRECT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 1B AND THE COMMON SOUTHEAST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO BENJAMIN MARTINEZ AND WIFE, ALICIA MARTINEZ, RECORDED IN VOLUME 617, PAGE 489, OPRECT, AND IN THE NORTH RIGHT-OF-WAY (ROW) LINE OF DUNAWAY STREET (A CALLED 80 FOOT ROW);

THENCE N 36°54'04" W, ALONG THE WEST LINE OF SAID LOT 1B AND THE COMMON EAST LINE OF SAID MARTINEZ TRACT, A DISTANCE OF 194.73 FEET TO A 1/2" IRON PIPE FOUND FOR THE NORTHWEST CORNER OF SAID LOT 1B AND THE COMMON NORTHEAST CORNER OF SAID MARTINEZ TRACT, AND IN THE SOUTH ROW LINE OF DILLON STREET (A CALLED 80 FOOT ROW);

THENCE N 53°37'50" E, ALONG THE NORTH LINE OF SAID LOT 1B AND THE COMMON SOUTH ROW LINE OF SAID DILLON STREET, A DISTANCE OF 233.37 FEET TO A 3/8" IRON ROD FOUND WITH CAP STAMPED "T3RC5" SET FOR THE NORTHEAST CORNER OF SAID LOT 1B AND THE COMMON NORTH CORNER OF LOT 1A, BLOCK B, OF SAID LOT 1A AND 1B, BLOCK 1 OF BULLARDS ADDITION, AND IN THE WEST ROW LINE OF CANTRELL STREET (A CALLED 95 ROW);

THENCE S 36°18'44" E, ALONG THE EAST LINE OF SAID LOT 1B AND THE COMMON WEST LINE OF SAID LOT 1A, A DISTANCE OF 185.80 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1B AND THE COMMON SOUTHWEST CORNER OF SAID LOT 1A, AND IN THE NORTH ROW LINE OF SAID DUNAWAY STREET;

THENCE S 53°41'14" W, ALONG THE SOUTH LINE OF SAID LOT 1B AND THE COMMON NORTH ROW LINE OF SAID DUNAWAY STREET, A DISTANCE OF 229.37 FEET TO THE POINT OF BEGINNING, AND CONTAINING 1.031 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT SOUTH FORK CAPITAL, LLC, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS LOT 1-B, BLOCK 1, PAYTON'S PLACE ADDITION, AN ADDITION TO THE CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE CITY OF WAXAHACHE, TEXAS, FOR THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. THE STREETS AND ALLEYS ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF WAXAHACHE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES SERVING TO USE OR USING THE SAME, UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES. SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND CITY OF WAXAHACHE'S USE. THEREOF. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF ingress and egress TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WAXAHACHE, TEXAS.

WITNESS MY HAND THIS _____ DAY OF _____, 2019.

SOUTH FORK CAPITAL, LLC
CHRIS ACKER

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED CHRIS ACKER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE SIGNED SAID INSTRUMENT FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 2019.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

I, TIMOTHY L. JACKSON, RPLS, HEREBY CERTIFY THAT THIS PLAT WAS MADE ON THE GROUND, UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND THAT ALL PROPERTY COVERS HEREON HAVE BEEN FOUND OR SET AS SHOWN.

**"PRELIMINARY. THIS DOCUMENT SHALL NOT
BE RECORDED FOR ANY PURPOSE AND SHALL
NOT BE USED OR VIEWED OR RELIED UPON AS
A FINAL SURVEY DOCUMENT"**

TIMOTHY L. JACKSON
REGISTRATION NUMBER 5644

APPROVED BY PLANNING AND ZONING COMMISSION CITY OF WAXAHACHE

BY _____ DATE _____
CHAIRPERSON

APPROVED BY CITY COUNCIL
CITY OF WAXAHACHE

BY _____ DATE _____
MAYOR

BY _____ DATE _____
ALDER

OWNER
SOUTH FORK CAPITAL, LLC
P.O. BOX 537
WAXAHACHE, TX 75160
469.383.5839

SURVEYOR
TEXAS REALITY CAPTURE &
SURVEYING, LLC
P.O. BOX 252
WAXAHACHE, TEXAS 75160
409.516.8338
TBLPLS FROM NO. 10194359

JOB NO. 1334

REPLAT

**LOT 1-8, BLOCK 1
PAYTON'S PLACE ADDITION**

BEING A REPLAT OF LOT 1B
BLOCK 1
BULLARDS ADDITION
CABINET 1, SLIDE 98
1.031 ACRES
SITUATED IN THE

E. W. ROGERS SURVEY,
ABSTRACT NO. 896
CITY OF WAXAHACHE,
ELLIS COUNTY, TEXAS
8 RESIDENTIAL LOTS
ZONED C

MAY 2019

PAGE 2 OF 2

(25)

Planning & Zoning Department

Zoning Staff Report

Case: PD-19-0057



MEETING DATE(S)

Planning & Zoning Commission: June 11, 2019

City Council: June 17, 2019

ACTION SINCE INITIAL STAFF REPORT

At the Planning & Zoning Commission meeting, held June 11, 2019, the Commission voted 6-0 to recommend approval of zoning change PD-19-0057, subject to staff comments.

It should be noted that this request is for a Planned Development (PD) Concept Plan. The second part of the PD process is the Detailed Site Plan. If the Concept Plan ordinance is adopted, then the applicant's Detailed Site Plan will be administratively reviewed and can be approved in accordance with the Concept Plan.

CAPTION

Public Hearing on a request by Maxwell Fisher, AICP, Masterplan, for a Zoning Change from a Future Development zoning district to Planned Development-Commercial, with Concept Plan, located at 3502 N Highway 77 (Property ID 193323, 209693, and 151344) - Owner: LOCKWOOD PROPERTIES LLC (PD-19-0057)

CASE INFORMATION

Applicant: Maxwell Fisher, AICP, Masterplan

Property Owner(s): Lockwood Properties LLC

Site Acreage: 1.145 acres

Current Zoning: Future Development

Requested Zoning: Planned Development-Commercial

SUBJECT PROPERTY

General Location: 3502 N Highway 77

Parcel ID Number(s): 193323, 209693, 151344

Existing Use: Vacant Office Building

Development History: N/A

(25)

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	PD-GR	HGO Tire Shop
East	-	Ellis County/ City of Waxahachie City Limits
South	GR	77 Donuts
West	C	Atmos Energy

Future Land Use Plan:

Retail

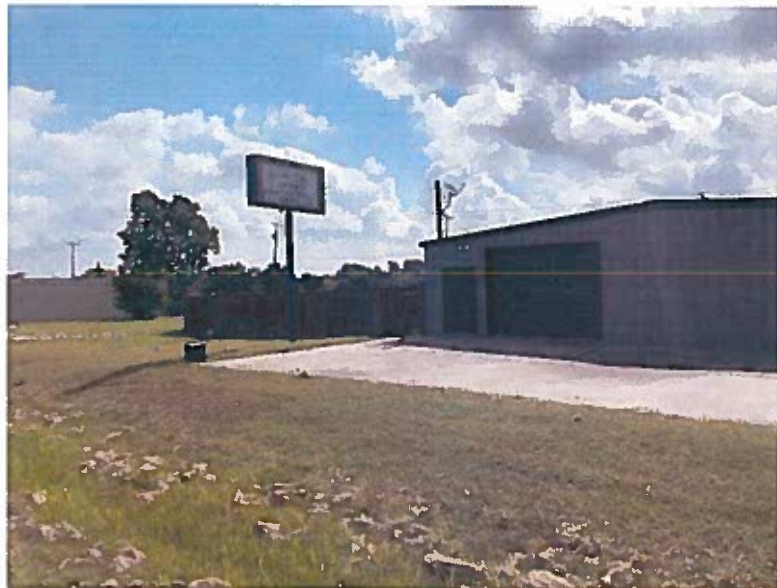
Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

Thoroughfare Plan:

The subject property is accessible via US Highway 77.

Site Image:



PLANNING ANALYSIS

Purpose/Use:

The applicant is requesting a Planned Development approval to allow for restricted Commercial uses on 1.145 acres. The 1.145 acre site contains two developable parcels, with Lot 1 developed with a 5,065-square foot warehouse building, along with an enclosed exterior storage area on Lot 2 (Lot 2 - reserved for potential development).

The applicant is requesting a zoning change for the property from Future Development (FD) to a Planned Development (PD) District for Commercial uses. The prospective buyer for the property, Stiller Roofing and Remodeling, is proposing to operate from the existing building. Once established, the prospective buyer is interested in developing the northern lot, Lot 2, with a similar 4,500-square foot office warehouse-type building, leasing to a similar business or businesses.

(25)

Table 1: Proposed Planned Development Standards

Attribute	Lot 1	Lot 2
Area	25,331 s.f. (.58 acres)	24,541 sf. (.56 acres)
Zoning	Proposed PD for (C)	Proposed PD for (C)
Proposed Use	Contractor's office, warehouse, and storage	Commercial use TBD
Building Area (SF)	5,065 s.f. (office 384 sf)	4,500 s.f. (office – TBD)
Building Height	13 ft.	15 ft.
Impervious Area (SF)	16,000 s.f.	16,363 s.f.
Parking Required	10	7
Parking Provided	11	19
ADA Spaces	1	1
Front Setback	25	25
Site Yard Setback	5 (Perimeter – 10 ft.)	5 (Perimeter – 10 ft.)
Rear Yard Setback	20 ft.	20 ft.

Fencing, Walls and Screening:

**standards not listed shall refer to Section 5.03 of the City of Waxahachie Zoning Ordinance*

- Dedicated outdoor storage areas must be screened from public streets and residential districts with a minimum 6-foot tall solid wood fence.
- Lots 1 and 2: Perimeter screening adjacent to residential districts is not required provided all outside storage is screened with a 6-foot tall solid wood fence.
- Landscape Requirements: The landscaping required for Lots 1 and 2 shall be as generally shown on the Landscape Plan.
- Outdoor Storage, Surface Area: The surface of outdoor storage areas may consist of gravel, asphalt, or decomposed granite.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 15 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 5/24/19.

PON RESPONSE

Staff has received one (1) letter of opposition for the proposed development.

STAFF CONCERNS

1. The existing plan shows the proposed outside storage located near septic devices and spray fields. Due to safety concerns, staff informed the applicant that no outside storage should be located on any septic devices.
2. If sewer connection is not available, the applicant may have to combine the two lots and share the septic system. The size of the septic system will need to be verified by a Professional Sanitarian.

APPLICANT RESPONSE TO CONCERNS

1. At the time of this report (5/28/2019), the applicant has informed staff that they are currently working with a building inspector and hope to resolve the issue as soon as possible. The applicant also informed staff that the outdoor storage will be kept out of spray fields and septic devices.
New plans shall be submitted to show the outdoor storage outside of the spray fields and septic devices before final approval is made by staff.
2. The prospective owner is aware of the possible options for sanitary sewer vs. septic connection. If sanitary sewer connection is infeasible, it is understood that the existing septic system may need replaced to accommodate both building and the "site" would remain as one lot of record.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. Staff recommends approval pending that the staff concerns regarding outside storage and the sewer/septic system for the property is addressed.

ATTACHED EXHIBITS

1. Site Plan
2. Landscape Plan
3. Planned Development Conditions
4. Ordinance

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(85)

CASE PD-19-0057

Request by Maxwell Fisher, AICP, Masterplan, for a Zoning Change from a Future Development zoning district to Planned Development-Commercial, with Detailed Site Plan, located at 3502 N Highway 77 (Property ID 193323, 209693, and 151344) - Owner: LOCKWOOD PROPERTIES LLC (PD-19-0057)

INSIDE REQUIRED 200' NOTIFICATION AREA

- 0 Support
- 1 Oppose

SUPPORT

OPPOSE

1. Jose Herrera, 104 Becky Lane, Waxahachie, TX 75165



(15)

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: PD-19-0057

RECEIVED
6/11/19

HERRERA JOSE
104 BECKY LN
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, June 11, 2019 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, June 17, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Maxwell Fisher, AICP, Masterplan, for a Zoning Change from a Future Development zoning district to Planned Development-Commercial, with Detailed Site Plan, located at 3502 N Highway 77 (Property ID 193323, 209693, and 151344) - Owner: LOCKWOOD PROPERTIES LLC (PD-19-0057)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: PD-19-0057

City Reference: 151339

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on Wednesday, June 5, 2019 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.

☐

SUPPORT



OPPOSE

Comments: _____

Jose Herrera
Signature

6-03-2019
Date

Jose Herrera owner
Printed Name and Title

104 Becky Ln.
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

(86)

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING A ZONING CHANGE FROM FUTURE DEVELOPMENT (FD) TO PLANNED DEVELOPMENT-COMMERCIAL (PD-C), WITH CONCEPT PLAN LOCATED AT 3502 AND 3504 NORTH HIGHWAY 77 IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING 1.145 ACRES KNOWN AS A PORTION OF PROPERTY ID 193323, 209693, AND 151344 OF THE HILLVIEW REV SUBDIVISION, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, a proper application for a PD, with Concept Plan has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number PD-19-0057. Said application, having been referred to the Planning and Zoning (P&Z) Commission for their final report, was recommended by the P&Z Commission for zoning change approval of the subject property from FD to PD-C, with Concept Plan; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said zoning amendment;

NOW, THEREFORE, this property is rezoned from FD to PD-C, with Concept Plan in order to allow for restricted commercial uses on the following property: a portion of Property ID 193323, 209693, and 151344 of the Hillview Rev. subdivision, which is shown on Exhibit A, in accordance with the Land Use Statement/Planned Development Provisions attached as Exhibit B, Site Plan attached as Exhibit C, and Landscape Plan attached as Exhibit D.

PLANNED DEVELOPMENT

Purpose and Intent

The purpose of this planned development to create a commercial development and to establish appropriate restrictions and development controls necessary to ensure predictable land development, safe and efficient vehicular and pedestrian circulation, compatible uses of land and compliance with appropriate design standards.

Development Standards

All development on land located within the boundaries of this Planned Development District shall adhere to the rules and regulations set forth in this ordinance. The locations of buildings, driveways, parking areas, amenity areas, trails, fencing, and other common areas shall substantially conform to

(86)

the locations shown on the approved Site Plan (Exhibit C).

Base Zoning

1. Any zoning, land use requirement or restriction not contained within this zoning ordinance shall conform to those requirements and/or standards prescribed in Exhibits B – Land Use Statement/Planned Development Provisions. Where regulations are not specified in Exhibit B or in this ordinance, the regulations of the Commercial (C) zoning district of the City of Waxahachie Zoning Ordinance shall apply to this development.
2. No outside storage shall be located near septic devices and spray fields.

Fencing, Walls and Screening:

1. Dedicated outdoor storage areas must be screened from public streets and residential districts with a minimum 6-foot tall solid wood fence.
2. Perimeter screening adjacent to residential districts is not required provided all outside storage is screened with a 6-foot tall solid wood fence.
3. The landscaping required for Lots 1 and 2 shall be as generally shown on the Landscape Plan.
4. Outdoor Storage, Surface Area: The surface of outdoor storage areas may consist of gravel, asphalt, or decomposed granite.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED, AND ADOPTED on this 17th day of June, 2019.

MAYOR

ATTEST:

City Secretary



Exhibit A - Location Exhibit

Exhibit B - Land Use Statement/Planned Development Provisions

(Ble)

3502 N. Highway 77 – Planned Development – Lockwood Properties, LLC

Land Use Statement

On behalf of Lockwood Properties, LLC, Masterplan requests a change of zoning from FD - Future Development to a PD - Planned Development District for Commercial Uses. The 1.145-acre area of request contains two developable parcels with Lot 1 developed with a 5,065-square foot warehouse building along with an enclosed exterior storage area on Lot 2. The property is under new ownership. The new owner, Lockwood Properties, has recently made significant financial and physical investment in improving a challenged piece of property that included eviction of the previous tenant and illegal use of the building as a residence as part of a used goods re-sale shop. Lockwood Properties has cleaned up the inside and outside of the property and painted the exterior to ready the property for more meaningful commercial activities that better serve the local community and contribute to the tax base.

The property under the current FD zoning, is severely restricted in use of the current building, and future development on Lot 2. The FD District allows very few uses, and is more of a holding designation, until more appropriate zoning can be established. There has been significant interest in purchasing the property for several commercial uses including contractors, tool rental businesses and other office showroom and warehouse prospects. The prospective buyer, Stiller Roofing and Remodeling, owns and operates a local, Waxahachie based company. The prospective buyer's business has significantly grown and Mr. Stiller would like to keep his business in Waxahachie and operate from the existing building. Once established, the prospective buyer is interested in developing the northern lot, Lot 2, with a similar 4,500-square foot office warehouse type building, leasing to a similar business or businesses.

An application for a PD was primarily chosen to allow certain commercial uses but prohibit the most objectionable ones that would not be appropriate for the corridor, or for the residents living in the vicinity. This request would better align the zoning with the type of businesses that are interested in and fit with the style and size of the property, and the prevailing uses of this section of the US Highway 77 corridor. The PD will accommodate the proposed business program, but set forth PD conditions that limit uses, govern on-site operational activities, and require detailed and landscape plans that ensure a quality and compatible development. Please refer to the enclosed exhibits for additional information.

Exhibit B - Land Use Statement/Planned Development Provisions



Proposed PD Conditions

Lockwood Properties – Waxahachie

Concept Plan: Concept Plans are not required.

Development Plan: Development on Lots 1 and 2 shall be in general conformance with Exhibit C, Detailed Plan. In the event there is a conflict between Exhibit D and the PD conditions herein, the PD conditions prevail. Expansion of a building footprint by 20% or less does not require amendment of the Detailed Site Plan. Building expansion of greater than 20%, collectively or sequentially within a 2-year time period, requires amendment of the Detailed Site Plan through the city's public hearing process. Any expansion of the building shall be reviewed by the City of Waxahachie Building Inspections and Planning Department.

Definitions:

Contractor's Office/Storage Yard: An office and storage facility for materials, equipment, tools, products, and vehicles used in the conduct of a construction-related business such as those specializing in welding, plumbing, electrical, heating/air conditioning, roofing, paving, pest control, janitorial, major appliance repair/service, masonry, carpet installation/cleaning, windows/glass (excluding automotive glass), landscaping installation/maintenance, swimming pools, fencing, and similar contractors.

Contractor's Office/Warehouse: An indoor office and storage facility for materials, equipment, tools, products, and vehicles used in the conduct of a construction-related business such as those specializing in welding, plumbing, electrical, heating/air conditioning, roofing, paving, pest control, janitorial, major appliance, repair/service, masonry, carpet installation/cleaning, windows/glass (excluding automotive glass), landscaping installation/maintenance, swimming pools, fencing and other similar contractors.

Outside Storage: The keeping, in an unenclosed or unroofed area, of any new or used goods, materials or merchandise in the same place for more than twenty-four hours.

Warehouse, Office/Showroom (Indoor): An establishment with at least fifteen percent of its total floor area devoted to office and showroom space (that is, an establishment where a maximum of eighty-five percent of its total floor area is devoted to storage and warehousing that is generally not accessible to the public). The term includes sales offices, retail or wholesale sales areas, display areas (showrooms) for products sold and distributed from the warehousing area.

Permitted Uses:

Unless specified herein, the permitted uses are those allowed in the Commercial District as provided in Section 4.03 of Article IV, Appendix A of the Waxahachie Comprehensive Zoning Ordinance:

Additionally Allowed/Clarified Uses:

Contractor's Office/Storage Yard

Contractor's Office/Warehouse

Outside Storage

Warehouse, Office/Showroom (Indoor)

(86)

Uses Allowed by Right (Instead of by SUP only):

Commercial and Retail Type Uses:

Auto Repair, Major
Outside Display
Outside Storage

Accessory, Incidental and Sign Uses:

Pole Sign – Signs existing as of May 30, 2019 are allowed to remain and be re-faced.
Monument Sign – In the event the pole sign is removed, each lot is permitted one monument sign per the sign regulations of the Code of Ordinances.
Unified Lot Sign

Prohibited Uses:

Educational, Institutional, and Special Uses:

Crematorium
Home for Aged, Residence (Assisted Living)
Institution for Alcoholic, Narcotic, or Psychiatric Patients
Juvenile Detention Center (SUP)
Rehabilitation Care Facility or Halfway House

Commercial and Retail Type Uses:

Airport
Alternative Financial Services
Ambulance Services
Bail Bond Agency
Funeral Home or Mortuary
Golf Course
Hauling, Storage or Motor Freight Terminal
Heavy Machinery and Equipment, Rental, Sales or Storage
Helistop
Massage Parlor
Motel or Hotel (less than 75 Rooms)
Railroad Freight Depot
Specialty Paraphernalia
Stables, Public
Tattoo or Body Piercing Shop
Truck Stop
Zoo, Public

Industrial and Utility Uses:

Electrical Generating Plant
Food Manufacturing or Processing Plant
Franchised Private Utility

(86)

Development Standards:

Unless specified herein, the property is subject to the development regulations of the Commercial District and those regulations of Appendix A – Zoning, as generally applicable.

Parking and Loading: Unless specified herein, consult the parking and loading requirements of Section 5.02:

Off-Street Parking Requirements:

Outside Storage: One parking space is required for each 2,500 square feet of outdoor storage space.

Contractor's Office/Storage Yard: One parking space per 300 square feet of office. One parking space per 1,000 square feet of remaining inside floor area. One parking space per 2,500 square feet of outside storage area as accessory to a contractor's building.

Contractor's Office/Warehouse: One parking space per 300 square feet of office space. One parking space per 1,000 feet of remaining area.

Remote Parking: For the purposes of parking, the entire PD is considered one lot provided that any remote parking used to comply with the minimum parking requirements is outlined by lease agreement, as outlined in Section 5.02 of the Comprehensive Zoning Ordinance.

Fencing, Walls and Screening: Unless specified herein, consult Section 5.03 for fencing, walls and screening requirements:

Dedicated outdoor storage areas must be screened from public streets and residential districts with a minimum 6-foot tall solid wood fence.

Lots 1 and 2: Perimeter screening adjacent to residential districts is not required provided all outside storage is screened with a 6-foot tall solid wood fence.

Landscape Requirements: The landscaping required for Lots 1 and 2 shall be as generally shown on the Landscape Plan, exhibit D. No additional landscaping requirements apply.

Exterior Building Elevations: For Lot 1, the exterior building elevations are as provided on exhibit C. For Lot 2, any new development must adhere to the city's exterior building material standards unless otherwise amended through the city's standard relief provisions. No new or amended Detailed Plan is required for exterior building materials.

Special Standards:

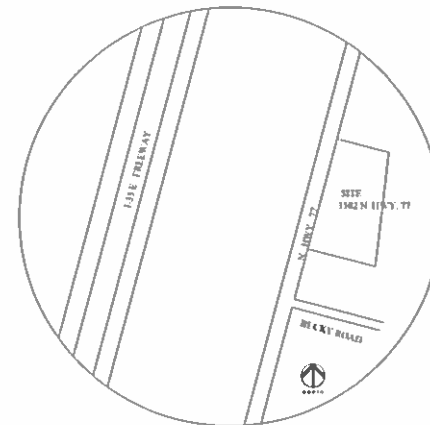
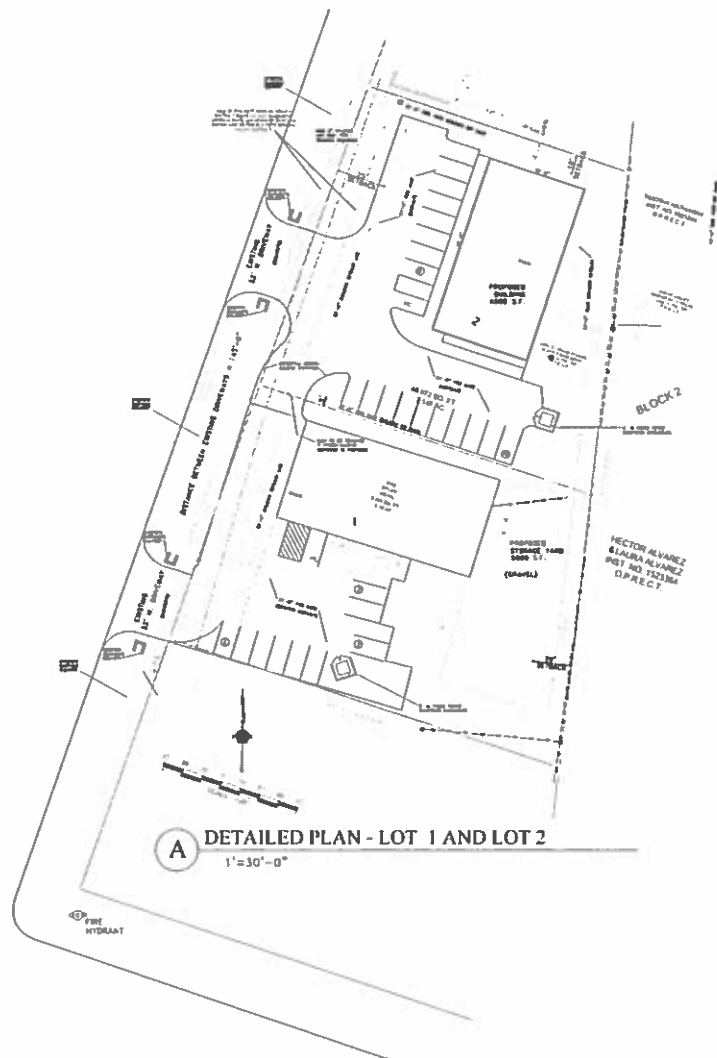
Outdoor Storage, Surface Area: The surface of outdoor storage areas may consist of gravel, asphalt, or decomposed granite.

Outdoor storage areas must be screened from public streets and residential districts with a minimum 6-foot tall solid wood fence.

(36)

Sign Provisions: The existing sign on Lot 1 may remain and be re-faced. One freestanding monument sign is permitted on Lot 2 per the city's sign regulations. In the event the existing pole sign on Lot 1 is removed, one additional monument sign is allowed on Lot 1 constructed per the city's sign regulations.

Lighting: Existing exterior lighting on Lot 1 may remain provided it complies with the city's lighting ordinance. Lot 2: Any future lighting provided must comply with the city's lighting standards.



SITE DATA - 3502 N HWY 77, WAXAHACHIE, TEXAS		
ATTRIBUTE	LOT 1	LOT 2
AREA	29,331 S.F. (.58 ACRES)	24,541 S.F. (.56 ACRES)
ZONING	PD FOR COMMERCIAL	PD FOR COMMERCIAL
PROPOSED USE	CONTRACTOR'S OFFICE WAREHOUSE AND STO.	COMMERCIAL USES TBD
BUILDING AREA (S.F.)	5065 S.F. (OFFICE - 384 S.F.)	4500 S.F. (OFFICE - TBD)
BUILDING HEIGHT	13'-0"	15'-0"
IMPERVIOUS AREA (S.F.)	16,000 S.F.	16,363 S.F.
PARKING REQUIRED	10 (2 - OFFICE; 8 WAREHOUSE; 2 - OUTDOOR STORAGE)	19 (1 - OFFICE; 4 WAREHOUSE)
PARKING PROVIDED	11	19
ADA SPACES	1	1

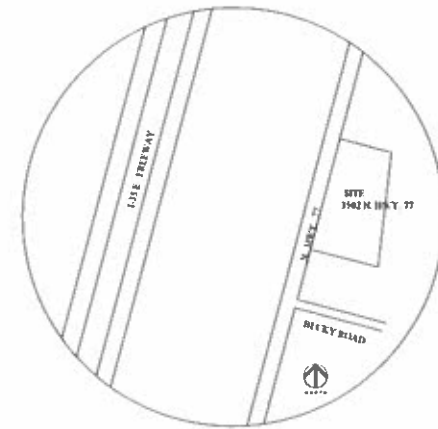
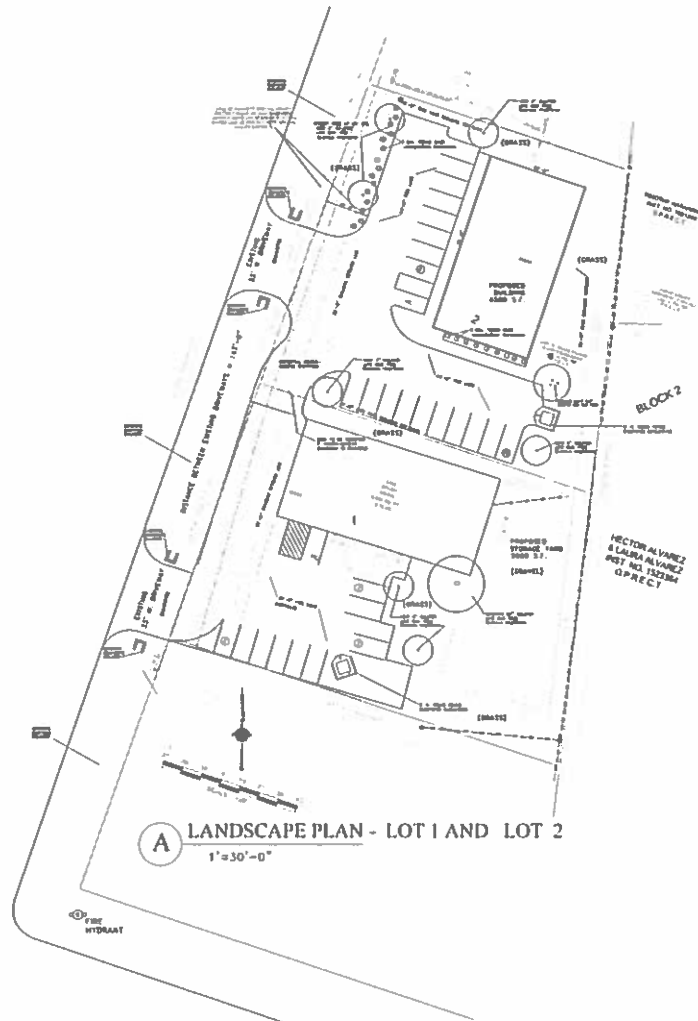
ZONING CASE NO. - PD-19-0057	
SCALE	1" = 30'-0"
NORTH	
DATE: 04/19/19	
SITE PLAN - 3502 N HWY 77, WAXAHACHIE, TEXAS	
LOT 19 B AND LOT 19 C BLOCK 2 OF HILLVIEW REV.	
AREA = 1.145 ACRES	
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS	
OWNER - TODD LOCKWOOD OF LOCKWOOD PROPERTIES LLC	
ADDRESS: 7619 CHATTINGTON, DALLAS TEXAS 75248	
PHONE: 469-805-4005	

Exhibit C - Site Plan



PROPOSED PLANNED DEVELOPMENT
3502 N. HWY. 77
WAXAHACHIE, TEXAS

C



SCALE 1" = 30'-0"			
NORTH			
DATE: 04/15/19			
LANDSCAPE DATA - 3502 N HWY 77, WAXAHACHIE, TEXAS			
ATTRIBUTE	LOT 1 CALCULATION	LOT 1 PROPOSED	LOT 2 PROPOSED
SITE LAND-SCAPE AREA	0.40 X 5065 S.F.	2,026 S.F.	1800 S.F. REQUIRED 1900 S.F. PROVIDED
SITE CANOPY TREES	1/500 S.F.	n/a: 3 PROVIDED	4
SITE UNDER-STORY TREES	1/250 S.F.	n/a	NONE REQUIRED
SITE SHRUBS	1/70 S.F.	n/a	25/25
GROUND COVER	15%	n/a	NONE REQUIRED
SEASONAL COLOR	2%	n/a	NONE REQUIRED
PARKING LOT LANDSCAPE AREA	13 S.F. / PARKING SPACE	n/a	267 S.F. REQUIRED: 1400 S.F. PROVIDED
PARKING LOT TREES	MIN. OF 2/500 S.F. (OF 80 S.F.)	3	3
PARKING LOT SHRUBS	10 SHRUBS / 500 S.F. (OF 80 S.F.)	n/a	16
STREET BUFFER AREA	15% OF STREET YARD (7500 S.F.)	n/a	>60X.10'-0" WIDE
STREET BUFFER TREES	1 CANOPY TREE PER 40 L.F.	n/a	2 REQUIRED 2 PROVIDED

ZONING CASE NO - PD-19-0057

SCALE 1" = 30'-0"	NORTH
DATE: 04/15/19	
LANDSCAPE PLAN-3502 N HWY 77, WAXAHACHIE, TEXAS	
LOT 19 B AND LOT 19 C BLOCK 2 OF HILLVIEW REV.	
AREA = 1.145 ACRES	
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS	
OWNER- TODD LOCKWOOD OF LOCKWOOD PROPERTIES LLC	
ADDRESS: 7619 CHATFIELD, DALLAS TEXAS 75248	
PHONE: 469-805-4005	

Exhibit D - Landscape Plan



5722 HORTONPORT
DALLAS, TEXAS 75230
PHONE: 214-548-4747

PROPOSED PLANNED DEVELOPMENT
3502 N. HWY.77
WAXAHACHIE, TEXAS

D

(27428)



Memorandum

To: Honorable Mayor and City Council

From: Shon Brooks, Director of Planning

Thru: Michael Scott, City Manager

Date: June 13, 2019

Re: PD-19-0066 – 512 N. College – Household Care Facility (Daniel's Den)

At the June 11, 2019 Planning and Zoning meeting, the Planning and Zoning Commission voted 6-0 to continue case no. PD-19-0066 to the June 25, 2019 Planning and Zoning Commission agenda, and the July 1, 2019 City Council meeting agenda.

(89430)



Memorandum

To: Honorable Mayor and City Council
From: Jamie Holbert, Director of Human Resources/Civil Service
Thru: Michael Scott, City Manager
Date: June 13, 2019
Re: Consider Proposals for Employee Medical and Dental Insurance for Fiscal Year 2019-20

Item Description/Action Request: (#29) Consider proposal from Blue Cross Blue Shield to provide employee major medical insurance and plan administration for Fiscal Year 2019-20; authorizing the City Manager to negotiate and execute a contract with Blue Cross Blue Shield, following review by the City Attorney.

(#30) Consider proposal from Cigna to provide employee dental insurance and plan administration for Fiscal Year 2019-20; authorizing the City Manager to negotiate and execute a contract with Cigna, following review by the City Attorney.

Item Summary: The City of Waxahachie has seen a steady increase in health insurance premiums over the past few years, including a three percent increase this year. With Council approval the City hired McGriff, Seibels & Williams, Inc. to administer the request for proposal process for benefits. The consultants successfully received favorable bids for insurance plans that enhance benefits offered to our employees while still receiving significant employer and employee cost savings.

(89430)

Requests for proposals were sent out to five different medical carriers and twenty-three different ancillary carriers, as well as, advertised on our website and in the newspaper. All five medical carriers and sixteen ancillary carriers submitted proposals. After evaluating the proposals and receiving guidance from the benefits consultant, staff recommends switching carriers on all lines of coverage to the following:

- Blue Cross Blue Shield as the new medical provider which will provide total City and employee savings of approximately \$768, 174 (21%).
- Cigna as the new dental provider will provide a total City and employee savings of approximately \$22,683 (9%).
- EyeMed as the new vision provider will provide employees an enhanced vision plan in comparison to the current plan and provide employees a total cost savings of approximately \$16,513 (61%).
- Voya as the new life insurance provider will increase the City cost by approximately \$6,346 because the City provided life insurance benefit amount increased from \$5,000 to \$25,000 per employee. However, Voya has offered a three year rate guarantee. Voya will also handle voluntary plans such as accident, critical illness, voluntary life insurance, short term disability, and long term disability.
- Flexible Spending Account will handled by Discovery Benefits at an approximate cost of \$5,940.

(31)



Memorandum

To: Mayor Hill and City Council
From: John Smith, Director of Parks and Recreation
Thru: Michael Scott, City Manager
Date: 06-17-19
Re: Spring Park Parking – Bid Award

City Management and Staff have identified the need for parking improvements at Spring Park to help manage the overcrowding and public safety concerns during heavy use as well as to upgrade the overall aesthetics and function of the park. As this project was identified as a priority from the Park Board and City Management, Staff and City Engineer(s) developed a plan and advertised for bids on March 26, 2019. The bid opening for Spring Park Parking Improvements was held on June 12, 2019.

The base bids received reflect a scope of work that includes 6,100 square yards of three inch asphalt pavement with a six inch flex base, with an alternate option for concrete pavement. The base bid also includes concrete sidewalk, pipe rail fencing, pavement striping and markings, and handicap parking. Spring Park Parking will be funded through the available Park Dedication Fund Balance (as allowed for by recent ordinance amendment).

J&K Excavation is the lowest, qualified responsive bidder with a base bid of \$327,932.96 and alternate option of \$5,002.82 for concrete pavement. James Gaertner, City Engineer, has reviewed the bids and vetted J&K's bid. J&K has worked on multiple City projects and has performed satisfactorily. Staff recommends the award of the Spring Park Parking Project to J&K Excavation for the base bid and alternate option for a total amount of \$332,935.78.

Spring Park Parking Project Bid Tabulation

Bid Date: June 12, 2019

No.	Quantity	Unit	Description	ENGINEERING DEPT		J&K EXCAVATION		WALL ENTERPRISES		RELIABLE PAVING		AXIS CONTRACTING		PAVECON	
				Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount
1	1	L.S.	Mobilization (5% Max)	\$ 20,000.00	\$ 20,000.00	\$ 13,000.00	\$ 13,000.00	\$ 20,000.00	\$ 20,000.00	\$ 20,000.00	\$ 20,000.00	\$ 25,200.00	\$ 25,200.00	\$ 26,193.35	\$ 26,193.35
2	1	L.S.	Site Preparation (5% Max)	\$ 10,000.00	\$ 10,000.00	\$ 13,000.00	\$ 13,000.00	\$ 20,000.00	\$ 20,000.00	\$ 10,000.00	\$ 10,000.00	\$ 24,221.00	\$ 24,221.00	\$ 26,222.25	\$ 26,222.25
3	6101	S.Y.	1 1/2 inch Type "D" and 3-inch Type "B" Hot Mix Asphalt Concrete Pavement Over 6-inch Flex Base	\$ 50.00	\$ 305,050.00	\$ 40.16	\$ 245,016.16	\$ 48.90	\$ 298,338.90	\$ 49.00	\$ 298,949.00	\$ 58.00	\$ 353,858.00	\$ 60.89	\$ 371,489.89
4	74	E.A.	Wheel Stops	\$ 250.00	\$ 18,500.00	\$ 65.00	\$ 4,810.00	\$ 77.00	\$ 5,698.00	\$ 80.00	\$ 5,920.00	\$ 100.00	\$ 7,400.00	\$ 98.35	\$ 7,277.90
5	156	S.Y.	Concrete Sidewalk	\$ 45.00	\$ 7,020.00	\$ 58.50	\$ 9,126.00	\$ 57.60	\$ 8,985.60	\$ 65.00	\$ 10,140.00	\$ 70.00	\$ 10,920.00	\$ 58.40	\$ 9,110.40
6	1960	L.F.	Pipe Rail Fence	\$ 20.00	\$ 39,200.00	\$ 7.00	\$ 13,720.00	\$ 24.43	\$ 47,882.80	\$ 28.00	\$ 54,880.00	\$ 32.00	\$ 62,720.00	\$ 31.15	\$ 61,054.00
7	80	L.F.	24-inch Reinforced Concrete Pipe	\$ 85.00	\$ 6,800.00	\$ 80.00	\$ 6,400.00	\$ 119.00	\$ 9,520.00	\$ 170.00	\$ 13,600.00	\$ 150.00	\$ 12,000.00	\$ 126.72	\$ 10,137.60
8	24	L.F.	24-inch Corrugated Metal Pipe	\$ 100.00	\$ 2,400.00	\$ 25.00	\$ 600.00	\$ 88.55	\$ 2,125.20	\$ 140.00	\$ 3,360.00	\$ 200.00	\$ 4,800.00	\$ 119.10	\$ 2,858.40
9	4	E.A.	TxDOT Safety End Treatment (24")	\$ 5,000.00	\$ 20,000.00	\$ 2,500.00	\$ 10,000.00	\$ 2,211.00	\$ 8,844.00	\$ 4,600.00	\$ 18,400.00	\$ 3,500.00	\$ 14,000.00	\$ 2,021.05	\$ 8,084.20
10	2810	L.F.	Pavement Striping	\$ 2.00	\$ 5,620.00	\$ 0.68	\$ 1,910.80	\$ 0.70	\$ 1,967.00	\$ 0.50	\$ 1,405.00	\$ 0.50	\$ 1,405.00	\$ 0.95	\$ 983.50
11	2	E.A.	TxDOT Arrow Pavement Marking	\$ 200.00	\$ 400.00	\$ 2,000.00	\$ 4,000.00	\$ 150.00	\$ 300.00	\$ 50.00	\$ 100.00	\$ 50.00	\$ 100.00	\$ 49.15	\$ 98.30
12	3	E.A.	Handicap Symbol w/ Blue Box	\$ 350.00	\$ 1,050.00	\$ 450.00	\$ 1,350.00	\$ 80.00	\$ 240.00	\$ 50.00	\$ 150.00	\$ 430.00	\$ 1,290.00	\$ 43.70	\$ 131.10
13	1	L.S.	Barricades, Signs, and Traffic Handling	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 3,100.00	\$ 3,100.00	\$ 10,000.00	\$ 10,000.00	\$ 9,554.00	\$ 9,554.00	\$ 5,178.20	\$ 5,178.20
SECTION 1 - TOTAL BASE BID					\$ 441,040.00		\$ 327,932.96		\$ 427,001.50		\$ 446,904.00		\$ 527,468.00		\$ 528,819.09
							\$ (99,068.54)								
No.	Quantity	Unit	Description	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount	Unit Price	Extended Amount
1	-6101	S.Y.	Deduct 1 1/2-inch Type "D" and 3-inch Type "B" Hot Mix Asphalt Concrete Pavement Over 6-inch Flex Base	\$ 50.00	\$ (305,050.00)	\$ 40.16	\$ (245,016.16)	\$ 48.90	\$ (298,338.90)	\$ 49.00	\$ (298,949.00)	\$ 58.00	\$ (353,858.00)	\$ 60.89	\$ (371,489.89)
2	6101	S.Y.	6-inch Concrete Pavement (Comp. Strength 3,600 psi) Over 6-inch Flex Base	\$ 75.00	\$ 457,575.00	\$ 40.98	\$ 250,018.98	\$ 55.35	\$ 337,690.35	\$ 56.00	\$ 341,656.00	\$ 87.00	\$ 530,787.00	\$ 81.84	\$ 499,305.84
SECTION 2 - TOTAL ALTERNATE BID					\$ 152,525.00		\$ 5,002.82		\$ 39,351.45		\$ 42,707.00		\$ 176,929.00		\$ 127,815.95
TOTAL BASE BID + ALTERNATE BID (SECTION 1 + SECTION 2)					\$ 593,565.00		\$ 332,935.78		\$ 466,352.95		\$ 489,611.00		\$ 704,397.00		\$ 656,635.04

Corrected amount

(19)

(32)



Memorandum

To: Honorable Mayor and City Council

From: Tommy Ludwig, Assistant City Manager

Thru: Michael Scott, City Manager

Date: June 14, 2019

Re: Bid Award – FM 664 24-inch Water Line Improvement Project

On Monday, June 17, 2019 a bid award associated with construction of the FM 664 24-inch Water Line Improvement Project will appear before the City Council. A total of 12 competitive bids were received on June 6, 2019 with Excel Trenching as the apparent low bidder in an amount of \$1,109,955.20. However, during the reference vetting process, Excel Trenching was unable to provide relevant work experience with water line construction projects that are 18-inches in diameter or larger. Therefore it appears that Excel Trenching does not meet the qualification for this project.

As a result, the project engineer of record, Kimley-Horn and Associates, recommends moving to the second lowest responsive bidder, Circle H Contractors, L.P. Circle H Contractors, L.P. submitted a bid of \$1,172,802.50 which was \$62,847.30 higher than Excel Trenching. However, Circle H Contractors, L.P. has experience with large pipe line installations and large diameter pipe line installation both in and outside the City of Waxahachie. The FM 664 Water Line is a planned expense for which the City budgeted \$1,235,180 in FY18-19 in the Water Operations Fund for the project. As Circle H Contractors, L.P. bid was \$62,377.50 below the project budget and have they have the required experience to perform the work, staff is recommending award to Circle H Contractors, L.P.

(32)

As a reminder, this project provides for the construction of approximately 6,100 linear feet of 24 inch diameter water line along FM 664, from the existing Elevated Storage Tank by Highway 287 Bypass and connecting to the recently installed 18-inch water line on Highway 287 Business. The line will service both the proposed Sheppard's Place and Ridge Crossing housing developments, as well as provides a loop in the western portion of the water distribution system.

I am available at your convenience should you need any additional information.

Tommy Ludwig

(32)

Kimley»Horn

June 13, 2019

Mr. James Gaertner, PE, CFM
City of Waxahachie
401 S. Rogers Street
Waxahachie, Texas 75165

Re: FM 664 24-In Water Line
KHA No. 061269730

Dear Mr. Gaertner:

On June 6, 2019, the City of Waxahachie received bids for the FM 664 24-In Water Line. The project consists of constructing approximately 6,100 LF of 24" (PVC Pipe or Ductile Iron) water line from Business 287 to the elevated storage tank on FM 664. The project also includes approximately 80 LF of other various sized PVC water line installation and several boring sections along the project. The following bid proposals were received:

<u>Bidder</u>	<u>Base Bid</u>
Excel Trenching	\$1,109,955.20
Circle H Contractors, L.P.	\$1,172,802.50
Barclays Premier Utility Service, LLC	\$1,254,728.00
Pittard Construction	\$1,352,450.00
Dowager Utility Construction, Ltd.	\$1,378,255.00
KIK Underground, LLC	\$1,391,503.00
Vilhauer Enterprises, LLC	\$1,393,645.00
Venus Construction	\$1,397,755.00
Saber Development Corporation	\$1,846,655.00
Rumsey Construction, LLC	\$2,005,597.60
Atkins Bros.	\$2,040,605.00
Condie Construction Company	\$2,093,337.30

Kimley-Horn's Opinion of Probable Construction Cost (OPCC) is \$1,780,000.

Kimley-Horn has reviewed Excel Trenching's references and previous work experience and determined the work experience was not of similar size and magnitude as the referenced project (i.e. large diameter, 18" or larger, water line work). Therefore, it appears that Excel Trenching does not meet the qualifications for this project. Kimley-Horn then verified that the second lowest bidder (Circle H Contractors, L.P.) had previous work experience of similar size and magnitude. In addition, Kimley-Horn verified Circle H Contractors', L.P. bonding company is licensed in the State of Texas.

Circle H Contractors, L.P. appears to be the lowest, qualified, responsive bidder. The contract amount will be for \$1,172,802.50. Enclosed is a copy of the bid tabulation for your reference. The contract time for the project is 180 calendar days.

Thank you for the opportunity to be of service to the City of Waxahachie. Should you have any questions or comments, please do not hesitate to contact me.

(32)

Kimley»Horn

Page 2

Sincerely,
KIMLEY-HORN AND ASSOCIATES, INC.



Misty D. Christian, P.E., CFM

K:\FTW_Roadway\081200730_Washachre_FM 854 Water Line\CCA\Bidding\ec award.docx

June 6, 2019

Mr. Michael Scott, City Manager
Waxahachie City Hall
401 S. Rogers
Waxahachie, TX 75165

Dear Mr. Scott:

Last weekend I had the wonderful opportunity to attend the Texas State Lions Club convention in your wonderful city. It is the first time I have spent any time in your city and had the delightful opportunity of exploring it at the convention center, downtown area and Gingerbread Trail Historic Home Tour. It was an absolutely delightful surprise to me and my wife and I look forward to our next outing.

Perhaps the most significant portion of our visit there was our interactions with Laurie Mosley and Monica Boyd. These two wonderful ladies have done such a great job of promoting your community and all the wonderful tourism opportunities that were available to us. Their professionalism, enthusiasm and general demeanor are an asset to you and your community. I cannot think of any better ambassadors for your community.

Laurie and Monica delivered at all levels of customer service. Their interactions with all of the Lions Club members were outstanding. They were very attentive to each and all of our needs and even went out of their way on special occasions on their own time and nickel to make sure that we enjoyed the opportunities available to us in Waxahachie. I am eternally grateful to these ladies and believe that they did deliver to Texas Lions in all manners.

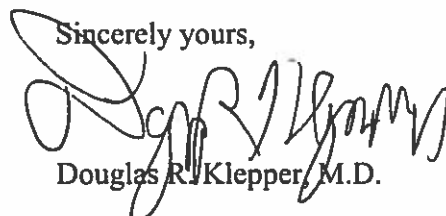
Doug Klepper, M.D.
Nawal Zeitouni, M.D.
Robert Couch, M.D.
Benjamin Wolcott, M.D.

I would like to commend them and your staff at the convention center for putting on an excellent convention. April Ortiz and her staff in your outstanding facility have set a very high bar for the Lions of Texas to meet at their next convention.

If I can provide you with any further details about my wonderful experience in Waxahachie, please contact me through Pediatric Associates of Lubbock.

7501 Quaker Avenue
Lubbock, Texas 79424
(806) 793-7257 (PALS)

Sincerely yours,



Douglas R. Klepper, M.D.

DRK:jrw

