

A G E N D A

A regular meeting of the Planning & Zoning Commission of the City of Waxahachie to be held at the Waxahachie Civic Center, 2000 Civic Center Lane, Meeting Rooms A and B, Waxahachie, Texas, on ***Tuesday, April 9, 2024 at 7:00 p.m.***

Commission Members: Rick Keeler, Chairman
 Erik Test, Vice Chairman
 Bonney Ramsey
 David Hudgins
 Ron Ansell
 Adrian Cooper
 Marlene Norcross

1. Call to Order
2. Invocation
3. ***Public Comments:*** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code. ***Speakers are requested to observe five (5) minute time limit.***
4. ***Consent Agenda***

All matters listed under Item 4, Consent Agenda, are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Planning & Zoning Commissioner to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.
 - a. Minutes of the regular Planning & Zoning Commission meeting of March 26, 2024
 - b. Consider approving a request by Cody Crannell, CCM Engineering, for a Plat of Camden Park Estates Phase 5, being 25.62 acres, located southwest of Whitewater Drive, situated in the Silas M. Durrett Survey, Abstract 272, an addition to the City of Waxahachie (Property ID 284301) – Owner: CZ OZ WAX I LLC (SUB-89-2023)
5. ***Public Hearing*** on a request by Ido Pistiner, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Planned Development Single-Family Dwelling-2 (PD-SF-2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Oanh Vu
6. ***Consider*** recommendation of ZDC-190-2023

7. **Public Hearing** on a request by Brad Yates, for a Replat of Lot 4, Block 1 of the Nora Alexander's Subdivision, to create Lots 4A and 4B, Block 1 of the Nora Alexander's Subdivision, 2 residential lots, being 0.2695 acres, located at 500 Farley Street (Property ID: 172064) – Owner: Loren Gray Investments LLC (SUB-29-2024) Staff: Zack King
8. **Consider** recommendation of SUB-29-2024
9. **Public Hearing** on a request by Joseph Flournoy, Energy Renovation Center, for a Replat of a portion of Lot C, Block 232 of the Original Town of Waxahachie, to create Lots C1 & C2, Block 232 of the Original Town of Waxahachie, 2 residential lots, being 0.418 acres, located at 103 Elder Street (Property ID 171557) – Owner: Energy Renovation Center Inc. (SUB-49-2024) Staff: Zack King
10. **Consider** recommendation of SUB-49-2024
11. **Public Hearing** on a request by Leslie Ford, Ofi Chito, for a Specific Use Permit (SUP) for a Drive-Thru use within a Light Industrial-1 (LI-1) zoning district located directly east of 150 West Butcher Road (Property ID 284633) - Owner: Crux Jefferson, LLC (ZDC-21-2024) Staff: Oanh Vu
12. **Consider** recommendation of ZDC-21-2024
13. Adjourn

The Planning and Zoning Commission reserves the right to go into Executive Session as authorized by Section 551.071(2) of the Texas Government Code, for the purpose of seeking confidential legal advice from legal counsel on any agenda item listed herein. This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4006 or (TDD) 1-800-RELAY TX

<p style="text-align: center;"><i>Notice of Potential Quorum</i> <i>One or more members of the Waxahachie City Council may be present at this meeting.</i> <i>No action will be taken by the City Council at this meeting.</i></p>

Planning and Zoning Commission
March 26, 2024

A regular meeting of the Planning & Zoning Commission of the City of Waxahachie was held at the Waxahachie Civic Center, 2000 Civic Center Lane, Meeting Rooms A and B, Waxahachie, Texas, on Tuesday, March 26, 2024 at 7:00 p.m.

Members Present: Rick Keeler, Chairman
Erik Test, Vice Chairman
Bonney Ramsey
David Hudgins
Ron Ansell
Adrian Cooper
Marlene Norcross

Others Present: Shon Brooks, Executive Director of Development Services
Jennifer Pruitt, Senior Director of Planning
Zack King, Senior Planner
Macey Martinez, City Engineer
Jami Bonner, Assistant City Secretary
Chris Wright, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Public Comments**

None.

4. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of March 12, 2024
- b. Consider approving a request by Martin Holland, for a Replat of a portion of Lot 10, Block 3, of the Trinity Heights Addition, to create Lot 10R, Block 3, of the Trinity Heights Addition, 1 residential lot, being 0.4034 acres, located at 111 Virginia Avenue, (Property ID 176013) – Owner: Martin Holland & Katie Holland (SUB-47-2023)

Action:

Bonney Ramsey moved to approve all items on the Consent Agenda as presented. Motion was seconded by Erik Test and carried unanimously (7-0).

5. **Public Hearing on a request by Brad Yates, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Single-Family Dwelling-3 (SF-3) zoning district located at 804 Dunaway Street (Property ID 172305) - Owner: Graily Holdings, LLC (ZDC-30-2024) Staff: Oanh Vu**

The Item was presented by Senior Director of Planning Jennifer Pruitt and applicant Brad Yates requested approval of the Specific Use Permit.

Ms. Pruitt noted eight letters of support were received, with four letters being inside the 200' buffer.

Chairman Keeler opened the Public Hearing at approximately 7:12 p.m.

There being no others to speak for or against ZDC-30-2024, Chairman Keeler closed the Public Hearing at approximately 7:12 p.m.

6. Consider recommendation of Zoning Change No. ZDC-30-2024

Action:

Erik Test moved to recommend approval with conditions of ZDC-30-2024, a Specific Use Permit (SUP) for a Short-Term Rental use, subject to the conditions of the staff report, authorizing the City Manager and/or Mayor to execute all documents accordingly. Motion was seconded by David Hudgins and carried unanimously (7-0).

7. Public Hearing on a request by Robin Bean, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Commercial (C) zoning district located at 404 West Jefferson Street (Property ID 170504) - Owner: Robin Bean (ZDC-34-2024) Staff: Oanh Vu

The Item was presented by Ms. Pruitt and applicant Robin Bean requested approval of the Specific Use Permit.

Ms. Pruitt noted thirteen letters of support were received, with five letters inside the 200' buffer.

Chairman Keeler opened the Public Hearing at approximately 7:21 p.m.

There being no others to speak for or against ZDC-34-2024, Chairman Keeler closed the Public Hearing at approximately 7:21 p.m.

8. Consider recommendation of Zoning Change No. ZDC-34-2024

Action:

Bonney Ramsey moved to recommend approval with conditions of ZDC-34-2024, a Specific Use Permit (SUP) for a Short-Term Rental use, subject to the conditions of the staff report, authorizing the City Manager and/or Mayor to execute all documents accordingly. Motion was seconded by Ron Ansell and carried unanimously (7-0).

9. Public Hearing on a request by Asher Oren, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Planned Development-43 Single-Family Dwelling-3 (PD-43-SF-3) zoning district located at 215 Nottingham Drive (Property ID 220875) - Owner: Nottingham Estates, LLC (ZDC-15-2024) Staff: Oanh Vu

Ms. Pruitt presented the Item and applicant Asher Oren requested approval of the Specific Use Permit.

Ms. Pruitt noted nineteen letters of opposition were received by staff, with six letters being inside the 200' buffer.

Asher Oren, 1410 Midway Road, Dallas, Texas, addressed concerns including parking, renter screening processes, house rules, and rental agreements. Mr. Oren noted his business manages approximately 200 single family homes across Dallas Fort Worth and he specializes in corporate housing.

Clara Donte, Owner of 215 Nottingham Drive, shared the procedures and protocols for operating a safe short-term rental and noted the typical reasons renters utilize short term rentals.

Chairman Keeler opened the Public Hearing at approximately 7:43 p.m.

Those who spoke in favor:

Stacy Howell, 127 Jason Dr., Red Oak, Texas

Those who spoke in opposition:

Theresa Panza, 213 Santa Fe Trail, Waxahachie, Texas

There being no others to speak for or against ZDC-15-2024, Chairman Keeler closed the Public Hearing at approximately 7:53 p.m.

10. Consider recommendation of Zoning Change No. ZDC-15-2024

Action:

Erik Test moved to recommend approval with conditions of ZDC-15-2024, a Specific Use Permit (SUP) for a Short-Term Rental use, subject to the conditions of the staff report, authorizing the City Manager and/or Mayor to execute all documents accordingly. Motion was seconded by Ron Ansell and carried 6-1 with Marlene Norcross voting in opposition.

11. Public Hearing on a request by Asher Oren, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Planned Development Single-Family Dwelling-1 (PD-SF-1) zoning district located at 213 Nocona Drive (Property ID 221855) - Owner: CTO Estates, LLC (ZDC-18-2024) Staff: Oanh Vu

Ms. Pruitt presented the Item and applicant Asher Oren requested approval of the Specific Use Permit.

Ms. Pruitt noted 23 letters of opposition were received by staff, with four letters being inside the 200' buffer.

Clara Donte, Owner of 213 Nocona Drive, recognized the citizens' concerns and reiterated the short-term rental at 213 Nocona Drive has not received complaints of nuisance.

Chairman Keeler opened the Public Hearing at approximately 7:58 p.m.

Those who spoke in opposition:

Belinda Douglas, 211 Nocona Drive, Waxahachie, Texas
Robert Franks, 217 Nocona Drive, Waxahachie, Texas
Dave Jacobs, 216 Sendero Drive, Waxahachie, Texas
Jonathan Moor, 205 Nocona Drive, Waxahachie, Texas
Mark Hunter, 325 Osage Drive, Waxahachie, Texas
Heather Cobb, 104 Brandy Lane, Waxahachie, Texas
Jiri Moor, 205 Nocona Drive, Waxahachie, Texas
Shawna McGrady, 227 Nocona Drive, Waxahachie, Texas
Bob De La Torre, 227 Nocona Drive, Waxahachie, Texas
Barbara Jacobs, 216 Sendero Drive, Waxahachie, Texas
Heather Venom, Givens Street, Waxahachie, Texas

Dean Sotomayor, 605 Brookside, Waxahachie, Texas, encouraged citizens to research the business side of short-term rentals and the extensive measures taken to provide an attractive short-term rental for the community and potential renters.

There being no others to speak for or against ZDC-18-2024, Chairman Keeler closed the Public Hearing at approximately 8:55 p.m.

12. Consider recommendation of Zoning Change No. ZDC-18-2024

Action:

Erik Test moved to recommend approval with conditions of ZDC-18-2024, a Specific Use Permit (SUP) for a Short-Term Rental use, subject to the conditions of the staff report, authorizing the City Manager and/or Mayor to execute all documents accordingly. Motion was seconded by Rick Keeler and failed (3-4) with Adrian Cooper, Ron Ansell, David Hudgins, and Marlene Norcross voting in opposition.

13. Public Hearing on a request by Asher Oren, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Single-Family Dwelling-2 (SF-2) zoning district located at 105 Brandy Lane (Property ID 175032) - Owner: Gavriel Taub (ZDC-19-2024) Staff: Oanh Vu

Ms. Pruitt presented the Item and applicant Asher Oren requested approval of the Specific Use Permit.

Ms. Pruitt noted 20 letters of opposition were received by staff, with five letters being inside the 200' buffer.

Chairman Keeler opened the Public Hearing at approximately 9:01 p.m.

Those who spoke in favor:

Stacy Howell, 127 Jason Dr., Red Oak, Texas

Those who spoke in opposition:

Cathy Morrill, 209 Johnston Boulevard, Waxahachie, Texas
Heather Cobb, 104 Brandy Lane, Waxahachie, Texas
Randy Dickson, 207 Johnston Boulevard, Waxahachie, Texas
Dee Clemens, 400 Johnston Boulevard, Waxahachie, Texas

There being no others to speak for or against ZDC-19-2024, Chairman Keeler closed the Public Hearing at approximately 9:37 p.m.

14. Consider recommendation of Zoning Change No. ZDC-19-2024

Action:

Marlene Norcross moved to recommend denial of ZDC-19-2024, a Specific Use Permit (SUP) for a Short-Term Rental use. Motion was seconded by Adrian Cooper and carried 4-3 with Rick Keeler, Erik Test, and David Hudgins voting in opposition.

15. Public Hearing on a request by Chad Adams, for a Zoning Change from a Future Development (FD) and Planned Development-Single Family-1 (PD-SF-1) zoning district to a Planned Development – Single Family – 1 (PD-SF-1) zoning district (Hightower), located directly north of 143 Lakeshore Drive (Property ID 182009) - Owner: Todd Laurie L & Wesley M Hightower Etal (ZDC-128-2022) Staff: Zack King

The Item was presented by Senior Planner Zack King and applicant Chad Adams requested approval of the zoning change.

Chairman Keeler opened the Public Hearing at approximately 10:02 p.m.

Those who spoke in opposition:

Sidney Cochran, 203 Lakeshore Drive, Waxahachie, Texas
Jeff Frost, 137 Lakeshore Drive, Waxahachie, Texas
Mary Lou Shipley, 209 Lakeshore Drive, Waxahachie, Texas
Katy Warsing, 313 Lakeshore Drive, Waxahachie, Texas
Jim Lawton, 135 Lakeshore Drive, Waxahachie, Texas
Jeffrey Smith, 117 Lakeshore Drive, Waxahachie, Texas
Brian Burks, 135 Lakeshore Drive, Waxahachie, Texas
Jack Scott, 216 Lakeshore Drive, Waxahachie, Texas
Rob Drolet, 128 Lakeshore Drive, Waxahachie, Texas
Tommy Bowman, 207 Lakeshore Drive, Waxahachie, Texas
Charlie Sennes, 3240 Howard Road, Waxahachie, Texas

16. Consider recommendation of Zoning Change No. ZDC-128-2022

Action:

Erik Test moved to continue the public hearing for ZDC-128-2022 to the April 23, 2024 Planning & Zoning Commission meeting. Motion was seconded by Adrian Cooper and carried unanimously (7-0).

17. Adjourn

There being no further business, the meeting adjourned at 11:48 p.m.

Respectfully submitted,

Jami Bonner
Assistant City Secretary

Planning & Zoning Department

Plat Staff Report

Case: SUB-89-2023



MEETING DATE(S)

Planning & Zoning Commission: April 9, 2023

CAPTION

Consider approving a request by Cody Crannell, CCM Engineering, for a **Plat** of Camden Park Estates Phase 5, being 25.62 acres, located southwest of Whitewater Drive, situated in the Silas M. Durrett Survey, Abstract 272, an addition to the City of Waxahachie (Property ID 284301) – Owner: CZ OZ WAX I LLC (SUB-89-2023) Staff: Zack King

RECOMMENDED MOTION

"I move to approve SUB-89-2023, a Plat of Camden Park Estates, Phase 5, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."

APPLICANT REQUEST

The applicant requests to plat the property for development of Phase 5 of the Camden Park Estates subdivision.

CASE INFORMATION

Applicant: Cody Crannell, CCM Engineering

Property Owner(s): CZ OZ WAX I LLC

Site Acreage: 25.62 acres

Number of Lots: 135 lots

Number of Dwelling Units: 131 units

Park Land Dedication: The applicant proposes to plat a total of 1.23 acres of open space lots in order to meet the park land requirement of the Planned Development zoning for the property.

Adequate Public Facilities: Adequate public facilities are available to the subject property.

SUBJECT PROPERTY

General Location: Southwest of Whitewater Drive

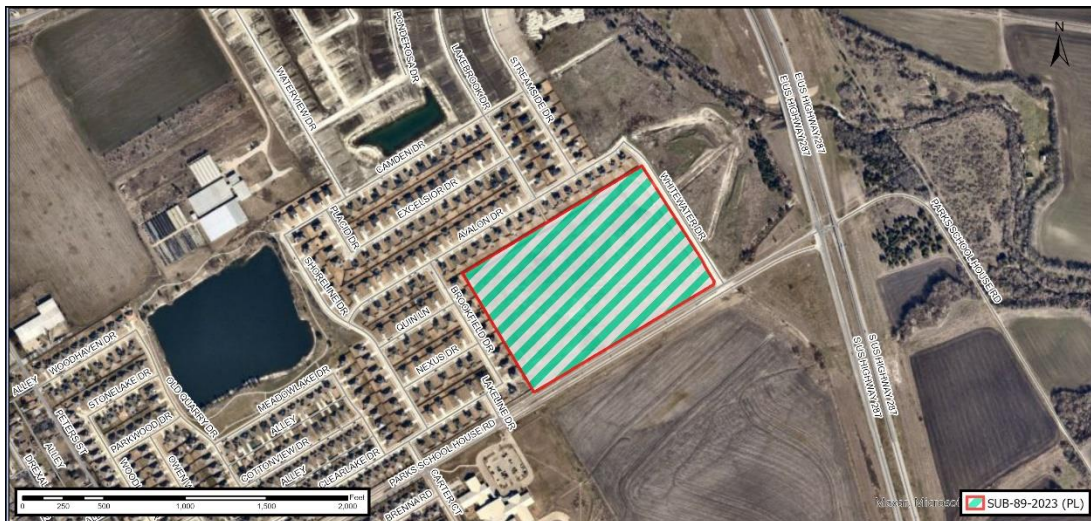
Parcel ID Number(s): 284301

Current Zoning: Planned Development (PD) – Ordinance 3000

Existing Use: The subject property is currently undeveloped.

Platting History: The subject property is not currently platted.

Site Aerial:



PLANNING ANALYSIS

The applicant proposes to plat the subject property for development of Phase 5 of the Camden Park Estates subdivision. Phase 5 of Camden Park Estates is proposed to include 131 single family residential lots and 4 open space lots. Each proposed residential lot is a minimum of 5,000 square feet in size, per the requirements of the Planned Development (PD) zoning for the property. The layout proposed plat adheres to the requirements Planned Development (Ord. 3000) approved for the subject property.

As part of the review of the plat application, staff has verified that the proposed plat adheres to the technical requirements of the Waxahachie Subdivision Ordinance. As such, there are no conditions of approval that the applicant needs to address prior plat filing.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the Plat request.

ATTACHED EXHIBITS

1. Plat

APPLICANT REQUIREMENTS

1. If approved by the Planning & Zoning Commission, within 30 days the applicant shall provide the Planning Department five (5) 18"x24" signed and notarized physical copies of the plat.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King, AICP

Senior Planner

zking@waxahachie.com

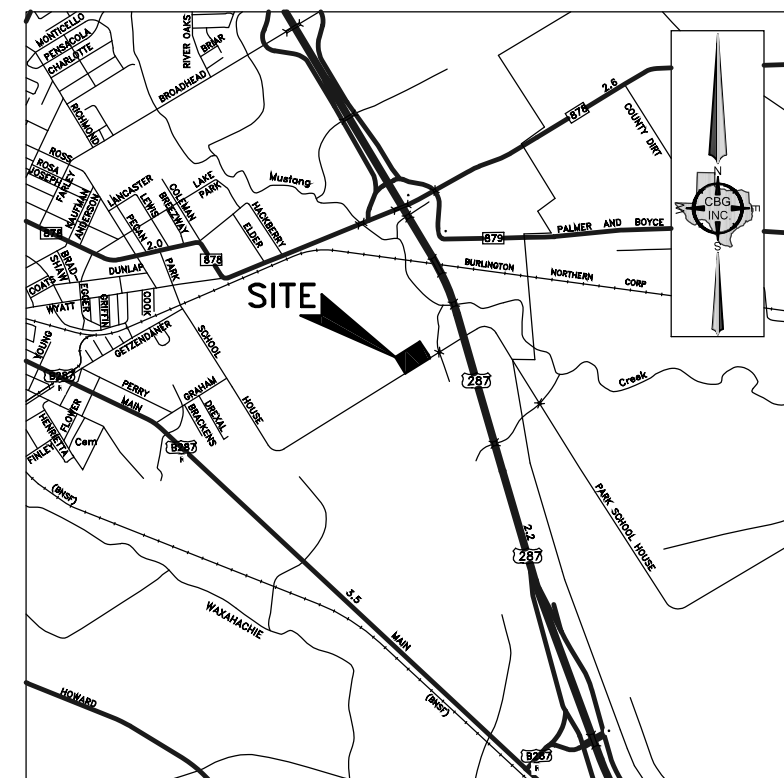
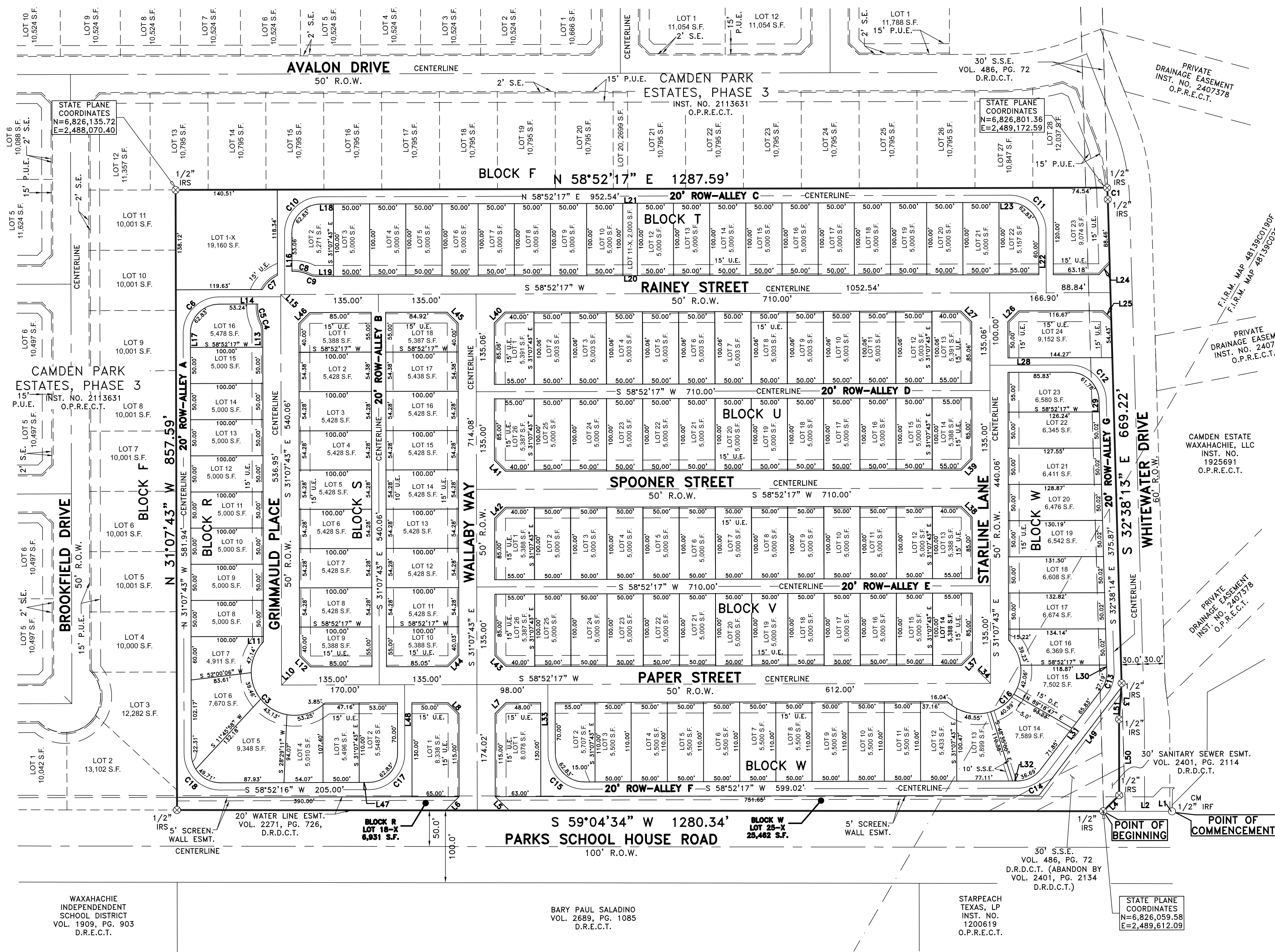
Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

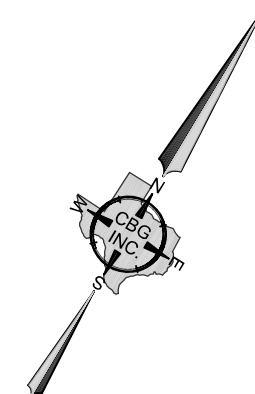
Senior Director of Planning

jennifer.pruitt@waxahachie.com

(Item 4.b)



VICINITY MAP
NOT TO SCALE



100' 50' 0 100' 200'

SCALE: 1" = 100'

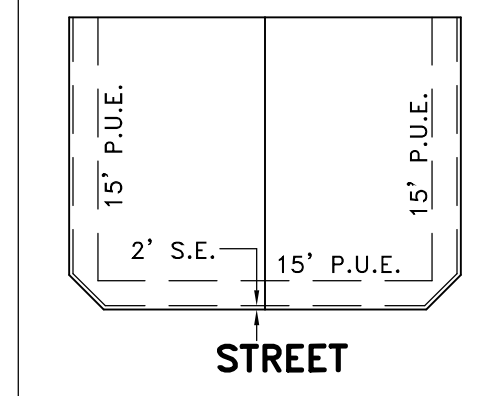
GENERAL NOTES

- 1) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 (2011).
- 2) THE PURPOSE OF THIS PLAT IS TO CREATE 131 RESIDENTIAL LOTS AND 4 OPEN SPACE "X" LOTS.
- 3) IT IS THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL OPEN SPACE "X" LOTS IN THIS SUBDIVISION.
- 4) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 5) THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
- 6) ACCORDING TO THE F.I.R.M. NO. 48139C0190F & 48139C0200F, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
- 7) THE HOA SHALL MAINTAIN THE LANDSCAPING IN THE WHITEWATER DRIVE.
- 8) FENCES, SCREENING WALLS & RETAINING WALLS SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS.

LEGEND

R.P.R.E.C.T. = REAL PROPERTY RECORDS,
ELLIS COUNTY, TEXAS
CM = CONTROLLING MONUMENT
R.O.W. = RIGHT-OF-WAY
SQ. FT. = SQUARE FEET
B.L. = BUILDING LINE
P.U.E. = PUBLIC UTILITY EASEMENT
S.E. = SIDEWALK EASEMENT
S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
VOL., PG. = VOLUME, PAGE
1/2" IRF = 1/2 INCH IRON ROD FOUND
1/2 IRS = 1/2 INCH IRON ROD SET WITH A
PLASTIC YELLOW CAP STAMPED
"CBG SURVEYING"

TYPICAL EASEMENTS



OWNER: CZ OZ WAX 1 LLC
12801 N CENTRAL EXP.# 1650
DALLAS, TEXAS 75243

PLAT
CAMDEN PARK ESTATES, PHASE 5
 25.62 ACRES
 SITUATED IN THE SILAS M. DURRETT SURVEY, ABSTRACT NO.
 272, CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS
 ZONING: PD ORD. NO. 3000
 131 RESIDENTIAL LOTS AND 4 OPEN SPACE LOT
 CASE NO. SUB-89-2023



PLANNING & SURVEYING
Main Office
1413 East I-30, Ste. 7
Garland, TX 75043
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbqtxllc.com

SCALE: 1"=100' / DATE: 01-22-24 / JOB NO. 1712830-4 / DRAWN BY: WTH / SHEET 1 OF 3

(Item 4.b)

Line Table		
Line #	Direction	Length
L1	N59°04'34"E	2.95'
L2	N59°04'34"E	92.11'
L3	S26°55'31"E	50.12'
L4	S13°52'17"W	31.27'
L5	N76°07'44"W	27.12'
L6	N13°52'16"E	26.67'
L7	N13°52'16"E	21.21'
L8	S76°07'44"E	21.21'
L10	S13°52'16"W	25.46'
L11	S31°07'43"E	7.32'
L12	N76°07'44"W	21.22'
L13	S31°07'43"E	24.38'
L14	N58°52'17"E	85.00'
L15	N76°07'44"W	25.46'
L16	N31°07'44"W	85.00'
L17	N31°07'44"W	19.78'
L18	N58°52'16"E	17.54'

Line Table		
Line #	Direction	Length
L19	S58°52'17"W	24.54'
L20	S58°52'17"W	20.00'
L21	N58°52'17"E	20.00'
L22	S31°07'44"E	85.00'
L23	N58°52'17"E	15.00'
L24	N12°21'46"E	21.22'
L25	N77°38'14"W	15.39'
L26	N13°52'16"E	21.21'
L27	N76°07'44"W	21.21'
L28	N58°52'17"E	110.83'
L29	S32°38'14"E	16.06'
L30	S32°38'14"E	9.69'
L31	S06°18'35"W	137.68'
L32	S58°52'17"W	6.92'
L33	N31°07'44"W	95.00'
L34	S76°07'44"E	25.46'

Line Table		
Line #	Direction	Length
L37	S13°52'16"W	21.21'
L38	S76°07'44"E	21.21'
L39	S13°52'16"W	21.22'
L40	S13°52'16"W	21.21'
L41	N76°07'44"W	21.22'
L42	N13°52'16"E	21.21'
L43	N76°07'44"W	21.22'
L44	N13°48'59"E	21.16'
L45	N76°17'24"W	21.27'
L46	N13°52'16"E	21.21'
L47	S58°52'17"W	13.00'
L48	S31°07'44"E	95.00'
L49	S06°18'35"W	187.58'
L50	S31°07'43"E	104.90'
L51	S26°55'26"E	44.16'

Curve Table					
Curve #	Radius	Length	Delta	Chord Bearing	Chord Length
C1	270.00'	16.21'	3°26'24"	N34°21'25"W	16.21'
C3	60.00'	186.86'	178°26'24"	S76°07'44"E	119.99'
C4	20.00'	9.02'	25°50'31"	N44°02'59"W	8.94'
C5	50.00'	27.44'	31°26'55"	S41°14'47"E	27.10'
C6	50.00'	78.54'	90°00'00"	S13°52'16"W	70.71'
C7	50.00'	29.17'	33°25'24"	S15°25'51"W	28.76'
C8	50.00'	25.04'	28°41'40"	S70°21'57"W	24.78'
C9	20.00'	9.02'	25°50'31"	N71°47'32"E	8.94'
C10	50.00'	78.54'	90°00'00"	S13°52'16"W	70.71'
C11	50.00'	78.54'	90°00'00"	N76°07'44"W	70.71'
C12	50.00'	77.22'	88°29'30"	N76°52'59"W	69.77'
C13	50.00'	33.99'	38°56'48"	N13°09'50"W	33.34'
C14	50.00'	45.87'	52°33'42"	N32°35'25"E	44.28'
C15	50.00'	78.54'	90°00'00"	S76°07'44"E	70.71'
C16	60.00'	186.86'	178°26'24"	N13°52'16"E	119.99'
C17	50.00'	78.54'	90°00'00"	N13°52'16"E	70.71'
C18	50.00'	78.54'	90°00'00"	S76°07'44"E	70.71'

GENERAL NOTES

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- 8) FENCES, SCREENING WALLS & RETAINING WALLS SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS.

LEGEND

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- CM = CONTROLLING MONUMENT
- R.O.W. = RIGHT-OF-WAY
- SQ. FT. = SQUARE FEET
- B.L. = BUILDING LINE
- P.U.E. = PUBLIC UTILITY EASEMENT
- S.E. = SIDEWALK EASEMENT
- VOL., PG. = VOLUME, PAGE
- 1/2" IRF = 1/2 INCH IRON ROD FOUND
- 1/2 IRS = 1/2 INCH IRON ROD SET WITH A
- PLASTIC YELLOW CAP STAMPED
- "CBG SURVEYING"

PLAT
CAMDEN PARK ESTATES, PHASE 5
25.62 ACRES
SITUATED IN THE SILAS M. DURRETT SURVEY, ABSTRACT NO. 272, CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS
ZONING: PD ORD. NO. 3000
130 RESIDENTIAL LOTS AND 1 OPEN SPACE LOT
CASE NO. SUB-89-2023



CBG
SURVEYING TEXAS LLC
PROFESSIONAL LAND SURVEYORS
DFW - Houston - East Texas - Austin - San Antonio

PLANNING & SURVEYING
Main Office
1413 East I-30, Ste. 7
Garland, TX 75043
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com

OWNER: CZ OZ WAX 1 LLC
12801 N CENTRAL EXP.# 1650
DALLAS, TEXAS 75243

OWNER’S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, CZ OZ Wax 1, LLC, a Delaware Limited Liability Company, Cyrus Akhavizadeh acting by and through its duly authorized officer, does hereby adopt this plat, designating the herein described property as CAMDEN PARK ESTATES, PHASE 5, an addition to the City of Waxahachie, Ellis County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Waxahachie.

WITNESS, my hand at Waxahachie, Texas, this the _____ day of _____, 2024.

CZ OZ Wax 1, LLC a Delaware Limited Liability Company

BY: _____
Cyrus Akhavizadeh (CEO)

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME, the undersigned, a Notary Public in and for said County and State on this day appears Cyrus Akhavizadeh known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2024.

Notary Public in and for Ellis County, Texas.

SURVEYOR’S STATEMENT:

I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated this the_____ day of _____, 2024.

RELEASED FOR REVIEW 03/08/2024 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Bryan Connally
Texas Registered Professional Land Surveyor No. 5513

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Bryan Connally known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2024.

Notary Public in and for the State of Texas

GENERAL NOTES

- 1) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 (2011).
- 2) THE PURPOSE OF THIS PLAT IS TO CREATE 131 RESIDENTIAL LOTS AND 4 OPEN SPACE "X" LOTS.
- 3) IT IS THE RESPONSIBILITY OF THE HOA TO MAINTAIN ALL OPEN SPACE "X" LOTS IN THIS SUBDIVISION.
- 4) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 5) THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
- 6) ACCORDING TO THE F.I.R.M. NO. 48139C0190F & 48139C0200F, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
- 7) THE HOA SHALL MAINTAIN THE LANDSCAPING IN THE WHITEWATER DRIVE.
- 8) FENCES, SCREENING WALLS & RETAINING WALLS SHALL NOT BE LOCATED WITHIN UTILITY EASEMENTS.

(Item 4.b)

Being 1,116,183 square feet out of a tract of land situated in the Silas M. Duritt Survey, Abstract No. 272, Ellis County, Texas, and being a portion of that tract of land conveyed to CZ OZ Wax 1, LLC, a Delaware limited liability company by General Warranty Deed (Vendor’s Lien), recorded in Instrument No. 2300944, Deed Records, Ellis County, Texas, and being more particularly described as follows:

COMMENCING from a 1/2 inch iron rod found at the intersection of the Northwest Right-of-Way line of Parks School House Road (100 foot Right-of-Way), and the Westerly Right-of-Way line of Highway 287 (variable width Right-of-Way);

THENCE South 59 degrees 04 minutes 34 seconds West, along said Northwest Right-of-Way line of Parks School House Road, a distance of 92.11 feet to a 1/2 inch iron rod set with plastic yellow cap stamped “CBG Surveying” for corner, and being the POINT OF BEGINNING;

THENCE South 59 degrees 04 minutes 34 seconds West, continuing along said Northwest right-of-way line of Parks School House Road, a distance of 1,280.34 feet to a 1/2 inch iron rod set with plastic yellow cap stamped “CBG Surveying” for corner;

THENCE leaving said Northwest right-of-way line of Parks School House Road and traversing through said Camden Estate Waxahachie, LLC tract as follows:

North 31 degrees 07 minutes 43 seconds West, a distance of 857.59 feet to a 1/2 inch iron rod set with plastic yellow cap stamped “CBG Surveying” for corner;

North 58 degrees 52 minutes 17 seconds East, a distance of 1,287.59 feet to a 1/2 inch iron rod set with plastic yellow cap stamped "CBG Surveying" for corner, said corner being the beginning of a curve to the right with a radius of 270.00 feet, a delta of 03 degrees 26 minutes 24 seconds and a chord bearing and distance of South 34 degrees 21 minutes 25 seconds East, 16.21 feet;

Southerly along said curve to the right, an arc length of 16.21 feet to a 1/2 inch iron rod set with plastic yellow cap stamped “CBG Surveying” for corner;

South 32 degrees 38 minutes 13 seconds East, a distance of 669.22 feet to a 1/2 inch iron rod set with plastic yellow cap stamped “CBG Surveying” for corner;

South 26 degrees 55 minutes 31 seconds East, a distance of 50.12 feet to a 1/2 inch iron rod set with plastic yellow cap stamped "CBG Surveying" for corner;

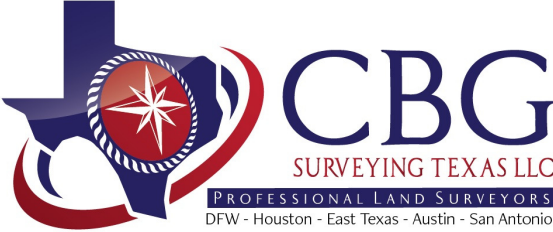
South 31 degrees 07 minutes 43 seconds East, a distance of 104.90 feet to a 1/2 inch iron rod set with plastic yellow cap stamped "CBG Surveying" for corner;

South 13 degrees 52 minutes 17 seconds West, a distance of 31.27 feet to the POINT OF BEGINNING and containing 1,116,183 square feet or 25.62 acres of land.

LEGEND

R.P.R.E.C.T. = REAL PROPERTY RECORDS,
ELLIS COUNTY, TEXAS
CM = CONTROLLING MONUMENT
R.O.W. = RIGHT-OF-WAY
SQ. FT. = SQUARE FEET
B.L. = BUILDING LINE
P.U.E. = PUBLIC UTILITY EASEMENT
S.E. = SIDEWALK EASEMENT
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1/2” IRF = 1/2 INCH IRON ROD FOUND
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131 RESIDENTIAL LOTS AND 4 OPEN SPACE LOT
CASE NO. SUB-89-2023



PLANNING & SURVEYING
Main Office
1413 East I-30, Ste. 7
Garland, TX 75043
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com

OWNER: CZ OZ WAX 1 LLC
12801 N CENTRAL EXP.# 1650
DALLAS, TEXAS 75243

SCALE: 1"=100' / DATE: 01-22-24 / JOB NO. 1712830-4 / DRAWN BY: WTH / SHEET 3 OF 3

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-190-2023



MEETING DATE(S)

Planning & Zoning Commission:

April 9, 2024

City Council:

April 15, 2024

CAPTION

Public Hearing on a request by Ido Pistiner, for a **Specific Use Permit (SUP)** for Short-Term Rental use within a Planned Development Single-Family -2 (PD-SF-2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Oanh Vu

RECOMMENDED MOTIONS

- "I move to recommend denial of ZDC-19-2024, a Specific Use Permit (SUP) for a Short-Term Rental use."
- "I move to recommend approval with conditions of ZDC-19-2024, a Specific Use Permit (SUP) for a Short-Term Rental use, subject to the conditions the staff report, authorizing the City Manager and/or Mayor to execute all documents accordingly."

ACTION SINCE INITIAL STAFF REPORT

On February 27, 2024, at the Planning and Zoning Commission meeting ZDC-190-203 was presented and a denial motion was made with a 2-2 vote. A 2-2 vote results in **no action being taken**, regardless of whether it was a motion to approve, which failed 2-2, or a motion to deny, which similarly failed 2-2.

Under Section 2.04(f)(ii) of the Zoning Ordinance, P&Z prepares a recommendation to the City Council. A recommendation requires an affirmative vote one way or the other; a tie vote is no action taken. Since P&Z took no action, the matter stays at P&Z until such time as the P&Z votes one way or the other.

APPLICANT REQUEST

The Applicant is requesting a specific use permit for a short-term rental use at 462 Wintergreen Drive.

CASE INFORMATION

Applicant:

Ido Pistiner

Property Owner(s):

Ido Pistiner

Site Acreage:

0.2 acres

Current Zoning:

Planned Development – Single-Family Dwelling 2 (PD-SF-2)

Requested Zoning:

PD-SF-2 with a specific use permit (SUP) for a Short-Term Rental

SUBJECT PROPERTY

General Location: 462 Wintergreen Drive

Parcel ID Number(s): 265831

Existing Use: Residential use, existing STR

Development History: A plat for the subject property was recorded in 2016

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	PD-SF-2	Residential use
East	PD-SF-2	Residential use
South	PD-SF-2	Residential use
West	PD-SF-2	Residential use

Site Image:**PLANNING ANALYSIS**

During the City Council meeting held on October 16, 2023, Councilmembers approved an ordinance to allow the use of a short-term rental for residential-use properties in all zoning districts with an approved SUP with the exception of the Central Area (CA) zoning district. All residential-use properties located within the Central Area (CA) zoning district are allowed to operate a short-term rental by right without seeking the approval of a SUP.

The Applicant is requesting a SUP for a short-term rental at 462 Wintergreen Drive because it is located within the PD-SF-2 zoning district. The subject property consists of a primary structure of approximately 3,209 square feet with five (5) bedrooms, a pool, an accessory structure of approximately 110 square feet, and enough improved surface to accommodate for the maximum parking spaces of five (5) vehicles, situated on an approximately 0.2 acres (8,700 square feet) lot. The applicant has been operating a short-term rental since approximately October 2023. The applicant has satisfied all of the requirements of Section 3.27 of the Zoning Ordinance. At the time of the publishing of this staff report, the City has received no complaints regarding any issues that are considered a nuisance.

During the planning analysis, staff inquired with the Waxahachie Police Department and discovered no nuisance-related calls had been made regarding the subject property and its current use in the past 12 months.

The local emergency contact provided by the applicant is Javier Naranjo (214) 253-3592, 610 Green Mound Drive, Glenn Heights, TX. 75154, Pondviewllc4@gmail.com, located 11.6 miles from the subject property.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 99 notices were mailed to property owners within 500 feet of the as required in Section 3.27 of the City's Zoning Ordinance. In addition, a notice was published in the Waxahachie Sun, and a sign was visibly posted at the property. At the time of the publishing of this staff report, a total of eighteen (18) letters in opposition have been received by staff, with six (6) letters being inside the 200' buffer and the remainder outside the 200' buffer.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents associated with the request, if considering a recommendation for approval:

Conditions:

1. The short-term rental operator shall complete the STR registration process and pay the annual and a renewal fee set by Ordinance No. 3415, or as amended.
2. The short-term rental operator shall register for a Hotel Occupancy Tax account.
3. The short-term rental operator is subject to a maximum occupancy of ten (10) guests per stay.
4. The short-term rental operator is subject to provide a maximum of five (5) off-street parking spaces.
5. The short-term rental operator must adhere to all regulations in Section 3.27 of the City's Zoning Ordinance.

ATTACHED EXHIBITS

1. Property Owner Notification Responses
2. Location Map (Exhibit A)
3. Zoning Map (Exhibit B)
4. Floorplan (Exhibit C)
5. Survey (Exhibit D)
6. Host Rules (Exhibit E)

APPLICANT REQUIREMENTS

If approved by City Council, the Applicant can register their short-term rental and register for a hotel occupancy tax account, starting May 2024.

STAFF CONTACT INFORMATION

Prepared by:

Oanh Vu

Senior Planner

oanh.vu@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023



LANSING RACHEL G & PATRICK J
1114 WHEATLAND TERRACE
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Ido Pistiner, for a **Specific Use Permit (SUP)** for a **Short-Term Rental** use within a Planned Development Single-Family Dwelling-2 (PD-SF-2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Oanh Vu

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-190-2023

City Reference: 268908

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *February 7, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:


Signature

1-28-24
Date

Rachel Lansing
Printed Name and Title

1114 Wheatland Terrace
Address Waxahachie TX
75165



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023

MCKAY BRYANT & DENISE
457 Wintergreen Dr
Waxahachie, TX 75165-5323

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Ido Pistiner, for a Specific Use Permit (SUP) for a Short-Term Rental use within a Planned Development Single-Family Dwelling2 (PD-SF2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Anh Vu

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-190-2023

City Reference: 273233

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on February 7, 2024 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

This property is already being used as
an Air bnb.

Denise McKay
Signature

1/29/24
Date

DENISE MCKAY
Printed Name and Title

457 Wintergreen Dr.
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form but would like to submit a response, please contact the City for a blank form.

REC'D 01/30/2024



City of Waxahachie, Texas
 Notice of Public Hearing
 Case Number: ZDC-190-2023

◇◇◇

KEYS CHRYSTAL KEYS & KOREY D KEYS
453 HARVEST GROVE DR
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Ido Pistiner, for a **Specific Use Permit (SUP)** for a **Short-Term Rental** use within a Planned Development Single-Family Dwelling-2 (PD-SF-2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Oanh Vu

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Case Number: ZDC-190-2023

City Reference: 273244

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *February 7, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

I oppose the short-term rental in this area. Short term rentals are not allowed in the Boulder Valley Meadows area & since this property is located & will affect our community, I am against it due to increasing traffic & noise in the community.

Signature Chrystal L. Keys
 Printed Name and Title Chrystal L. Keys

Date 1/29/2024
 Address 453 Harvest Grove Drive,
Waxahachie, TX
75165

REC'D 01/30/2024



City of Waxahachie, Texas
 Notice of Public Hearing
 Case Number: ZDC-190-2023

<<<<

CHAVARRIA ROLANDO JR
457 HARVEST GROVE DR
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: ZDC-190-2023

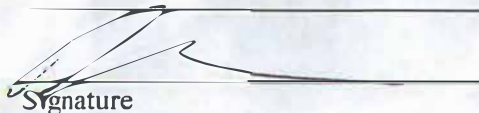
City Reference: 273242

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *February 7, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:


 Signature

Rolando Chavarria Jr.
 Printed Name and Title

01-29-24
 Date

457 Harvest Grove Dr.
 Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

REC'D 01/30/2024



City of Waxahachie, Texas
 Notice of Public Hearing
 Case Number: ZDC-190-2023

<<<<

GARZA ERICA & GERARDO CLAVIJO
459 HARVEST GROVE DR
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-190-2023

City Reference: 273241

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *February 7, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Gerardo Clavijo
 Signature

Gerardo Clavijo
 Printed Name and Title

1/30/24
 Date

459 Harvest Grove Dr
 Address

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *February 7, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT☒ OPPOSE

Comments:

*I support STR's however a
Residential Neighborhood is not an appropriate location -
no traffic generators to support new use*

Signature

Eric English -
Printed Name and Title *Owner*

Date

1/24/24
218 Garfield Circle
Address

RECEIVED JAN 3 1 2023

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

bottom portion of this notice. Please (Item 5&6) Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-190-2023

City Reference: 265835

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on February 7, 2024 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Signature

Date

Cody Hollingsworth
Printed Name and Title

2/5/24
454 Wintergreen Dr
Address Waxahachie, TX
75165

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023



GROSS JASON W & JULIE A
1101 WEATLAND TERRACE
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Ido Pistiner, for a **Specific Use Permit (SUP)** for a **Short-Term Rental** use within a Planned Development Single-Family Dwelling-2 (PD-SF-2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Oanh Vu

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-190-2023

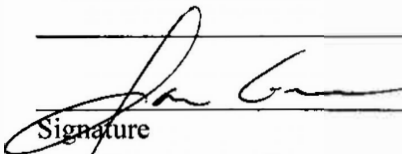
City Reference: 268918

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *February 7, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:


Signature

Jason Gross
Printed Name and Title

2/7/24
Date

1101 Weatland Terrace Waxahachie
Address 75165



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023

WHELCHER JENNIFER L & LAYNE C
456 HARVEST GROVE DR
WAXAHACHIE, TX 75165

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Case Number: ZDC-190-2023

City Reference: 273224

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☐ SUPPORT

☒ OPPOSE

Comments:

People out on vacation are usually more loud and careless of the property and neighbors. I oppose!

Signature

Layne Whelcher owner

Printed Name and Title

Date

2/8/24

456 Harvest Grove Dr.

Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023

COBB PRINZE & KENYATTA B
465 WINTERGREEN DR
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 13, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, February 19, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: ZDC-190-2023

City Reference: 273229

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☐ SUPPORT

☒ OPPOSE

Comments:

Kenyatta Cobb

Signature

Kenyatta Cobb, PT, DPT

Printed Name and Title

Date

Address

2/8/24

465 Wintergreen

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023



ALLEN DAVID & TIFFYNI
1117 Wheatland Ter
Waxahachie, TX 75165-1411

This letter is to notify you of the revised City Council meeting date for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie City Council will hold a Public Hearing on Monday, March 18, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: ZDC-190-2023

City Reference: 268925

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on March 12, 2024 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Signature

Printed Name and Title

Date

Address

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☐ SUPPORT☒ OPPOSE

Comments:

*I am opposed to Short-Term Rental in our
Neighbourhood Because Air B+B Renters are not attached to
our neighbourhood. They don't care.*

Signature

Jose R. Diaz

Printed Name and Title

Date

*01-29-2024
458 wintergreen dr.
Waxahachie TX 75165*

Address

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023

PORTER LADONNA & HARRY
252 PRAIRIE LN
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: ZDC-190-2023

City Reference: 273256

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on April 3, 2024 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Signature

Ladonna Porter (Owner)
Printed Name and Title

Date

3/26/2024

Address

252 Prairie Lane

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**

<><><

LANSING RACHEL G & PATRICK J
1114 WHEATLAND TERRACE
WAXAHACHIE, TX 75165

This letter is to notify you of the revised City Council meeting date for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie City Council will hold a Public Hearing on Monday, March 18, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: **ZDC-190-2023**

City Reference: 268908

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☐ SUPPORT

☒ OPPOSE

Comments:

Signature

Rachel Lansing

Printed Name and Title

2.27.24
Date

1114 wheatland terrace
Address Waxahachie TX
75165

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

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☐ SUPPORT☒ OPPOSE

Comments:

Approval of such a SUP for a STR is
not appropriate or beneficial to the neighborhood.
It only serves to create problems.

Signature


ERIC English

Printed Name and Title

Date

3/11/24

Address

218 Green Grove

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

RECEIVED MAR 08 2023



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**

GROSS JASON W & JULIE A
1101 WEATLAND TERRACE
WAXAHACHIE, TX 75165

This letter is to notify you of the **revised** Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: **ZDC-190-2023**

City Reference: 268918

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☐ SUPPORT

☒ OPPOSE

Comments:


Signature

Jason Gross
Printed Name and Title

3/25/24
Date

1101 Wheatland Ter, Waxahachie Tx 75165
Address

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Case Number: **ZDC-190-2023**

(Item 5&6)

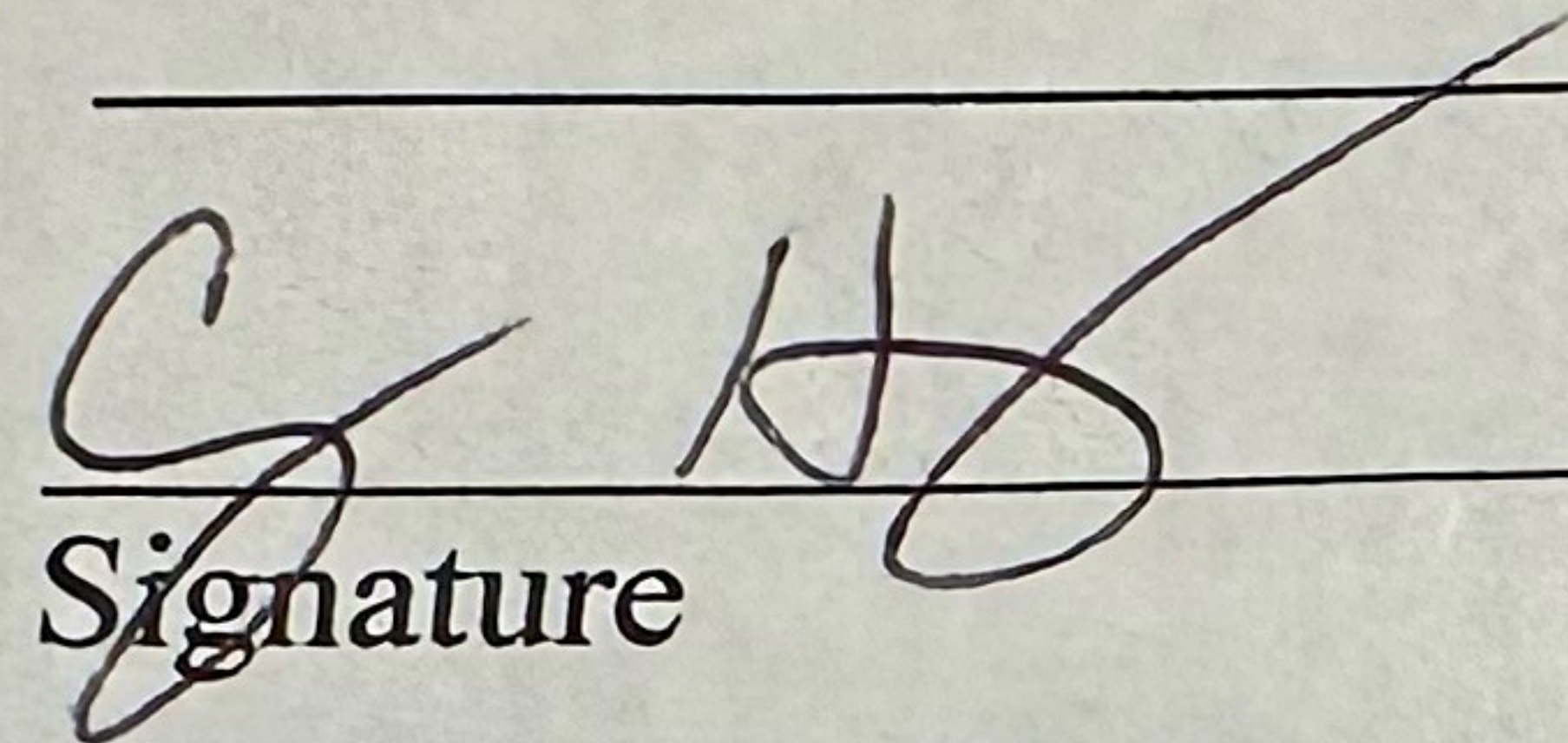
City Reference: 265835

Your response to this notification is optional. If you choose to respond, please return this form by **5:00 P.M. on *April 3, 2024*** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to **Planning@Waxahachie.com** or you may drop off/mail your form to City of Waxahachie, Attention: **Planning, 408 South Rogers Street, Waxahachie, TX 75165.**

☐ SUPPORT

☒ OPPOSE

Comments:


Signature

Cody Hollingsworth
Printed Name and Title

3/24/24
Date

454 Wintergreen Dr.
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**

ENGLISH ERIC & VICKI S ENGLISH
1013 ADAYS RD
WAXAHACHIE, TX 75165

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Case Number: **ZDC-190-2023**

City Reference: 272656

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☐ SUPPORT

☒ OPPOSE

Comments:

It is inappropriate to allow a STR in a typical Neighborhood Community. Allow them to use for entertainment, business or downtown.

Signature

Printed Name and Title

Eric English
ERIC English

Date

Address

3/27/24

218 BARBER CROVE

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**

HOLLEY FELICIA
464 WINTERGREEN DR
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: **ZDC-190-2023**

City Reference: 265830

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☐ SUPPORT

☒ OPPOSE

Comments:

Felic Holley
Signature

Felicia Holley
Printed Name and Title

Date

3-28-2024
464 Wintergreen Dr
Address

Waxahachie TX 75165

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**



COBB PRINZE & KENYATTA B
465 WINTERGREEN DR
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: **ZDC-190-2023**

City Reference: 273229

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☐ SUPPORT

☒ OPPOSE

Comments:

K Cobb
Signature

3/28/24
Date

Kenyatta Cobb
Printed Name and Title

465 Wintergreen Dr.
Address Waxahachie, TX 75165

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**

MCKAY BRYANT & DENISE
457 Wintergreen Dr
Waxahachie, TX 75165-5323

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: **ZDC-190-2023**

City Reference: 273233

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☐ SUPPORT

☒ OPPOSE

Comments:

Denise McKay
Signature

DENISE McKay
Printed Name and Title

3/28/24
Date

457 Wintergreen Dr.
Address Waxahachie

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023

STEVENS BRANDON & CHRISTINA MARTIN
461 WINTERGREEN DR
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: ZDC-190-2023

City Reference: 273231

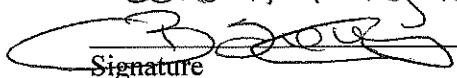
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☐ SUPPORT

☒ OPPOSE

Comments:

Our Family does not support this in ANYWAY!
They ARE ALREADY renting this property out & we don't know
who is living next to us & our children


Signature

3/29/24
Date

Brandon Stevens
Printed Name and Title

461 wintergreen Dr
Address WAXAHACHIE TX

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**



DIAZ JOSE & MARIA O QUINONEZ
458 WINTERGREEN DR
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Ido Pistiner, for a **Specific Use Permit (SUP)** for a **Short-Term Rental** use within a Planned Development Single-Family Dwelling-2 (PD-SF-2) zoning district located at 462 Wintergreen Drive (Property ID 265831) - Owner: Ido Pistiner (ZDC-190-2023) Staff: Oanh Vu

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: **ZDC-190-2023**

City Reference: 265833

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **April 3, 2024** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

I am oppose due to that Air bnb people don't care about our neighborhood.

Signature

Printed Name and Title

Date

Address

03-29-2024

*458 Wintergreen Dr.
Waxahachie TX 75165*

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City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-190-2023



CLARK MARY L
224 NORTH STAR LN
WAXAHACHIE, TX 75165-1590

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: ZDC-190-2023

City Reference: 265838

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on April 3, 2024 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

We moved into this neighborhood because it is a nice ^{quiet} family friendly location. Short term rentals have a proven track record of ruining that.
M. S. Clark
4/2/2024

Signature

Date

Mary L. Clark
Printed Name and Title

224 North Star Ln
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**

LAMPKIN QUALEN & TAMEKA
465 SILVERSTONE DR
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: **ZDC-190-2023**

City Reference: 272615

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **April 3, 2024** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Qualen & Tameka Lampkin
Signature

Qualen & Tameka Lampkin
Printed Name and Title

4/3/2024
Date

465 Silverstone Dr.
Address Waxahachie, TX 75165

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-190-2023**



RECEIVED APR 03 2024

FARNSWORTH KENNETH W & JANET R
455 WINTERGREEN DR
WAXAHACHIE, TX 75165

This letter is to notify you of the revised Planning & Zoning Commission and City Council meeting dates for a request for a Specific Use Permit (SUP) to allow a Short-Term Rental at 462 Wintergreen Drive. The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

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Case Number: **ZDC-190-2023**

City Reference: 273234

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **April 3, 2024** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Janet R Farnsworth
Signature

4-3-2024
Date

Janet R Farnsworth
Printed Name and Title

455 Wintergreen Dr.
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(Item 5&6)

Wintergreen Dr

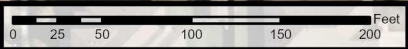


Garden Valley Pkwy

Wheatland Ter



EXHIBIT A - LOCATION MAP



Max

 ZDC-190-2023 (SUP)

(Item 5&6)

Wintergreen Dr






Garden Valley Pkwy

Wheatland Ter

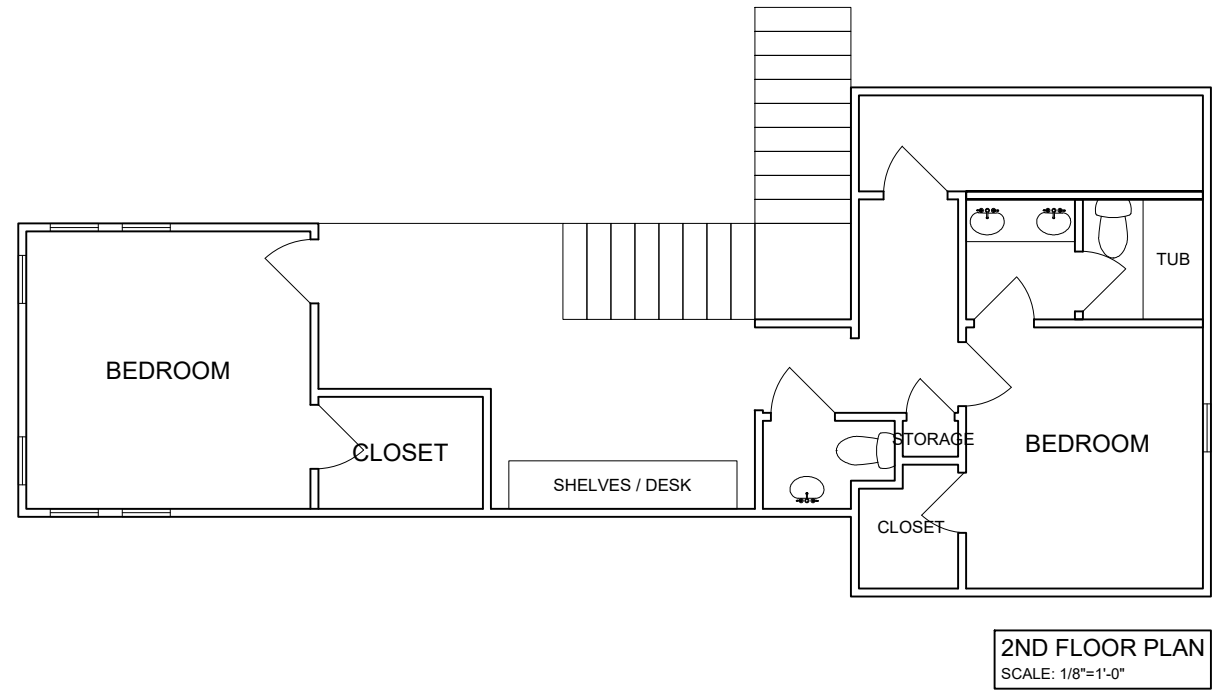
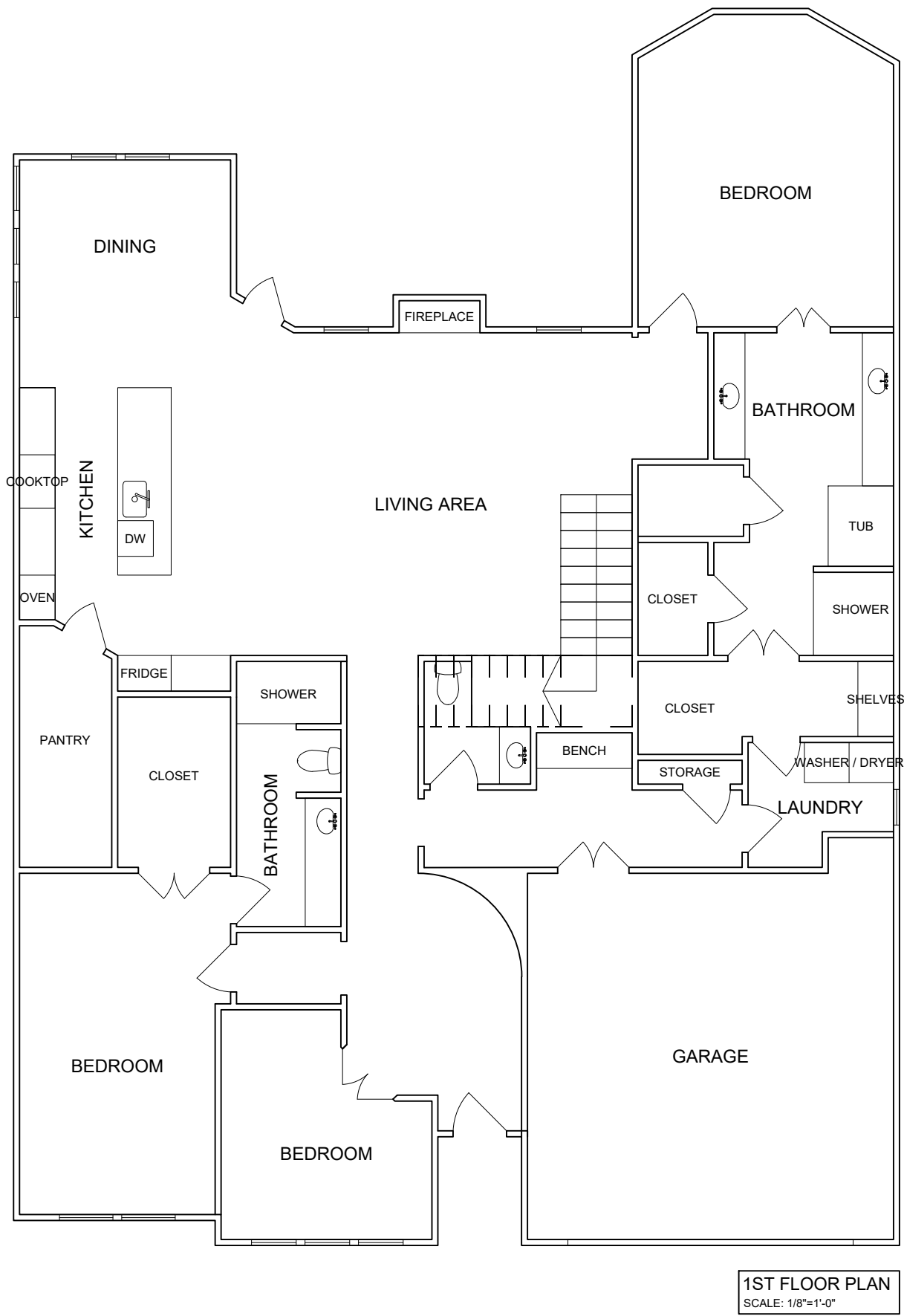
Silverstone Dr

EXHIBIT B - ZONING MAP



-  ZDC-190-2023 (SUP)
-  PD-SF-2
-  PD-SF-3

462 Wintergreen Dr, Waxahachie, TX 75165



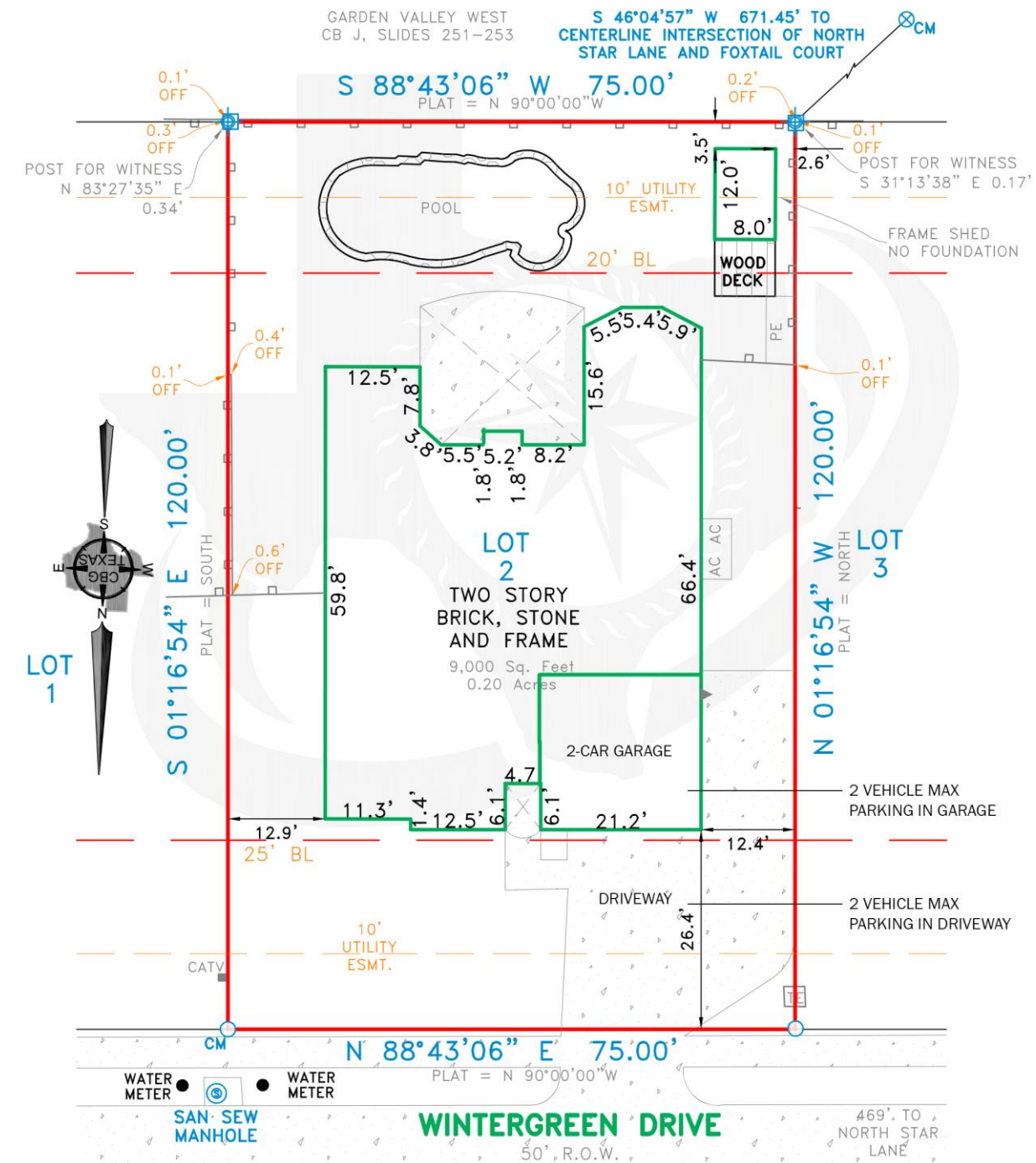


EXHIBIT E - HOST RULES

(Item 5&6)

WELCOME

*A GUIDE FOR
YOUR STAY!*

MODERN OLYMPUS VIEW OASIS
+ POOL

462 WINTERGREEN DRIVE,
WAXAHACHIE, TX,
75165, US



MEET YOUR HOST

Greetings,

Over the past years, I have had the privilege of traveling at my previous position. During this time, I encountered Airbnb and its captivating concept.

I made the decision to extend this experience to others in Texas, It is my desire to open the doors of my homes, in the hopes that you will find your stay to be nothing short of exceptional.

I'm here for you any time of the day. Your comfort and satisfaction are importance to me.

+1 (512) 766-0590 | dafneerentals@gmail.com | www.bluevets.com

ABOUT THE HOUSE

Step into a world of timeless beauty and luxury at our exquisite Greek-inspired villa. Nestled in the heart of Waxahachie, this stunning retreat is a sanctuary of elegance, comfort, and natural splendor. With its harmonious blend of classic Greek design and modern amenities, our villa promises an unforgettable getaway.

Kitchen and other Spaces:
Kitchen is fully loaded with pots, pans, silverware, kitchen utensils, plates and much more, perfect for preparing meals with a large dining table, kitchen bar area and breakfast nook.



HOUSE GUIDE

PARKING

All cars must be parked on the driveway or inside the parking garage, not on the street.

GUEST ACCESS

Enjoy the comfort and convenience of a self-check-in. One day prior to your arrival you will receive an email that walks you through the process and answers any last-minute concerns. If you still have questions, we're available for you! Please don't hesitate to reach out to us at any time - we are here to please :)

PET FRIENDLY STAY

Don't leave your furry friends behind! Bring them along for a perfect Texas vacation. We welcome house-trained pets for a surcharge to cover cleaning fees. Please inform us in advance, and we'll make all the necessary arrangements to accommodate your four-legged companions.

Pet fee: \$75 USD per pet per stay.

GARDEN/POOL AREA

This home boasts a lovely garden and pool area where you might encounter wildlife and occasional outdoor insects (e.g., spiders, ladybugs, ants, or bees). None of these bugs are harmful, and we are happy to remove them. We work diligently to keep the property clean and conduct monthly pest control.

(Item 5&6)



WIFI IS ON THE HOUSE

NETWORK Wintergreen

PASSWORD youenjoythelife

EMERGENCY INFORMATION

HOST CONTACT

PHONE: 1 (512) 766-0590

EMAIL: dafneerentals@gmail.com

*COVID-19 SANITIZATION *

Your health and safety are our top priorities. We follow a rigorous cleaning process after every check-out to ensure your peace of mind.

* ADDITIONAL NIGHTLY RATE FOR 6+ GUESTS *

Our nightly rate covers the first 6 guests. For each additional guest, a fee of \$29/night will be applied.

*ENTERTAINMENT *

Enjoy your favorite shows and movies on our smart TVs equipped with streaming apps like Netflix, Amazon, YouTube, along with cable TV. Login information is available upon request.



* POOL *

Our pool is maintained once a week, with access through the backyard door. Its use is at the renter's own risk and responsibility. Please note that our pool is outdoor and not heated.

*SECURITY CAMERAS *

For your safety, we have installed 2 security cameras—one at the front door facing the front yard and the other in pool area. These cameras record 24/7 for security purposes but do not intrude on your privacy inside the house.

(Item 5&6)



CHECK IN CHECK OUT

CHECK IN TIME: 4:00 PM

CHECK OUT TIME: 10:00 AM

Enjoy the comfort and convenience of a self-check-in. One day prior to your arrival you will receive an email that walks you through the process and answers any last-minute concerns. If you still have questions, we're available for you! Please don't hesitate to reach out to us at any time - we are here to please :)

HOUSE RULES

01

PET-FRIENDLY

Don't leave your furry friends behind! Bring them along for a perfect Texas vacation. We welcome house-trained pets for a surcharge to cover cleaning fees. Please inform us in advance, and we'll make all the necessary arrangements to accommodate your four-legged companions. Pet fee: \$75 USD per pet per stay.

02

NO SMOKING

Smoking inside the property is strictly prohibited, with a \$750 fine for violations.

03

NO PARTIES

While we hope you enjoy your stay, please note that only registered guests are allowed to sleep over during your rental. If you have any questions or uncertainties regarding these restrictions, please consult with us before booking.

04

GARDEN/POOL AREA

This home boasts a lovely garden and pool area where you might encounter wildlife and occasional outdoor insects (e.g., spiders, ladybugs, ants, or bees). None of these bugs are harmful, and we are happy to remove them. We work diligently to keep the property clean and conduct monthly pest control.



THE SPACE



KITCHEN SPACE

Kitchen is fully loaded with pots, pans, silverware, kitchen utensils, plates and much more, perfect for preparing meals with a large dining table, kitchen bar area and breakfast nook.

BEDROOMS

Bedroom 1
Masters room with attached bathroom & TV (Downstairs')
1 King bed

Bedroom 2 (Downstairs')
1 Queen bed

Bedroom 3 with attached Bathroom (Downstairs')
- 2 Bunk Bed (Downstairs') - queen over queen

Bedroom 4 (Upstairs') + Bathroom + 1 Queen Bed

Bedroom 5 (Upstairs')
2 Twin over twin bunk bed

TOTAL MAXIMUM ALLOWED GUEST IS 10 ONLY

GETTING AROUND



TAXI & AIRPORT SHUTTLE

Local Taxi Services: You can search for local taxi services in Waxahachie, TX, and call them to book a taxi. Some popular taxi services in the area include Yellow Cab and Waxahachie Taxi Service

BUS & TRAIN SCHEDULE

Waxahachie Public Transit (WPT):

- Website: Waxahachie Public Transit
- Phone Number: (469) 309-4279

CASINOS R' US TRANSPORTATION

- casinosrus.org

BICYCLE RENTAL

Come explore Waxahachie on a Pedego electric bike! There is nothing else like it! Choose from hourly, half-day, or full-day rentals and experience what "fun" really is! Book Here -

<https://www.viator.com/tours/Dallas/Electric-Bike-Rental/>

THINGS TO DO

Wacky Waxahatchie Scavenger Hunt

Guests get to discover in an alternate reality our favorite hidden gems off the beaten trail and creatively interpret fun art, history, and culture clues - for points! They get to enjoy fame and glory while appearing on our website's international leaderboard,

JFK Assassination and Museum Tour with Lee Harvey Oswald Rooming House

The circumstances of JFK's assassination are controversial. During this guided tour, a historian helps you separate the facts, stories, and theories behind that pivotal day in 1963. Visit both the Grassy Knoll in Dealey Plaza and the John F. Kennedy Memorial during this tour that includes entrance fees and round-trip transport.

Sightseeing Tour of Dallas

See the best of Dallas without missing out on the history surrounding JFK's assassination with this combination tour. This guided tour begins at JFK Memorial Plaza and travels you through the city's cultural and historical landmarks. Pass by Old Red Museum, Deep Ellum, and the AT&T Discovery District. Stop for photo ops at the Giant Eyeball, Dealey Plaza, and Pioneer Plaza.

John F. Kennedy Trolley Tour in Dallas

This is the original JFK tour taking you back in history to November 22, 1963. You will travel through the city streets of Dallas, down the motorcade route, through Dealey Plaza, and then the trolley leaves downtown and follows the timeline of Lee Harvey Oswald. You'll see the Texas Theater, the Officer JD Tippet murder scene, Oswald's rooming house, old city jail, Jack Ruby's dance club, and old county jail. Our JFK tour covers all four days surrounding the assassination.



PLACES TO SEE



Ellis County Courthouse

The courthouse is beautiful both inside and outside. The stairwell is gorgeous and worth the trip inside to see. I was also able to see the courtroom for the Justice of the Peace. I am always so happy to see history like this preserved.



Munster Mansion

My family of five visited the Munster mansion. Of all of us, I had the most knowledge of this 1960s television show. Visiting this house has inspired me to try to watch this series again. My children thought the house was so neat and one of the most interesting stops that we made on our trip through Texas. The owner of the house was so friendly and nice. I recommend this to anyone who likes something different and of course to anyone who is interested in classic television.



Gingerbread Antiques

Conveniently located in historic downtown Waxahachie, Gingerbread Antiques celebrates 20 years as a high quality antique mall. We specialize in vintage antiques, collectibles, Victorian furniture and the area's largest collection of Fiestaware. Come discover Texas' most unique antiques!

BEST RESTAURANTS

The Doves Nest Restaurant

A lovely lunch place in historic downtown Waxahachie. Part boutique/gift shop, part lunchtime only restaurant. Casual& relaxed atmosphere, with a comfort food menu with lots of healthy options.



Tuscan Slice

We started off with appetizers (stuffed mushrooms and fried calamari). I had the lasagna and my wife had the seafood manicotti. All the food came out nice and hot and delicious. Our server was excellent and kept our table replenished with hot, buttery flatbread. All in all, a great experience. I'd recommend it to anyone who likes Italian food!

Pop's Burger Stand

Pop's Burger Stand was packed, even for an early lunch, which is always a good sign! Stepping in, is like stepping back in time. Old memorabilia clads the walls: old signs, faded photos, and Christmas lights. You eat yourself, so step up to the counter, order, and find your table

El Mexicano

Service was fast friendly and authentically family run. For came quick and was incredible. I travel all week long and live on the road. They had the absolute best hot salsa with their chips I think I've ever had. We'll done! Highly recommend

BEST BARS & WINERIES



College Street Pub

AWESOME PLACE! Sat outdoors. Server was delightful. Fried onion rings are the best ever!! Customers and staff greeted us as we entered and as we left. A charming, hometown feel with a cozy atmosphere. Food was DELICIOUS!

Fat Tuesday

Great and friendly service, if you're not sure what you'll like they'll offer a sample. Eye Candy with an extra shot was fantabulous!

Cotton Patch Cafe

Put a description here of the restaurant. Lorem ipsum dolor sit amet, consectetur adipiscing elit, sed do eiusmod tempor incididunt ut labore et dolore magna aliqua.

Prime 115

The Perfect meal. The Perfect ambiance. The Perfect Town. That's the vision that led us, and ultimately you, to Prime 115. Comfortably nestled in the historic town of Waxahachie, TX, we bring big-city fine dining close to home with an experience that is both

NEAREST SHOPPING



Paris Market

One if the best antique stores in waxahachie. Friendly staff and awesome finds for everyone

The Velvet Angel Boutique

Fashion & frills galore! Lots of trendy affordable clothing and great gifts. Large amount of inventory- we get new shipments everyday!

Waxahachie Architectural Salvage

If you love all things junk, stop by and see us! We offer Reclaimed lumber, doors, windows, architectural/industrial salvage & antiques, custom projects!

Webb Gallery

This is one of the largest folk art galleries in Texas, with all sorts of items for sale.

BEFORE YOU GO

- ☒ LOAD DISHES INTO THE DISHWASHER
- ☒ EMPTY ANY USED FOOD IN THE FRIDGE
- ☒ PUT GARBAGE IN THE BINS OUTSIDE
- ☒ TURN OUT ALL THE LIGHTS
- ☒ LOCK ALL WINDOWS AND DOORS
- ☒ RETURN KEYS TO ORIGINAL LOCATION

THANK YOU SO MUCH FOR STAYING WITH US.
PLEASE COME BACK AGAIN!

TIPS FOR YOUR STAY

01

Communication: Maintain clear and open communication with the host before, during, and after your stay. Discuss any concerns or questions you might have before arrival.

02

House Rules: Familiarize yourself with the house rules provided by the host. Respect the rules to maintain a good relationship with the host and ensure a smooth stay.

03

Security and Safety: Be mindful of the security of the property. Lock all doors and windows when leaving, and ensure that all valuable belongings are secure.

(Item 5&6)



We loved this house! It was very clean with a beautiful pool and yard. A block away from a nice park for the Grandkids and the dogs to run and chase a ball. There was good "community space" in the house inside and out for gathering and talking. Daphne was very responsive and took care of anything we required. I would highly recommend this property, and I can tell you we will rent again when we go back to Dallas for our next visit.



Great place, very accommodating for our big group. Communicative hosts and very helpful! Would definitely book again!

PLEASE LEAVE US A REVIEW IF YOU LIKE OUR HOUSE!



GET IN TOUCH WITH US!



www.bluevets.com



+1 (512) 766-0590

Modern Olympus
View Oasis + Pool



THANK YOU

PLEASE ENJOY YOUR STAY

Modern Olympus View Oasis + Pool
462 Wintergreen Drive, Waxahachie, TX,
75165, US

Planning & Zoning Department

Plat Staff Report

Case: SUB-29-2024



MEETING DATE(S)

Planning & Zoning Commission:

April 9, 2024

City Council:

April 15, 2024

CAPTION

Public Hearing on a request by Brad Yates, for a **Replat** of Lot 4, Block 1 of the Nora Alexander's Subdivision, to create Lots 4A and 4B, Block 1 of the Nora Alexander's Subdivision, 2 residential lots, being 0.2695 acres, located at 500 Farley Street (Property ID: 172064) – Owner: Loren Gray Investments LLC (SUB-29-2024) Staff: Zack King

RECOMMENDED MOTION

"I move to recommend approval of SUB-29-2024, a Replat of the Nora Alexander's Subdivision, subject to the conditions the staff report."

APPLICANT REQUEST

The applicant requests to replat the property from one (1) lot into two (2) lots for residential use.

CASE INFORMATION

Applicant: Brad Yates

Property Owner(s): Brad Yates

Site Acreage: 0.2695 acres

Number of Lots: 2 lots

Number of Dwelling Units: 2 units

Park Land Dedication: N/A

Adequate Public Facilities: Adequate public facilities are available to the subject property.

SUBJECT PROPERTY

General Location: 500 Farley Street

Parcel ID Number(s): 172064

Current Zoning: Single Family-2 (SF-2)

Existing Use: The subject property is currently vacant.

Platting History: The subject property is currently platted as Lot 4, Block 1 of the Nora Alexander's Subdivision

Site Aerial:



PLANNING ANALYSIS

The applicant proposes to replat the subject property from one (1) lot into two (2) lots for single family residential use. The subject property is currently comprised of a single platted lot and is located within the Infill Overlay District. As part of the review of the plat application, staff identified multiple additional technical errors that conflict with the requirements of the Waxahachie Subdivision Ordinance. These errors have been identified as conditions of approval in the staff recommendation section below.

Variance Request – Minimum Lot Size

The Infill Overlay District requires newly proposed lots to be at least 90% of the average size of existing lots within 50' of the subject property. In this case, the average lot size within 50' of the subject property is approximately 9,688 square feet. The two lots proposed with this Replat are approximately 5,637 square feet and 5,519 square feet. While the proposed lots do not meet the size requirement of the Infill Overlay District based on properties within 50', the lot sizes are consistent with existing properties in the larger Nora Alexander Subdivision. For example, several existing lots along Rosa Street and Joseph Street that are located between 50' and 150' away from the subject property are less than 5,000 square feet in size. Due to consistency with the neighborhood as a whole, staff is supportive of the variance request for lot sizes below the typical minimum requirement of the Infill Overlay District.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 29 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun, and a sign was visibly posted at the property.

PUBLIC NOTIFICATION RESPONSES

Staff has received two (2) letter of support for the Replat request.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the Replat request, subject to the conditions listed below.

Conditions:

1. Per Section 2.3.a.2 of the Waxahachie Subdivision Ordinance, a title search is required to be performed to locate all easements on the property.
2. Per Section 2.4.c.4 of the Waxahachie Subdivision Ordinance, only easements need to be shown on the plat, not build lines (setbacks). Remove setback lines from the lots on the plat.
3. Per Section 2.4.c.18 and 2.4.c.25 of the Waxahachie Subdivision Ordinance, the boundary displayed on the Replat and the legal description need to match. Please revise accordingly.
4. Per Section 2.4.c.20 and 3.1.a of the Waxahachie Subdivision Ordinance: Label the existing ROW width. Farley is on the City's thoroughfare plan as a 60ft ROW. Ensure 30ft is dedicated from the center line of the road via the addition of a measurement to the Replat.
5. Per Section 2.4.c.22 of the Waxahachie Subdivision Ordinance, please provide coordinates (northing, easting) for the POB.
6. Per Section 2.4.c.23 of the Waxahachie Subdivision Ordinance, a correct title block is required to be provided. The correct case number for this plat is "SUB-29-2024", revise accordingly.
7. Per Section 2.4.c.25 of the Waxahachie Subdivision Ordinance, correct acreage is required to be noted in the Owner's Certificate. There is a discrepancy in total acreage referenced on the plat. Verify the correct acreage and eliminate the discrepancy.
8. Per Section 2.4.c.25 of the Waxahachie Subdivision Ordinance, an Attest line is needed for the Planning & Zoning Commission signature block.
9. Per Section 3.1.m of the Waxahachie Subdivision Ordinance, all streets are not shown on the Waxahachie Thoroughfare Plan are required to comply as shown in the C&D Manual. The C&D Manual requires the minimum ROW width for residential streets to be 50ft. Dedicate 25ft from the centerline of the road.
10. Per Section 3.3.a of the Waxahachie Subdivision Ordinance, a 15' utility easement is required adjacent to all street rights-of-way.
11. Per Section 3.5.a of the Waxahachie Subdivision Ordinance, sidewalks are required along the road frontage.
12. Per Section 4.2.a of the Waxahachie Subdivision Ordinance, the most recent FEMA FIRM is required to be referenced. Revise to reflect the October 2023 Ellis County PMR.
13. Per Section 5.6.d and 5.7.a.8 of the Waxahachie Subdivision Ordinance, add a note that retaining walls/fences shall not be installed within utility easements.

ATTACHED EXHIBITS

1. Public Notification Responses
2. Replat

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then the applicant will be notified to make corrections.
 - b. If all comments were satisfied, then the applicant shall provide five signed, hard-copy plats.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King, AICP

Senior Planner

zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: SUB-29-2024
◇◇◇

ELM ST PROPERTIES LLC
200 S ELM ST
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Brad Yates, for a **Replat** of Lot 4, Block 1 of the Nora Alexander's Subdivision, to create Lots 4A and 4B, Block 1 of the Nora Alexander's Subdivision, 2 residential lots, being 0.2695 acres, located at 500 Farley Street (Property ID: 172064) – Owner: Loren Gray Investments LLC (SUB-29-2024) Staff: Zack King

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: SUB-29-2024

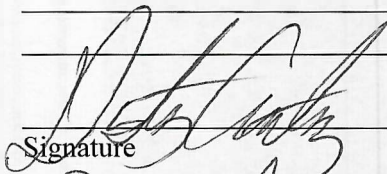
City Reference: 172049

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *April 3, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☒ SUPPORT

☐ OPPOSE

Comments:


Signature

Dustin Arvey - Owner
Printed Name and Title

3-22-24
Date

200 S Elm Wax TX 75165
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: SUB-29-2024

RECEIVED MAR 27 2024

LOREN GRAY INVESTMENTS LLC
PO BOX 2868
WAXAHACHIE, TX 75168-8868

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Brad Yates, for a **Replat** of Lot 4, Block 1 of the Nora Alexander's Subdivision, to create Lots 4A and 4B, Block 1 of the Nora Alexander's Subdivision, 2 residential lots, being 0.2695 acres, located at 500 Farley Street (Property ID: 172064) – Owner: Loren Gray Investments LLC (SUB-29-2024) Staff: Zack King

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: SUB-29-2024

City Reference: 172064

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *April 3, 2024* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 408 South Rogers Street, Waxahachie, TX 75165.

☒ SUPPORT

☐ OPPOSE

Comments:

*Will be consistent with other replats already approved
as a great addition to the neighborhood*

Signature

Brad Yates owner

Printed Name and Title

Date

3/22/24

Address

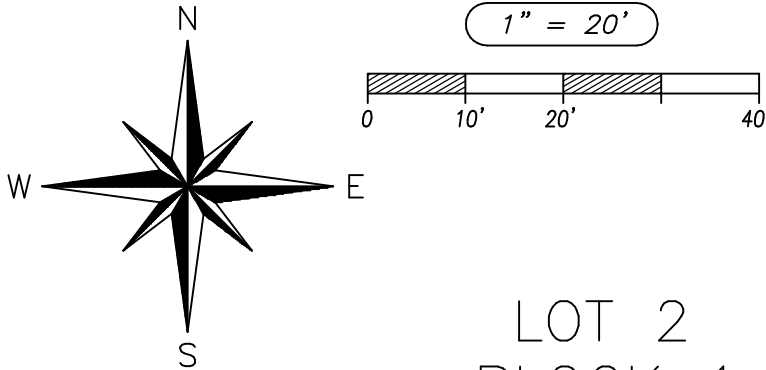
PO Box 2868

Waxahachie, TX 75168

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(Item 7&8)



OWNER:
LOREN GRAY INVESTMENTS
LLC
211 Gibson St.
Waxahachie, Tx. 75165
PO Box 2866
Waxahachie, Tx. 75168
972-938-3383

Revisions	By
-----------	----

Davis & McDill, LLC
SURVEYING — LAND PLANNING — FLOODPLAIN MANAGEMENT

A Texas licensed surveying firm # 10194681
PHONE: 972-938-1185
P.O. BOX 428, WAXAHACHIE, TEXAS 75168

.....

Date: 12/7/2023

Scale: 1" = 20'

Drawn: DWH/SGH

Job: 223-0163

Sheet 1

of 2 sheets.

Preliminary, this document shall not

be recorded for any purpose."

Texas Administrative
Code: TITLE 22

PART 29 CHAPTER
63 SUBCHAPTER B

RULE §663.18

Certification

STATE OF TEXAS §
COUNTY OF ELLIS §

WHEREAS, Loren Gray Investments, LLC, is the Owner of a tract of land situated in the A.M. Keen Survey, Abstract Number 596 City of Waxahachie, Ellis County, Texas and being Lot 4, Block 1, Nora Alexander's Subdivision, an addition to the City of Waxahachie, Ellis County, Texas, according to the plat thereof recorded in Volume 176, Page 442, Deed Records, Ellis County, Texas, and being a part of Block 278, City of Waxahachie, Ellis County, Texas, according to the Phillips and Hawkins Official Map of said City, recorded in Cabinet A, Slides 181-184, Plat Records, Ellis County, Texas and being the land described in deed from Giovanni DePalma and Rebecca DePalma, a married couple, to Loren Gray Investments, recorded in Instrument Number 2327436 and being more particularly described as follows:

BEGINNING at a point on southeast right of way line of Farley Street, a 40 foot wide public street, at its intersection with the northeast right of way line of Rosa Street, a 40 foot wide public street, on the northwest line of said Block 278 and at the southwest corner of said Lot 4 and said Block 1, having surface coordinate values of North = 6829854.847 feet and East = 2481987.625 feet, all bearings and coordinates recited herein are based on the Texas Coordinate System, North Central Zone (Zone 4202) North American Datum of 1983 and are obtained from observations of Global Positioning System satellites, from which point a 1/2" steel rod found bears S 63°50'01" E, a distance of 0.36 feet;

THENCE N 26°15'09" E, with said Farley Street right of way line and the northwest line of said Lot 4, Block 1 and Block 278, for 60.35 feet, (Plat - N 27-1/2' E 61 feet) to the northwest corner of said Lot 4 and the southwest corner of Lot 3, Block 1 of said Nora Alexander's Subdivision, a magnetic nail, Mag Nail, set in a gravel driveway, from which a 5/8 inch steel rod found at the common west corner of said Lot 3 and of Lot 2, Block 1 of said Nora Alexander's Subdivision;

THENCE N 62°51'56" W, with the common line of said Lots 4 and 3, Block 1, for 200.14 feet, (Plat - S 62-1/2° E 200 feet) to the northwest right of way line of a 14 foot alley and the common east corner of said Lots 4 and 3, a 5/8 inch steel rod found;

THENCE S 25°28'25" W, with the southeast line of said Lot 4 and said alley right of way line, 56.97 feet, (Plat - S 27-1/2' W 61 feet) to the southeast corner of said Lot 4 and the intersection of said alley right of way line with said Rosa Street right of way line, a 1/2 inch steel rod found;

THENCE N 63°50'01" W, with said Rosa Street right of way line, 200.89 feet, (Plat - N 62-1/2' W 200 feet); to the point of beginning and containing approximately 0.2695 acre of land.

JAMES C SPENCE
TO
EDITH FAYE SPENCE
INST. 1523661 OPRCT

REPLAT
NORA ALEXANDER'S SUBDIVISION
LOTS 4A AND 4B, BLOCK 1
CITY OF WAXAHACHIE
ELLIS COUNTY, TEXAS

Being 0.270 Acre in Lot 4, Block 1,
NORA ALEXANDER'S SUBDIVISION
an addition to the City of Waxahachie,
Ellis County, Texas, according to the plat
thereof recorded in Volume 176, Page 442,
Plat Records, Ellis County, Texas
Current Zoning: SF-2 Single Family -2
2 Residential Lots
Case No. ____-____-_____

SURVEYOR'S CERTIFICATE

This is to certify that I, Stuart G. Hamilton, Registered Professional Land Surveyor Number 4480, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

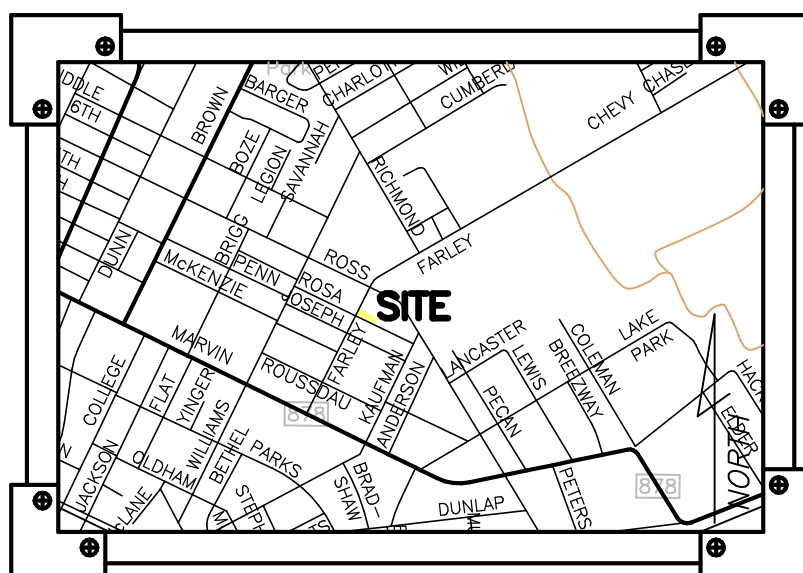
"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Stuart G. Hamilton
Registered Professional Land Surveyor
Number 4480

Date _____

LEGEND

O	-	Property Corner Symbol
Fnd.	-	Found
S.R.C.	-	Steel Rod Capped
U.E.	-	Utility Easement
R.O.W.	-	Right of Way
P.O.B.	-	Point of Beginning
C/L	-	Centerline
B.L.	-	Building Line
OPRECT	-	Official Public Records
PRECT	-	Ellis County, Texas Plat Records
DRECT	-	Ellis County, Texas Deed Records
		Ellis County, Texas



LOCATION MAP SCALE : 1" = 2000'

Planning & Zoning Department

Plat Staff Report

Case: SUB-49-2024



MEETING DATE(S)

Planning & Zoning Commission:

April 9, 2024

City Council:

April 15, 2024

CAPTION

Public Hearing on a request by Joseph Flournoy, Energy Renovation Center, for a **Replat** of a portion of Lot C, Block 232 of the Original Town of Waxahachie, to create Lots C1 & C2, Block 232 of the Original Town of Waxahachie, 2 residential lots, being 0.418 acres, located at 103 Elder Street, (Property ID 171557) – Owner: Energy Renovation Center Inc. (SUB-49-2024)
Staff: Zack King

RECOMMENDED MOTION

"I move to recommend approval SUB-49-2024, a Replat of a portion of Lot C, Block 232 of the Original Town of Waxahachie, subject to the conditions the staff report."

APPLICANT REQUEST

The applicant requests to replat the subject property into two (2) residential lots.

CASE INFORMATION

<i>Applicant:</i>	Joseph Flournoy, Energy Renovation Center
<i>Property Owner(s):</i>	Joseph Flournoy, Energy Renovation Center
<i>Site Acreage:</i>	0.418 acres
<i>Number of Lots:</i>	2 lots
<i>Number of Dwelling Units:</i>	2 units
<i>Park Land Dedication:</i>	N/A
<i>Adequate Public Facilities:</i>	Adequate public facilities are available to the subject property.

SUBJECT PROPERTY

<i>General Location:</i>	103 Elder Street
<i>Parcel ID Number(s):</i>	171557
<i>Current Zoning:</i>	Single Family-3 (SF-3)
<i>Existing Use:</i>	The subject property is currently undeveloped.
<i>Platting History:</i>	The subject property was previously platted as a portion of Lot C, Block 232 of the Original Town of Waxahachie.

Site Aerial:**PLANNING ANALYSIS**

The applicant proposes to replat the subject property from one (1) lot into two (2) lots for single family residential use. The subject property is currently comprised of a single platted lot and is located within the Infill Overlay District. As part of the review of the plat application, staff identified multiple additional technical errors that conflict with the requirements of the Waxahachie Subdivision Ordinance. These errors have been identified as conditions of approval in the staff recommendation section below.

Variance Request – Minimum Lot Size

The Infill Overlay District requires newly proposed lots to be at least 90% of the average size of existing lots within 50' of the subject property. In this case, the average lot size within 50' of the subject property is approximately 11,565 square feet. The two lots proposed with this Replat are both approximately 9,104 square feet in size. While the proposed lots do not meet the size requirement of the Infill Overlay District based on properties within 50', the lot sizes are consistent with existing properties in the area of E Marvin Avenue and Elder Street. For example, several existing lots along Elder Street and E Marvin Avenue range in size between 6,500 and 9,500 square feet. However, these lots are located between 50' and 750' away from the subject property. Due to consistency with the neighborhood as a whole, staff is supportive of the variance request for lot sizes below the typical minimum requirement of the Infill Overlay District.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 23 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun, and a sign was visibly posted at the property.

PON RESPONSES

Staff has received one (1) letter of support and zero (0) letters of opposition for the proposed replat.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the replat request, subject to the conditions noted below.

Conditions:

1. Per Section 2.1.a & 7.2.h of the Waxahachie Subdivision Ordinance, Application Fees (\$520.00) and Filing Fees (\$74.00) are required to be paid with the Replat application prior to plat filing.

ATTACHED EXHIBITS

1. Public Notification Response
2. Replat

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then the applicant will be notified to make corrections.
 - b. If all comments were satisfied, then the applicant shall provide five signed, hard-copy plats.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King, AICP

Senior Planner

zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: SUB-49-2024



ENERGY RENOVATION CENTER INC
2016 E Randol Mill Rd Ste 409
Arlington, TX 76011-8223

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 9, 2024 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 15, 2024 at 7:00 p.m. in Meeting Rooms A & B at the Waxahachie Civic Center, 2000 Civic Center Ln, Waxahachie, Texas to consider the following:

Request by Joseph Flournoy, Energy Renovation Center, for a **Replat** of a portion of Lot C, Block 232 of the Original Town of Waxahachie, to create Lots C1 & C2, Block 232 of the Original Town of Waxahachie, 2 residential lots, being 0.418 acres, located at 103 Elder Street, (Property ID 171557) – Owner: Energy Renovation Center Inc. (SUB-49-2023)
Staff: Zack King

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: SUB-49-2024

City Reference: 171557

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☒ SUPPORT

☐ OPPOSE

Comments:

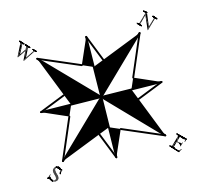
Joseph Flournoy
Signature
Joseph Flournoy / owner.
Printed Name and Title

3/27/24
Date
2016 E Randol Mill Rd #409
Address Arlington, TX 76011

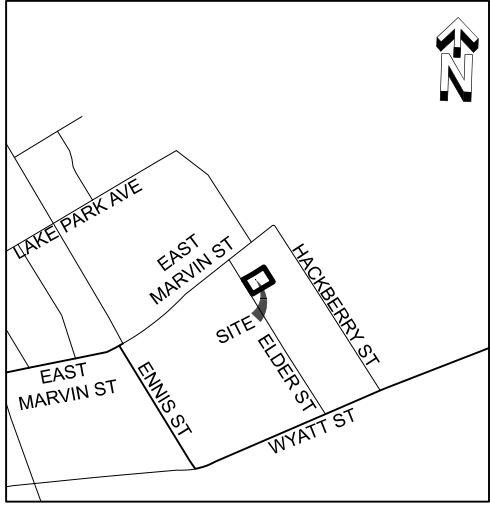
It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(Item 9&10)



0' 15' 30'
SCALE: 1" = 30'



VICINITY MAP
NOT TO SCALE

LEGEND

CIRS = 5/8 IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET
FND = FOUND
IRF = IRON ROD FOUND
IPF = IRON PIPE FOUND
OPRECT = OFFICIAL PUBLIC RECORDS ELLIS COUNTY TEXAS
PRECT = PLAT RECORDS ELLIS COUNTY TEXAS
UE = UTILITY EASEMENT
DE = DRAINAGE EASEMENT
VOL. = VOLUME
PG. = PAGE
CAB. = CABINET
SL. = SLIDE
BL = BUILDING LINE

NOTES:

BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83 PER GPS OBSERVATIONS.

ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48139C0190G, DATED OCTOBER 19, 2023, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

RETAINING WALLS SHALL NOT BE CONSTRUCTED PARALLEL TO AND WITHIN ANY PORTION OF A UTILITY EASEMENT.

SCREENING FENCES/WALLS SHALL NOT BE CONSTRUCTED PARALLEL TO AND WITHIN ANY PORTION OF A UTILITY EASEMENT UNLESS WRITTEN PROVISIONS ARE MADE AND APPROVED BY THE PUBLIC WORKS AND ENGINEERING DIRECTOR FOR ACCESS AND MAINTENANCE OF THE UTILITY EASEMENT.

STATE OF TEXAS :
COUNTY OF ELLIS : KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, ENERGY RENOVATION CENTER, INC. IS THE OWNER OF A TRACT OF LAND SITUATED IN THE E. ROGERS SURVEY, ABSTRACT NO. 896, CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN DEED TO ENERGY RENOVATION CENTER, INC., RECORDED IN INSTRUMENT NO. 2300585, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH CAP STAMPED "LONESTAR RPLS 6882" FOUND FOR THE NORTHWEST CORNER OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON SOUTHWEST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO JEFFERY SHUMATE, RECORDED IN VOLUME 2754, PAGE 843, OPRECT AND IN THE EAST RIGHT-OF-WAY (ROW) LINE OF ELDER STREET (A CALLED 30' ROW);

THENCE N 60°23'12" E, ALONG THE NORTH LINE OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON SOUTH LINE OF SAID SHUMATE TRACT, A DISTANCE OF 78.08 FEET TO A 1/2" IRON ROD FOUND FOR ANGLE CORNER OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON SOUTHWEST CORNER OF SAID SHUMATE TRACT AND THE COMMON SOUTHWEST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO LINDA ALLEN, RECORDED IN VOLUME 2512, PAGE 680, OPRECT;

THENCE N 57°56'11" E, ALONG THE NORTH LINE OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON SOUTH LINE OF SAID ALLEN TRACT, PASSING AT A DISTANCE OF 79.94 FEET TO A 1/2" IRON ROD FOUND FOR WITNESS, A TOTAL DISTANCE OF 81.06 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE NORTHEAST CORNER OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON SOUTHEAST CORNER OF SAID ALLEN TRACT AND IN THE WEST LINE OF HACKBERRY PLACE, RECORDED IN CABINET B, SLIDE 340, OPRECT, FROM WHICH A 1/2" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID ALLEN TRACT, BEARS N 32°20'56" W, A DISTANCE OF 136.58 FEET;

THENCE S 32°20'56" E, ALONG THE EAST LINE OF SAID ENERGY RENOVATION CENTER TRACT AND THE WEST LINE OF SAID HACKBERRY PLACE, A DISTANCE OF 115.72 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE SOUTHEAST CORNER OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON NORTHEAST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO JUAN HERNANDEZ AND ARA HERNANDEZ, RECORDED IN VOLUME 621, PAGE 271, OPRECT;

THENCE S 59°32'53" W, ALONG THE SOUTH LINE OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON NORTH LINE OF SAID HERNANDEZ TRACT, A DISTANCE OF 159.94 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "LONESTAR RPLS 682" FOUND FOR THE SOUTHWEST CORNER OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON NORTHWEST CORNER OF SAID HERNANDEZ TRACT AND IN THE EAST ROW LINE OF SAID ELDER STREET, FROM WHICH A 1/2" IRON ROD FOUND, BEARS S 31°47'14" E, A DISTANCE OF 168.80 FEET;

THENCE N 31°56'47" W, ALONG THE WEST LINE OF SAID ENERGY RENOVATION CENTER TRACT AND THE COMMON EAST ROW LINE OF SAID ELDER STREET, A DISTANCE OF 114.56 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.418 ACRES OF LAND MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ENERGY RENOVATION CENTER, INC., DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS ORIGINAL TOWN OF WAXAHACHIE, BLOCK 232, LOTS C1 AND C2, AN ADDITION TO THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE CITY OF WAXAHACHIE, TEXAS FOR THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. THE STREETS AND ALLEYS ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF WAXAHACHIE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES. SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF WAXAHACHIE'S USE THEREOF. THE CITY OF WAXAHACHIE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHIE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WAXAHACHIE, TEXAS.

WITNESS, MY HAND, THIS THE _____ DAY OF _____, 2024.

JOSEPH FLOURNOY
ENERGY RENOVATION CENTER, INC
AUTHORIZED AGENT

STATE OF TEXAS :
COUNTY OF ELLIS:

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED JOSEPH FLOURNOY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2024.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

I, TIMOTHY L. JACKSON, RPLS, HEREBY CERTIFY THAT THIS PLAT WAS MADE ON THE GROUND, UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND THAT ALL PROPERTY CORNERS HEREON HAVE BEEN FOUND OR SET AS SHOWN.

"PRELIMINARY. THIS DOCUMENT SHALL
NOT BE RECORDED FOR ANY PURPOSE
AND SHALL NOT BE USED OR VIEWED OR
RELIED UPON AS A FINAL SURVEY
DOCUMENT"

TIMOTHY L. JACKSON
REGISTRATION NUMBER 5644

APPROVED BY: PLANNING AND ZONING COMMISSION CITY OF WAXAHACHIE

BY: _____ DATE _____
CHAIRPERSON

ATTEST _____ DATE _____

APPROVED BY: CITY COUNCIL CITY OF WAXAHACHIE

BY: _____ DATE _____
MAYOR

ATTEST _____ DATE _____

REPLAT
ORIGINAL TOWN OF
WAXAHACHIE
BLOCK 232, LOTS C1 & C2

0.418 ACRES
BEING A REPLAT OF PART OF LOT C
BLOCK 232
OF THE OFFICIAL MAP OF WAXAHACHIE
SITUATED IN
E. ROGERS SURVEY, ABSTRACT NO. 896
CITY OF WAXAHACHIE,
ELLIS COUNTY, TEXAS

ZONED SF-3
2 RESIDENTIAL LOTS

CASE NO. SUB-49-2024

OWNERS:
ENERGY RENOVATION CENTER, INC
2016 E. RANDOL MILL RD, STE 409
ARLINGTON, TX 76011
714.365.8418

SURVEYOR:
TEXAS REALITY CAPTURE &
SURVEYING, LLC.
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469.518.0338
TBPLS FIRM NO 10194359

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-21-2024



MEETING DATE(S)

Planning & Zoning Commission:

April 9, 2024

City Council:

April 15, 2024

CAPTION

Public Hearing on a request by Leslie Ford, Ofi Chito, for a **Specific Use Permit (SUP)** for a Drive Through Establishment (McDonald's) use within a Light Industrial-1 (LI-1) zoning district located adjacent to 150 W Butcher Road (Property ID 284633) - Owner: Crux Jefferson, LLC (ZDC-21-2024)

RECOMMENDED MOTION

"I move to recommend approval of ZDC-21-2024, a Specific Use Permit (SUP) for a Drive Through Establishment (McDonald's) with Elevation Option _____, subject to the conditions the staff report, authorizing the City Manager and or Mayor to execute all documents accordingly."

APPLICANT REQUEST

The applicant requests approval of a Specific Use Permit to allow for a Drive Through Establishment (McDonald's) located adjacent to 150 W Butcher Road.

CASE INFORMATION

Applicant: Leslie Ford, Ofi Chito

Property Owner(s): Crux Jefferson, LLC

Site Acreage: 1.353 acres

Current Zoning: Light Industrial-1 (LI-1)

Requested Zoning: Light Industrial-1 (LI-1) with a SUP for a Drive Through Establishment

SUBJECT PROPERTY

General Location: Directly adjacent to 150 W Butcher Road

Parcel ID Number(s): 284633

Existing Use: The subject property is currently undeveloped.

Development History: A Plat (SUB-117-2023) for the subject property was approved on October 11, 2023. The plat is not yet filed.

Adjoining Zoning & Uses:

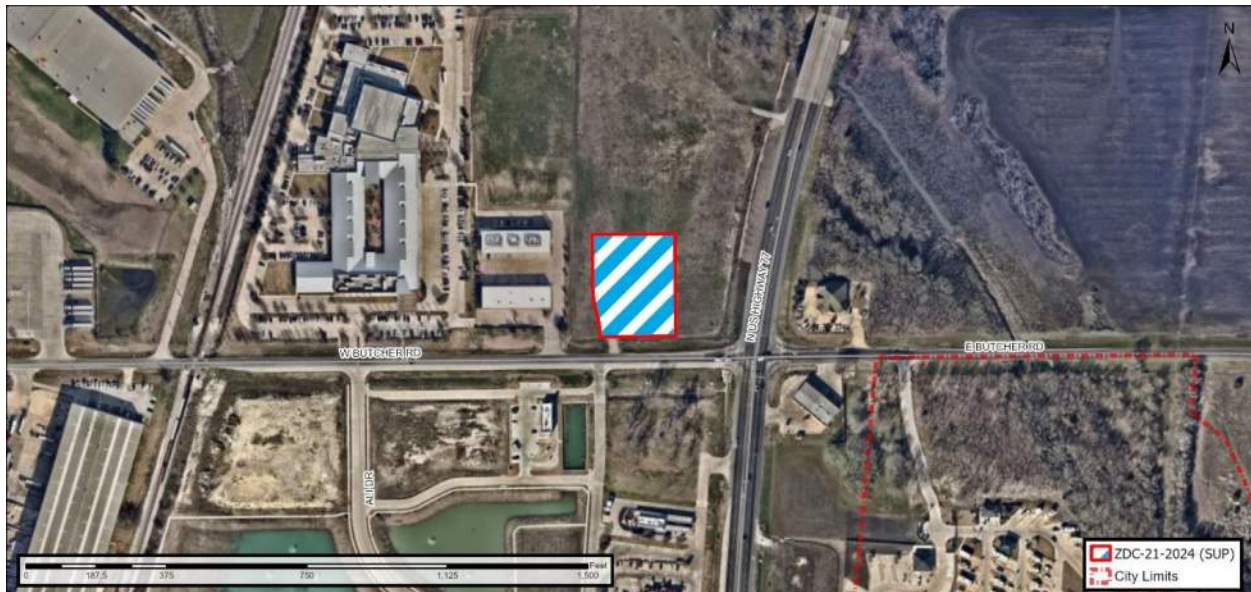
Direction	Zoning	Current Use
North	Light Industrial-1 (LI-1)	Undeveloped
East	Light Industrial-1 (LI-1)	Undeveloped
South	Planned Development-General Retail/Multi-Family-2 (PD-GR/MF-2)	Undeveloped
West	Light Industrial-1 (LI-1)	Life School

Future Land Use Plan: Local Commercial

Comprehensive Plan: The local commercial placetype includes areas for restaurants, shops, grocery stores, offices, and personal service establishments. This placetype was incorporated to preserve the City's commercial corridors. Where appropriate, local commercial uses should be located at the intersection or frontage of major thoroughfares (60 feet or greater). The intensity of this placetype falls between neighborhood scale commercial and regional commercial. Local commercial will consist of a single or cluster of standalone office, retail or commercial buildings with an anchor. Local commercial uses should be interconnected with sidewalks to increase walkability. In addition, a shared open space comprised of a plaza or park is encouraged for multi-pad site developments.

Thoroughfare Plan: The subject property fronts onto W Butcher Road. The applicant has acquired mutual access easements through the adjacent property to the north, allowing them to make use of a future driveway connection to Highway 77. The driveway connections to Butcher Road and Highway 77 are currently under construction.

Site Image:



PLANNING ANALYSIS

The applicant proposes a Specific Use Permit (SUP) to allow for development of a McDonald's. The proposed building is 4,258 square feet in size and features a dining area with a maximum occupancy of 50 customers. The proposed structure meets all setback requirements for the site, as established by the LI-1 zoning district. The applicant has also provided sufficient parking for the site, based on the size of the proposed building. The site is accessible via W Butcher Road and is flanked by mutual access drives that will all for cross access between adjacent properties in the future. These mutual access drives will afford the site with a connection to N Highway 77 in addition to W Butcher Road.

Proposed Use

The Waxahachie Zoning Ordinance requires approval of a SUP in order to allow for the Drive-Through associated with the McDonald's restaurant. The proposed site plan features two drive-through lanes capable of stacking a total of eighteen vehicles at one time. The Waxahachie Zoning Ordinance requires a minimum of six (6) stacking spaces for the drive-through. The drive-through lanes are only accessible via private mutual access drives and are designed to wrap around the entirety of the building to ensure vehicles do not stack into the public right-of-way (ROW). The exit of the drive-through lane is situated at a 90° angle to a mutual access drive; which allows customers to properly maneuver out of the site. Both directional signage and directional striping is proposed for the drive-through.

Elevation/Façade

The applicant has provided two elevation/façade options for consideration with this SUP. Both elevation options feature identical exterior construction materials; but differ in the color palette used for each material. In total, both elevations feature facades comprised of 81.3% masonry material. Option 1 utilizes a darker color palette with a mix of brick, limestone, and composite siding. Option 2 utilizes a lighter color palette with the same mix of brick, limestone, and composite siding. The renderings below can be referenced for a look at the difference in the front façade proposed with each elevation option.

Elevation Option 1:



1
A2.0 FRONT ELEVATION - SOUTH
1/4" = 1'-0"

BR - BRICK "ONYX"

LL - LIMESTONE "LINEN"

BR - BRICK "SILVERADO"



CN - ALUM CANOPY WHITE
UN - UNDERSCORE YELLOW

AL - ALUMINUM BATTENS

AP - APOLIC METAL PANELS

Elevation Option 2:**BR - BRICK "EBONY"****LL - LIMESTONE "LINEN"****BR - BRICK "SLATE GRAY"****CN - ALUM CANOPY WHITE
UN - UNDERSCORE YELLOW****AL - ALUMINUM BATTENS****AP - APOLIC METAL PANELS**Landscaping

The landscaping proposed with this SUP meets the requirements of the Waxahachie Zoning Ordinance. The applicant has incorporated three (3) Crape Myrtles into the landscape plan.

Signage

The applicant is proposing an 8', internally illuminated, monument sign. No pole sign is proposed.



PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 13 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property. Staff has received zero (0) letters of support and zero (0) letters of opposition for the proposed SUP.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the SUP request subject to the conditions noted below.

Conditions:

1. A mutually agreed upon Development Agreement shall be required for the development.
2. The owner shall provide a permanent irrigation system for all required landscape areas shown on the Landscape Plan and maintain the required landscaping at all times.
3. The applicant shall receive all necessary building permits from the Building & Community Services Department prior to construction.

ATTACHED EXHIBITS

1. Site Plan
2. Landscape Plan
3. Elevation/Façade Plan
4. Sign Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, the applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:

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Senior Planner
zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A
Senior Director of Planning
jennifer.pruitt@waxahachie.com



SCALE: 1" = 20'

OWNERS — CRUX JEFFERSON, LLC
111 W. MAIN STREET
WAXAHACHIE, TEXAS, 75165
CONTACT: YOMI FAYIGA
PHONE: 214-455-8042

APPLICANT — OFICHITO
3224 COLLINSWORTH STREET
FORT WORTH, TEXAS, 76107
CONTACT: LESLIE FORD
PHONE: 325-370-9965
EMAIL: LESLIE@OFICHITO.COM

DEVELOPER — MCDONALDS USA, LLC
CONTACT: LEE MORRIS
PHONE: 214-533-7382
EMAIL: LEE.MORRIS@US.MCD.COM

SURVEYOR — SUMMIT SURVEYING
2040 DERRBROOK DRIVE
TYLER, TEXAS, 75703
CONTACT: THOMAS SELBY
PHONE: 903-561-9544

ENGINEER — LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES
2999 OLYMPUS BLVD SUITE 165
DALLAS, TEXAS, 75019
CONTACT: TAMARA TURTON
PHONE: 817-328-3244
EMAIL: TTURTON@LANGAN.COM

SITE DATA SUMMARY TABLE	
ZONING	LI-1 LIGHT INDUSTRIAL
PROPOSED USE	LI-1 (DRIVE THRU REQUIRES SUP)
LOT AREA (SQ FT AND AC)	58,938 SF± (1.353 AC±)
TOTAL BUILDING AREA (GSF)	4,258 SQ FT
BUILDING HEIGHT	23'6"
LOT COVERAGE	7.22%
FLOOR AREA RATIO	1:0.07
REQUIRED PARKING (1 PER 100 SF SEATING OR WAITING AREA)	10
PARKING PROVIDED	42
TOTAL HANDICAP REQUIRED*	2
TOTAL HANDICAP PROVIDED*	2
IMPERVIOUS SURFACE	46,416 SQ FT

*HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

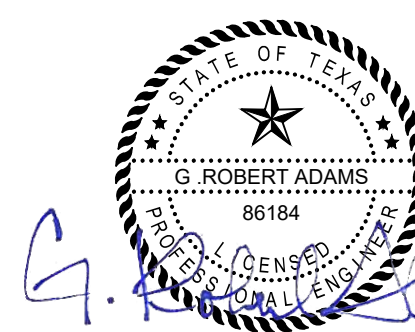


Know what's **below**.
Call before you dig.

Date	Description	No.
Revisions		
 McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.		
 <div style="float: right;">3/16/2024</div> <div style="clear: both;"></div>		
<div style="text-align: center;">  LANGAN Langan Engineering and Environmental Services, LLC 2999 Olympus Blvd, Suite 165 Dallas, TX 75019 </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> T: 817.328.3200 www.langan.com </div> <div style="text-align: center; margin-top: 5px;"> TBPE Firm REG. #F-13709 </div>		
Project <div style="text-align: center; margin-top: 10px;"> McDONALD'S RESTAURANT LC# 42-3355 / NSN 39925 TEDDO CROSSING PHASE 1, LOT 1 NWC OF HWY 77 & BUTCHER RD. WAXAHACHIE ELLIS COUNTY TEXAS </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> Drawing Title </div>		
<h1 style="margin: 0;">SITE PLAN</h1>		

 McDonald's USA, LLC

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LANGAN

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Environmental Services, LLC
2999 Olympus Blvd, Suite 165
Dallas, TX 75019

T: 817.328.3200 www.langan.com
TBPE Firm REG. #F-13709

Project

MCDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
NWC OF HWY 77 & BUTCHER RD.

WAXAHACHIE

ELLIS COUNTY	TEXAS
Drawing Title	

1. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

SITE PLANS

SITE PLAN

Project No. ZDC-21-2024 520034001	Drawing No.
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Date
3/16/2024

Drawn By	
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DT
Checked By

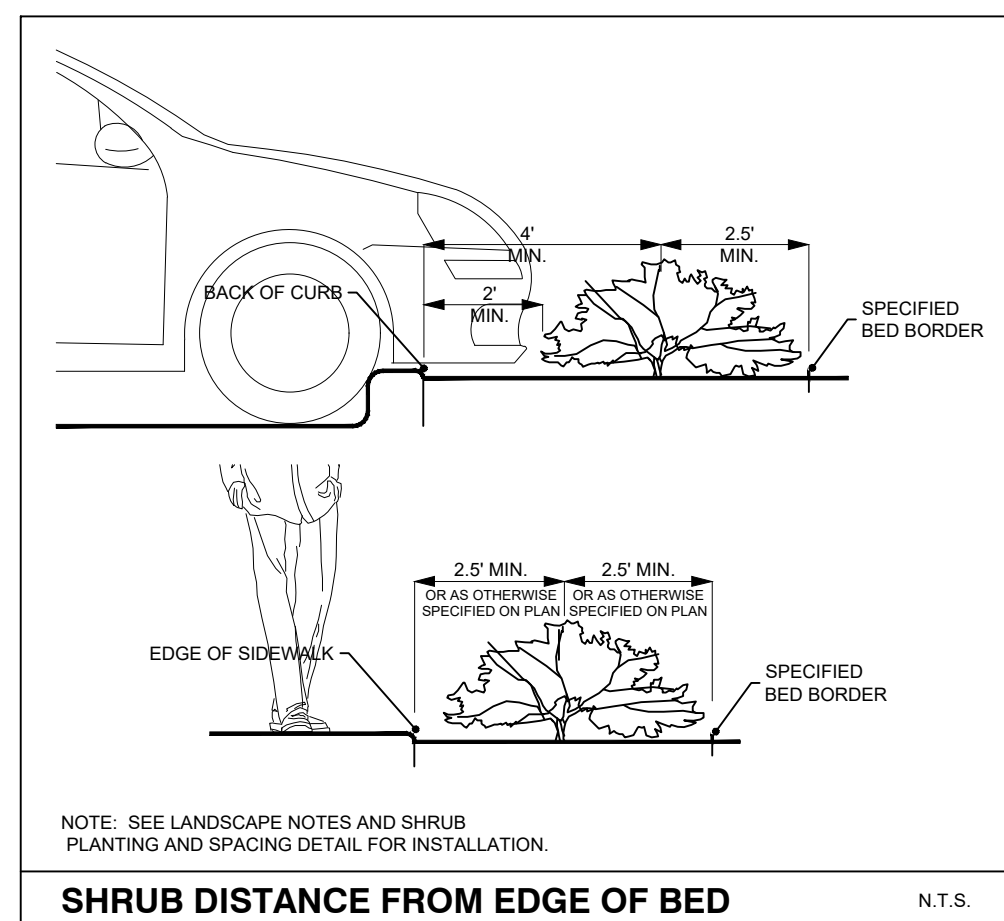
TT	Sheet 7 of 26
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LANDSCAPE CALCULATIONS - CITY OF WAXAHACHIE, TX				
SECTION	DESCRIPTION	REQUIRED	PROPOSED	COMPLIES
e. Interior Landscape Area Requirements	iii) Minimum of 40% of the total square footage of the building shall be devoted to interior landscape area	4,258 sf (building sf) x 0.4= 1,703.20 sf	2,253 sf of interior landscape	COMPLIES
	iv)1 Canopy tree every 500 sf of required interior landscape area	1,703 sf/500 sf= 3.4 Canopy Trees	4 Canopy Trees	COMPLIES
	iv)1 Understory tree every 250 sf of required interior landscape area	1,703 sf/250 sf= 6.8 Understory Trees	7 Understory Trees	COMPLIES
	iv)1 shrub every 70 sf of required landscape area	1,703 sf/70 sf= 25 Shrubs	34 Shrubs	COMPLIES
	iv)Ground cover is a minimum of 15% of required landscape area Seasonal color is a minimum of 2% of required landscape area	a) Groundcover: 1,703 sf x 0.15=255.45 sf b) Seasonal Color: 1,703 sf x 0.02=34 sf	a)Groundcover: 373 sf b)Seasonal Color: 60 sf	COMPLIES
f. Parking Lot Landscaping (Section 5.04)	v) Minimum of 75% of the required landscape area shall be in the front or along the side of the building	2,253 sf x 0.75= 1,690 sf	2,253 sf (100%)	COMPLIES
	iv)All off-street parking areas must supply at least thirteen (13) square feet of parking lot landscaping per parking space. Additional parking lot landscaping is required based on the percentage of required parking located between the building façade and the street right-of-way. 2)(25) to (75) percent: (20) square feet	12 (parking along ROW)/43(required parking)= 27.9% 13 sf x 42 parking spaces= 546 sf 25-75% of required parking located between façade and ROW= 20 sf of landscape required 42 parking spaces x 20 sf = 840 sf of required parking lot landscape	1,590 sf of landscape area in parking lot	COMPLIES
	vi) (2) 4 inch caliper trees and (10) shrubs must be planted for each 500 square feet of required parking lot landscape area, or portion thereof.	546 sf ÷ 440 sf = 1.386 Sqft 1,386 Sqft/500= 2.77 Trees (2 x 2.77)= 5.54 Trees Shrubs (10 x 2.77) = 27.7 Shrubs	6 Trees and 28 Shrubs	COMPLIES
	viii) To reduce the thermal impact of unshaded parking lots, the required landscaping must be planted throughout parking lots so that no portion of a parking space is more than (64) feet away from the trunk of a tree.	Every parking space must be within 64' of a tree	Every parking space is within 64' of a tree	COMPLIES
g. Additional Landscape requirements	iv) For parking lots and drive-throughs, screening shrubs must be planted that are at least two (2) feet in height. These must be evergreen.	Minimum 2' tall evergreen shrubs are needed to screen parking lots and drive-through	Minimum 2' tall evergreen shrubs at planting height for screening	COMPLIES
	i) For all nonresidential and multifamily parcels with less than two hundred fifty (250) feet of frontage adjacent to a dedicated public right-of-way, at least fifteen (15) percent of the street yard shall be permanent landscape area.	16,390 sf x 0.15= 2,458.5 sf	2,659.6 sf	COMPLIES
	vi) Street trees must be planted at the average rate of one (1) tree for every thirty (30) feet of street frontage.	201 Lf of street frontage/30'= 6.7 Trees	7 Trees	COMPLIES

C PLANT SCHEDULE

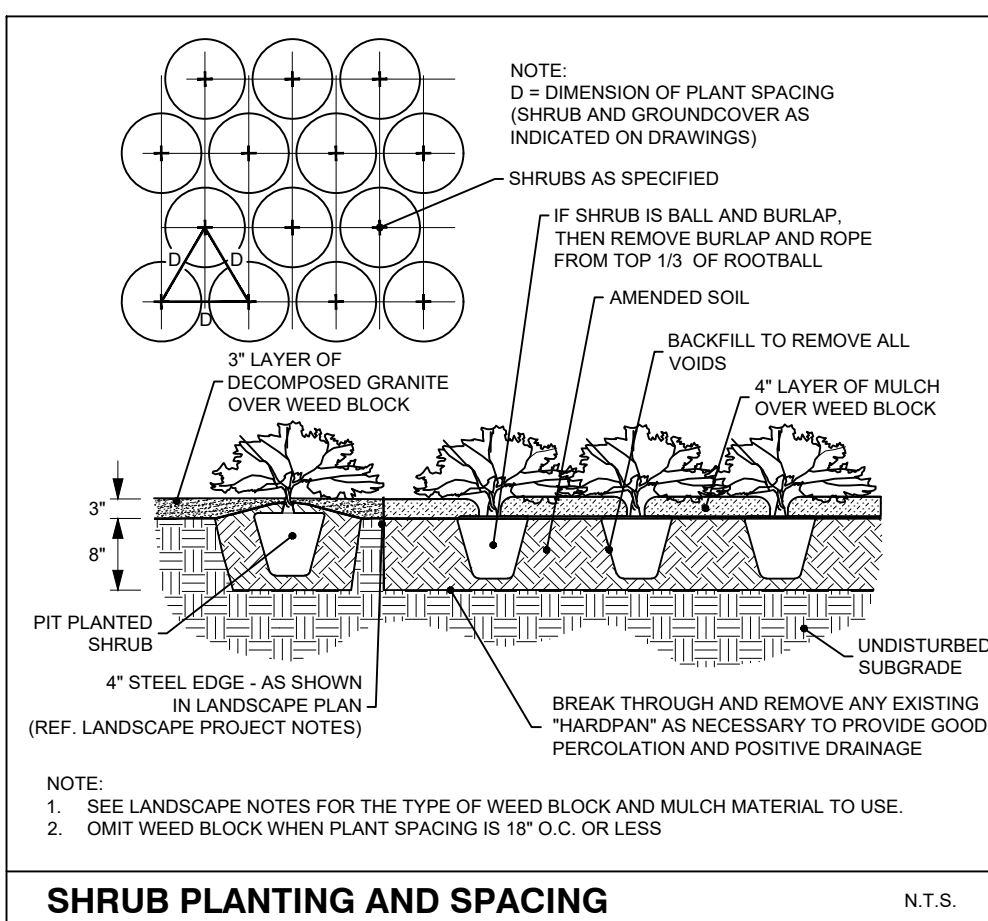
NOTE: ALL PLANTS ON LIST ARE AT MINIMUM SIZING AT TIME OF PLANTING

SYMBOL	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
TREES						
	U	3	LAGERSTROEMIA INDICA / CRAPE MYRTLE	6-8' HT.	CONTAINER	
	QT	11	QUERCUS TEXANA / NUTTALL OAK	4" CAL.	B&B	
	UC	6	ULMUS CRASSIFOLIA / CEDAR ELM	4" CAL.	B&B	
	VS	5	VITEX AGNUS-CASTUS 'SHOAL CREEK' / SHOAL CREEK CHASTE TREE	6-8' HT.	CONTAINER	
SHRUBS						
	BW	49	BUXUS SINICA INSULARIS 'WINTERGREEN' / WINTERGREEN KOREAN BOXWOOD	3 GAL.	CONTAINER	MIN. 2' TALL AT TIME OF PLANTING
	IC	54	ILEX CORNUTA 'CARISSA' / CARISSA CHINESE HOLLY	3 GAL.	CONTAINER	MIN. 3' TALL AT TIME OF PLANTING
	IB	13	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	3 GAL.	CONTAINER	
	YP	34	YUCCA PARVIFLORA / RED YUCCA	3 GAL.	CONTAINER	MIN. 2' TALL AT TIME OF PLANTING
	LB	189	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	4"	CONTAINER	24" o.c.
	OJ	230	OPHIOPOGON JAPONICUS / MONDO GRASS	4"	CONTAINER	15" o.c.
	TA	35	TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE	4"	CONTAINER	36" o.c.
			60 SF SEASONAL COLOR PLANTING			
			SEASONAL PLANTS TO BE PROVIDED ON ROTATING BASIS BY LANDSCAPE MAINTENANCE CONTRACTOR			



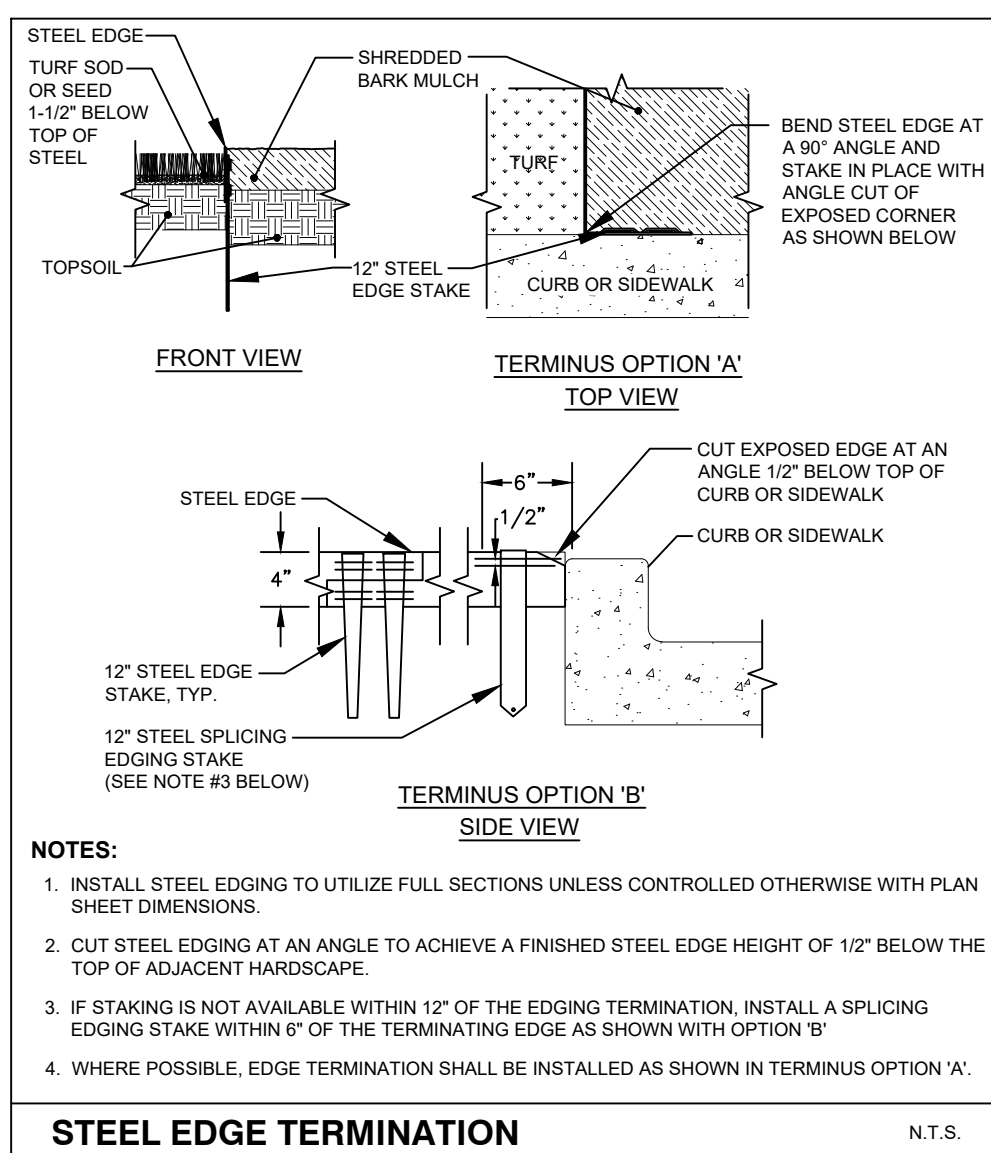
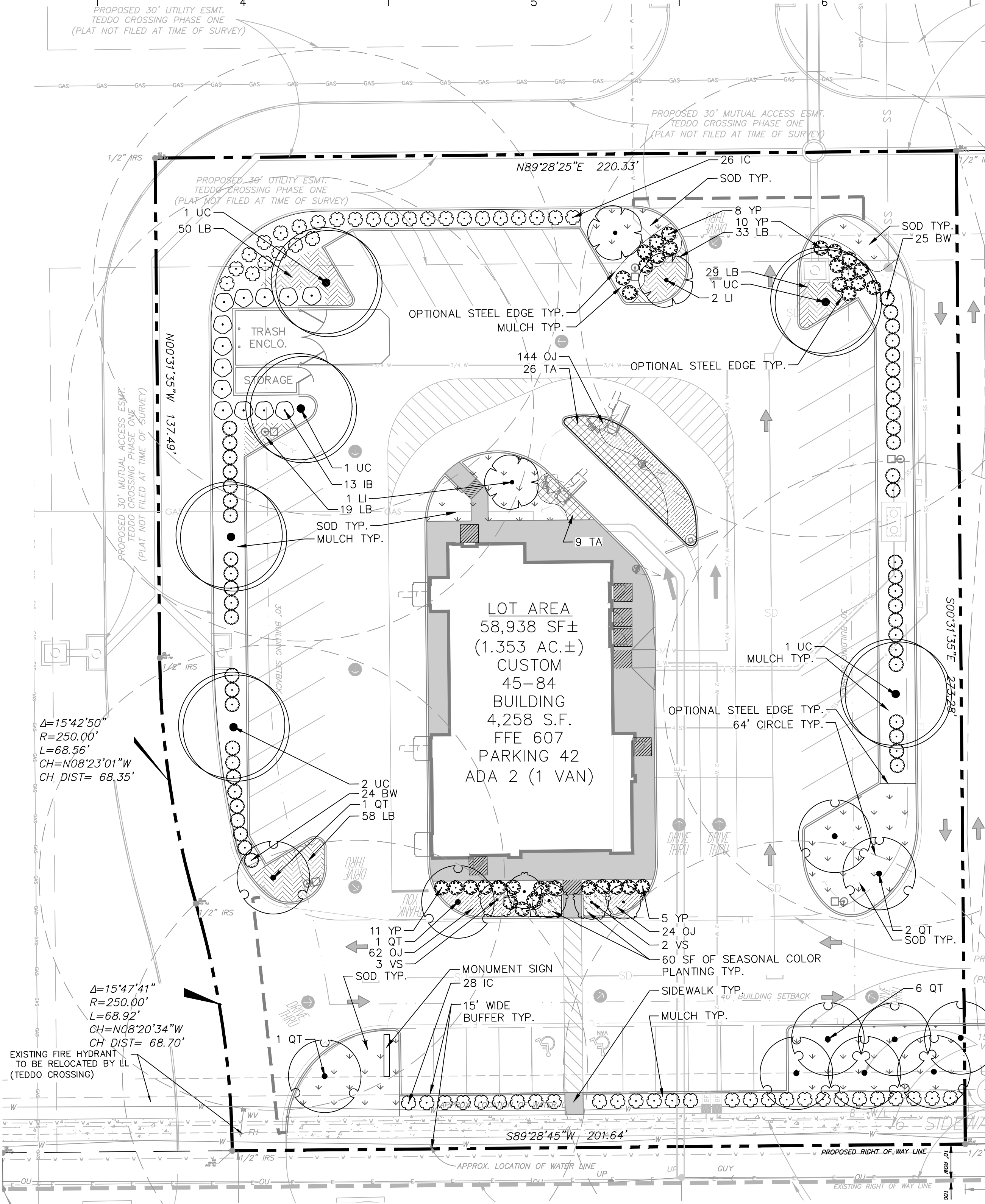
SHRUB DISTANCE FROM EDGE OF BED

N.T.S.



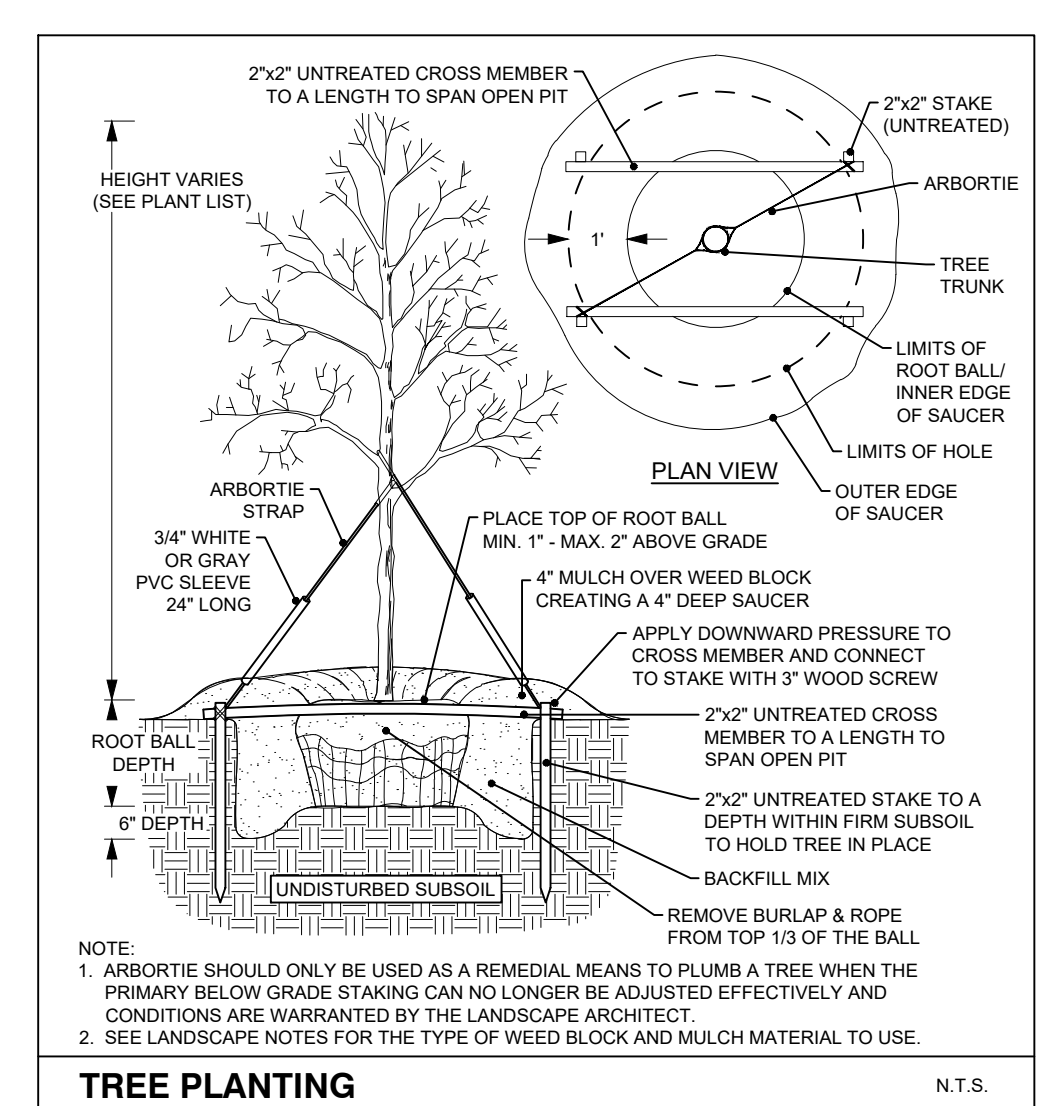
SHRUB PLANTING AND SPACING

N.T.S.



STEEL EDGE TERMINATION

N.T.S.



TREE PLANTING

N.T.S.

LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

General Contractor shall grade to two (2) inches below top of all walks and curbs; Refer to general notes.

In all landscape planting areas illustrated General Contractor shall provide three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (filled) to a depth of nine inches (9") below finished grade. If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. Excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch.

In landscape areas, Landscape Contractor to provide top two (2) inches of material, perform finished grading, and install sprinkler system. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least seven feet six inches (7'-6") from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/8" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Section 5.04 d.i.13

The property owner, tenant, or agent shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly, and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the landscaping. Landscaped areas shall be kept free of trash, litter, weeds, and other such material not a part of the landscaping. Plant materials that die shall be placed with plan materials of similar variety and size.

LANDSCAPE PROJECT NOTES CONT.

- REFER TO SIGN PROGRAM BOOK FOR SIGNAGE DETAILS.
- REFER TO A7.0 FOR DETAILS OF THE DUMPSTER ENCLOSURE.

SOD PROJECT NOTES

EROSION CONTROL:

Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION:

General Contractor shall grade to two (2) inches below top of all walks and curbs; Refer to general notes.

All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall have four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of six (6") inches below finish grade. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter.

Landscape Contractor to provide top two (2") inches of material. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

GRASS SOD:

Turfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a green-in appearance.

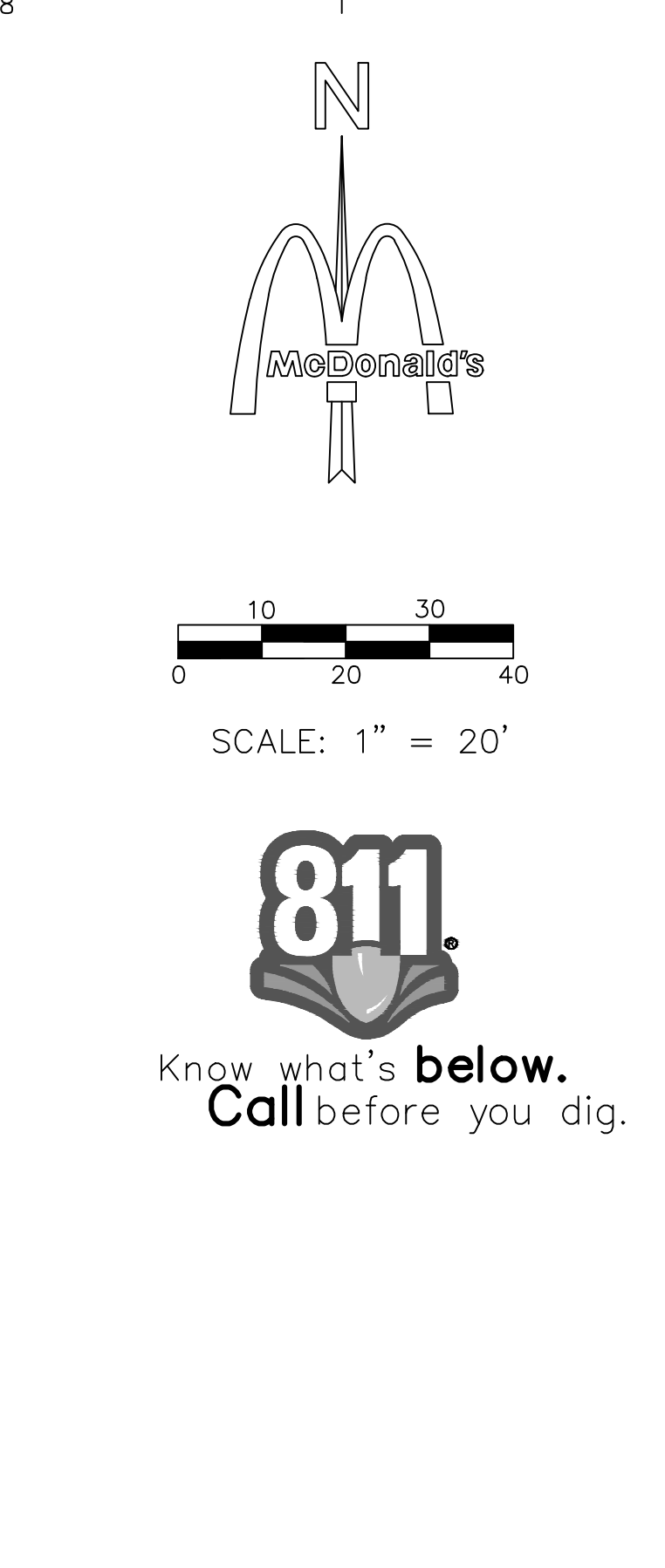
IRRIGATION:

In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:

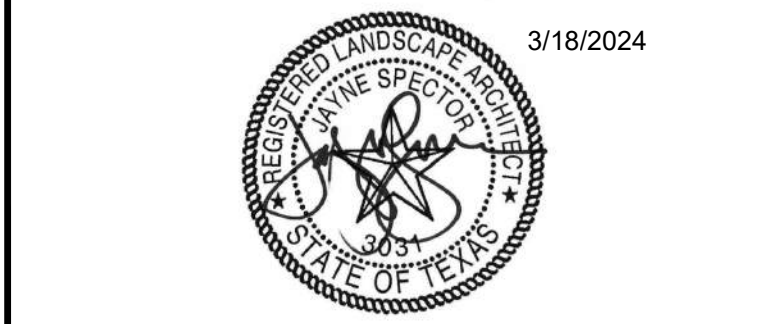
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.



Date	Description	No.
Revisions		

McDonald's USA, LLC

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LANGAN

Langan Engineering and Environmental Services, LLC

2999 Olympus Blvd, Suite 165
Dallas, TX 75019

T: 817.328.3200
TBPE Firm REG. #F-13709

Project

McDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
NWC OF HWY 77 & BUTCHER RD.

WAXAHACHIE
ELLIS COUNTY TEXAS

Drawing Title

LANDSCAPE PLAN

Project No. ZDC-21-2024 520034001	Drawing No. L1.0
Date 3/18/2024	Drawn By DH
Checked By AP/JS	Sheet 22 of 26

(Item 11&12)

BUILDING MATERIAL CALCULATIONS BUILDING											Total Masonry
	South Elevation		East Elevation		West Elevation		North Elevation		Totals		
Materials	SF	%	SF	%	SF	%	SF	%	SF	%	
Brick	498	54.67%	972	73.86%	1,247	69.39%	493	58.90%	3,210	66.04%	81.30%
Limestone	83	9.11%	200	15.20%	315	17.53%	144	17.20%	742	15.26%	
Wood-Look Battens	293	32.16%	90	6.84%	45	2.50%	170	20.31%	598	12.30%	
Metal Trim/Paneling	37	4.06%	54	4.10%	190	10.57%	30	3.58%	311	6.40%	
Totals (Excluding Glazing)	911	100%	1,316	100%	1,797	100%	837	100%	4,861	100%	
	South Elevation		North Elevation		East Elevation		West Elevation		Totals		
Materials	SF	%	SF	%	SF	%	SF	%	SF	%	
Glazing/Openings	266	22.60%	308	18.97%	62	3.34%	36	4.12%	672	12.15%	
Total Façade	1,177	23%	1,624	19%	1,859	3%	873	4%	5,533	12%	



1 FRONT ELEVATION - SOUTH
A2.0 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION - NORTH
A2.0 1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
MFR: B+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: EARL WALNUT, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES. APAP TRADEMARKED, COURSE, GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AN PRANT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR:
B1 = "SILVERADO" SMOOTH BY HEBRON BRICK COMPANY
B2 = "ONYX" SMOOTH BY HEBRON BRICK COMPANY
(GROUT TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GO TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT)
COLOR: LINEN (RUNNING BOND) SIZE: 8"x16"x4"
FINISH: BRUSHED
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM,
MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1= COLOR:
C1= WHITE
C2= BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
C1= TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD.
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1= COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM, SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- TL TRU EXTERIOR 1"x8" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE
COLOR: GOLD

Project

McDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
CASE#:
NWC OF HWY 77 & BUTCHER RD.
WAXAHACHIE
ELLIS COUNTY TEXAS

PREPARED BY: JAW

McDonald's USA, LLC

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PREPARED FOR: JAW

2023 STANDARD BUILDING - BB20

4584-WOOD/WOOD

WOOD BEARING WALLS W/4" BRICK VENEER

WOOD ROOF TRUSS FRAMING

STUCCO/BATEN/METAL/BRICK EXTERIOR FINISHES

SITE ID

SITE ADDRESS

042-3355

HIGHWAY 77 & BUTCHER ROAD, WAXAHACHIE TEXAS

DRAWN BY: JAW

STD ISSUE DATE: 2024

REVIEWED BY: JAW

DATE ISSUED: 02/14/2024

SHEET NO. A2.0

ELEVATIONS

(Item 11&12)

ALTERNATE COLOR SCHEME

BUILDING MATERIAL CALCULATIONS BUILDING										Total Masonry
	South Elevation		East Elevation		West Elevation		North Elevation		Totals	%
Materials	SF	%	SF	%	SF	%	SF	%	SF	
Brick	498	54.67%	972	73.86%	1,247	69.39%	493	58.90%	3,210	66.04%
Limestone	83	9.11%	200	15.20%	315	17.53%	144	17.20%	742	15.26%
Wood-Look Battens	293	32.16%	90	6.84%	45	2.50%	170	20.31%	598	12.30%
Metal Trim/Paneling	37	4.06%	54	4.10%	190	10.57%	30	3.58%	311	6.40%
Totals (Excluding Glazing)	911	100%	1,316	100%	1,797	100%	837	100%	4,861	100%
	South Elevation		North Elevation		East Elevation		West Elevation		Totals	
Materials	SF	%	SF	%	SF	%	SF	%	SF	%
Glazing/Opening	266	22.60%	308	18.97%	62	3.34%	36	4.12%	672	12.15%
Total Façade	1,177	23%	1,624	19%	1,859	3%	873	4%	5,533	12%

BR - BRICK "EBONY"

LL - LIMESTONE "LINEN"

BR - BRICK "SLATE GRAY"



CN - ALUM CANOPY WHITE
UN - UNDERSCORE YELLOW

AL - ALUMINUM BATTENS

AP - APOLIC METAL PANELS



1 FRONT ELEVATION - SOUTH
A2.0 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION - NORTH
A2.0 1/4" = 1'-0"

KEY NOTES:

- | | | | |
|----|---|----|--|
| AL | <p>ALUMINUM BATTEN SYSTEM
MFR: B+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: EARL WALNUT, BACKRSL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1. HDO BOTH FACES. APAP TRADEMARKED. COURSE GRIT SAND
SURFACES PRIOR TO PRIMING. PRIME AN DPAINT BOTH SIDES AND ALL
EDGES.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS</p> | C3 | <p>ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0</p> |
| AP | <p>ALPOLIC METAL PANEL (COLOR 7022)</p> | EJ | <p>EXPANSION JOINT, SEE DETAIL 7/A4.1</p> |
| BR | <p>MODULAR FACE BRICK COLOR:
B1 = "SLATE GRAY" VELOUR BY ACME BRICK COMPANY</p> | FB | <p>C02 — C02 = BULK C02 FLIC BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FLIC BOX (EQPM SCHEDULE ITEM 700.18)</p> |
| B1 | <p>B2 = "EBONY" VELOUR BY ACME BRICK COMPANY</p> | D | <p>HOLLOW METAL DOOR
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS</p> |
| C1 | <p>ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE</p> | DE | <p>DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonalddecor@gfxi.com</p> |
| C2 | <p>ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022</p> | | |

- LL** LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT)
COLOR: LIVEN (RUNNING BOND) SIZE: 8"X16"X4"
FINISH: BRUSHED
- LIMESTONE TO HAVE 1/4" RAKED MORTAR JOINTS
(MORTAR COLORS TO BE LIGHT BUFF /IVORY)
SUBMIT TO ARCHITECT FOR APPROVAL
- GR** GUARD RAIL –SEE SITE PLAN FOR EXACT LOCATION AND LENGTH-
USE STAINLESS STEEL OR GALVANIZED STEEL
- LT** RECESSED DOWN LIGHT FIXTURE – SEE ELECTRICAL
COLOR: GOLD
- WT** EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS
COLOR: EXTRA DARK BRONZE
- W2** DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM,
XZ MANUAL OPEN; (ELECTRONIC RELEASE
COLOR: DEEP BRONZE
- SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

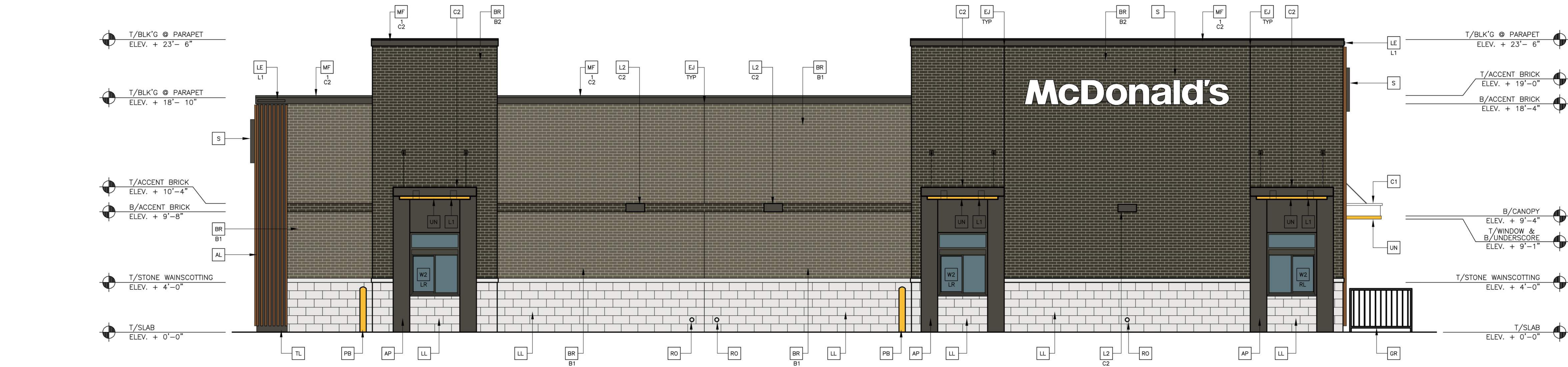
- | | |
|-----------|---|
| L2 | RADIAL SCORNE LIGHT FIXTURE - SEE ELECTRICAL |
| C1 | COLOR:
1 = WHITE
2 = BRONZE |
| LE | ACCENT LIGHTING - SEE ELECTRICAL |
| L1 | LED LIGHT:
L1 = SJLM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE |
| MF | METAL FASCIA |
| C1 | TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES |
| | COLOR:
C1 = WEATHERED ZINC
C2 = RAL 7022 |

- | | |
|----|--|
| PB | PIPE BOLLARD - PAINTED YELLOW |
| PT | (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER |
| RO | ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL |
| S | MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. |
| C1 | COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY |
| ST | CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION |
| TL | TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: TRON ORE [®] SW 7069 BY SHERWIN WILLIAMS |
| UN | METAL UNDERSCORE
COLOR: GOLD |

Project

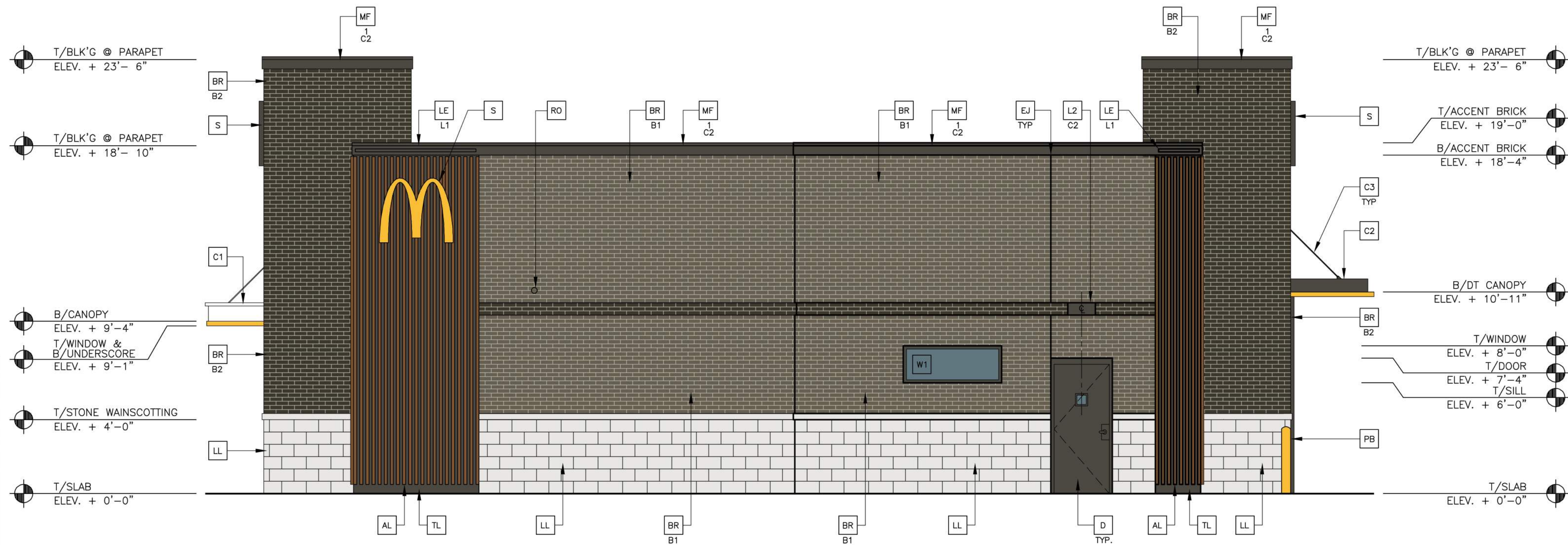
McDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
CASE#:
NWC OF HWY 77 & BUTCHER RD.
WAXAHACHIE
COUNTY

[illegible]



1 DRIVE THRU ELEVATION - WEST
1/4" = 1'-0"

BUILDING MATERIAL CALCULATIONS BUILDING											Total Masonry
	South Elevation		East Elevation		West Elevation		North Elevation		Totals		
Materials	SF	%	SF	%	SF	%	SF	%	SF	%	%
Brick	498	54.67%	972	73.86%	1,247	69.39%	493	58.90%	3,210	66.04%	81.30%
Limestone	83	9.11%	200	15.20%	315	17.53%	144	17.20%	742	15.26%	
Wood-Look Battens	293	32.16%	90	6.84%	45	2.50%	170	20.31%	598	12.30%	
Metal Trim/Paneling	37	4.06%	54	4.10%	190	10.57%	30	3.58%	311	6.40%	
Totals (Excluding Glazing)	911	100%	1,316	100%	1,797	100%	837	100%	4,861	100%	
	South Elevation		North Elevation		East Elevation		West Elevation		Totals		
Materials	SF	%	SF	%	SF	%	SF	%	SF	%	
Glazing/Openings	266	22.60%	308	18.97%	62	3.34%	36	4.12%	672	12.15%	
Total Façade	1,177	23%	1,624	19%	1,859	3%	873	4%	5,533	12%	



2 REAR ELEVATION - NORTH
1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
MFR: B+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: EARL WALNUT, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1: HDO BOTH FACES, APAP TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AN PRANT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR: B1 = "SILVERADO" SMOOTH BY HEBRON BRICK COMPANY B2 = "ONYX" SMOOTH BY HEBRON BRICK COMPANY (GROUT TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GO TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
SEE DETAIL 3/A5.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT)
COLOR: LINEN (RUNNING BOND) SIZE: 8"x16"x4"
FINISH: BRUSHED
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE
- W1 DRIVE-THRU WINDOW BY READY ACCESS
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
C1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: JFWPT STD
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- ST C02 STROBE/ALARM, SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- TL TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE
COLOR: GOLD

Project

McDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
CASE#:
NWC OF HWY 77 & BUTCHER RD.
WAXAHACHIE
ELLIS COUNTY TEXAS

PREPARED BY: JAW

McDonald's USA, LLC

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PREPARED FOR: JAW

2023 STANDARD BUILDING - BB20

4584-WOOD/WOOD

WOOD BEARING WALLS W/4" BRICK VENEER

WOOD ROOF TRUSS FRAMING

STUCCO/BATTEN/METAL/BRICK EXTERIOR FINISHES

SITE ID: 042-3355

HWY 77 & BUTCHER ROAD, WAXAHACHIE TEXAS

TITLE: 2023 STANDARD BUILDING - BB20

STD ISSUE DATE: 02/14/2024

REVIEWED BY: JAW

DATE ISSUED: 02/14/2024

SHEET NO. A2.1

ELEVATIONS



1 DRIVE THRU ELEVATION - WEST
1/4" = 1'-0"

ALTERNATE COLOR SCHEME

BUILDING MATERIAL CALCULATIONS BUILDING										Total Masonry
Materials	South Elevation		East Elevation		West Elevation		North Elevation		Totals	
Brick	498	54.67%	972	73.86%	1,247	69.39%	493	58.90%	3,210	66.04%
Limestone	83	9.11%	200	15.20%	315	17.53%	144	17.20%	742	15.26%
Wood-Look Battens	293	32.16%	90	6.84%	45	2.50%	170	20.31%	598	12.30%
Metal Trim/Paneling	37	4.06%	54	4.10%	190	10.57%	30	3.58%	311	6.40%
Totals (Excluding Glazing)	911	100%	1,316	100%	1,797	100%	837	100%	4,861	100%
Materials	South Elevation		North Elevation		East Elevation		West Elevation		Totals	
Glazing/Opening	266	22.60%	308	18.97%	62	3.34%	36	4.12%	672	12.15%
Total Façade	1,177	23%	1,624	19%	1,859	3%	873	4%	5,533	12%

BR - BRICK "EBONY"

LL - LIMESTONE "LINEN"

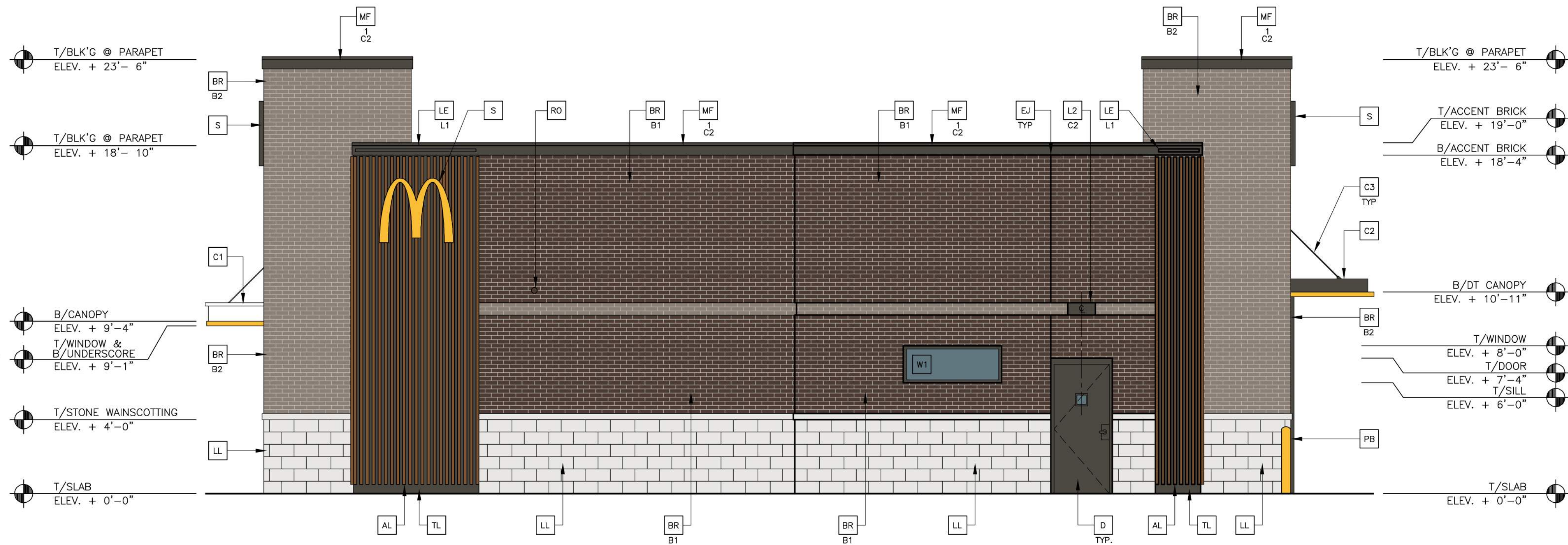
BR - BRICK "SLATE GRAY"



CN - ALUM CANOPY WHITE
UN - UNDERSCORE YELLOW

AL - ALUMINUM BATTENS

AP - APOLIC METAL PANELS



2 REAR ELEVATION - NORTH
1/4" = 1'-0"

KEY NOTES:

AL ALUMINUM BATTEN SYSTEM

MFR: B+N INDUSTRIES

SIZE: 2"x2" PROFILE

COLOR: EARL WALNUT, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH

SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,

GROUP 1, HDO BOTH FACES, APAP TRADEMARKED, COURSE GRIT SAND

SURFACES PRIOR TO PRIMING, PRIME AN PRANT BOTH SIDES AND ALL

EDGES.

SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

ALPOLIC METAL PANEL (COLOR: RAL 7022)

BR MODULAR FACE BRICK COLOR:

B1 = "SLATE GRAY" VELOUR BY ACME BRICK COMPANY

B1-B2 = "EBONY" VELOUR BY ACME BRICK COMPANY

C1 ALUMINUM CANOPY SYSTEM W/FASCIA

COLOR: WHITE

C2 ALUMINUM CANOPY SYSTEM

COLOR: RAL 7022

C3 ALUMINUM CANOPY TIEBACK

COLOR: RAL 7022

GO TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS,

WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.

SEE DETAIL 3/A5.0

EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)

BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)

D HOLLOW METAL DOOR

PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

DE DECAL BY GRAPHICS SUPPLIER

SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.

SUPPLIERS:

VOMELA (865) 330-7337, ann.bowen@vomela.com

GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com

LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT)

COLOR: LINEN (RUNNING BOND) SIZE: 8"x16"x4"

FINISH: BRUSHED

LIMESTONE TO HAVE 1/4" RAKED MORTAR JOINTS

(MORTAR COLORS TO BE LIGHT BUFF/IVORY)

SUBMIT TO ARCHITECT FOR APPROVAL

GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH

USE STAINLESS STEEL OR GALVANIZED STEEL

L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL

COLOR: GOLD

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS

COLOR: EXTRA DARK BRONZE

W2 DRIVE-THRU WINDOW BY READY ACCESS

SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.

MANUAL OPEN; ELECTRONIC RELEASE

COLOR: DEEP BRONZE

XX SLIDE DIRECTION: RL = RIGHT TO LEFT

LR = LEFT TO RIGHT

L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL

C1-COLOR:

C1= WHITE

C2= BRONZE

LE ACCENT LIGHTING - SEE ELECTRICAL

L1-LED LIGHT:

L1 = SLIM LED (DOWN ONLY)

L2 = INTEGRAL CANOPY FIXTURE

L3 = UP ONLY FLOOD FIXTURE

MF METAL FASCIA

C1-TYPE:

1 = PRE-FAB ANCHOR-TITE FASCIA

2 = BOTTOM TRIM AT METAL REVEAL PANEL

3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES

COLOR:

C1= WEATHERED ZINC

C2= RAL 7022

PB PIPE BOLLARD - PAINTED YELLOW

PT (RMHC) COIN COLLECTOR

MODEL: JFWPT STD

CALL 1-888-743-7435 TO ORDER

RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL

S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

C1-COLOR:

C1= WEATHERED ZINC RACEWAY

C2= RAL 7022 RACEWAY

ST CO2 STROBE/ALARM, SEE MECHANICAL DRAWINGS

FOR SPECIFICATION.

TL TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE

COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

UN METAL UNDERSCORE

COLOR: GOLD

Project

McDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
CASE#:
NWC OF HWY 77 & BUTCHER RD.
WAXAHACHIE
ELLIS COUNTY TEXAS

REGISTERED ARCHITECT
JAW
JAW ARCHITECTS, P.C.
1111 W. WILLOW STREET
SUITE 100
WAXAHACHIE, TEXAS 76093
PH: 817.799.3333
WWW.JAWARCHITECTS.COM

PREPARED FOR:
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McDonald's USA, LLC

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PREPARED BY:
JAW

DRAWN BY:
JAW

STD ISSUE DATE:
2024

REVIEWED BY:
JAW

DATE ISSUED:
02/14/2024

SITE ID:
042-3355

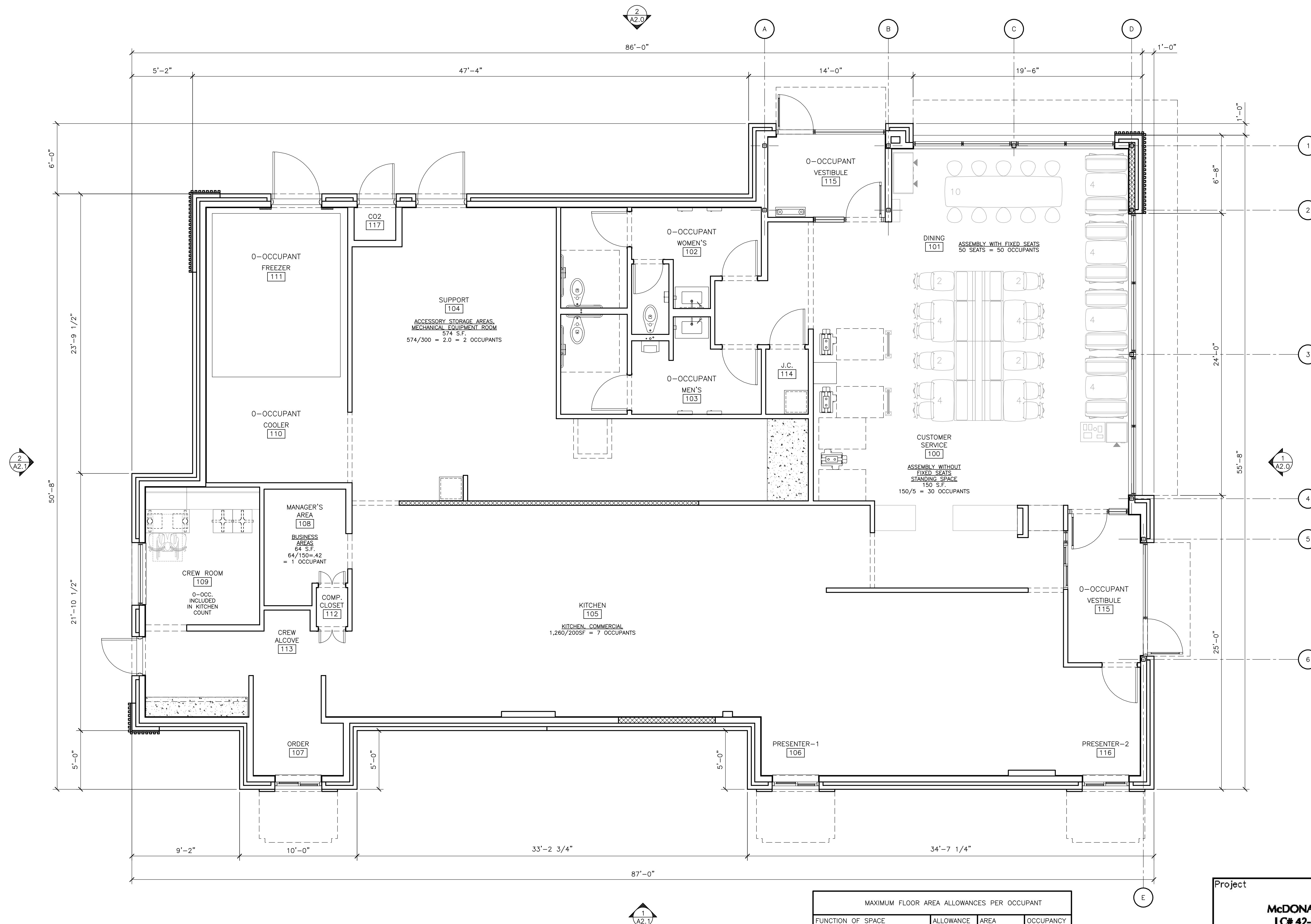
PROJECT:
2023 STANDARD BUILDING - BB20

DESCRIPTION:
WOOD BEARING WALLS W/4" BRICK VENEER
WOOD ROOF TRUSS FRAMING
STUCCO/BATTEN/METAL/BRICK EXTERIOR FINISHES

SHEET NO.:
A2.1a

ELEVATIONS

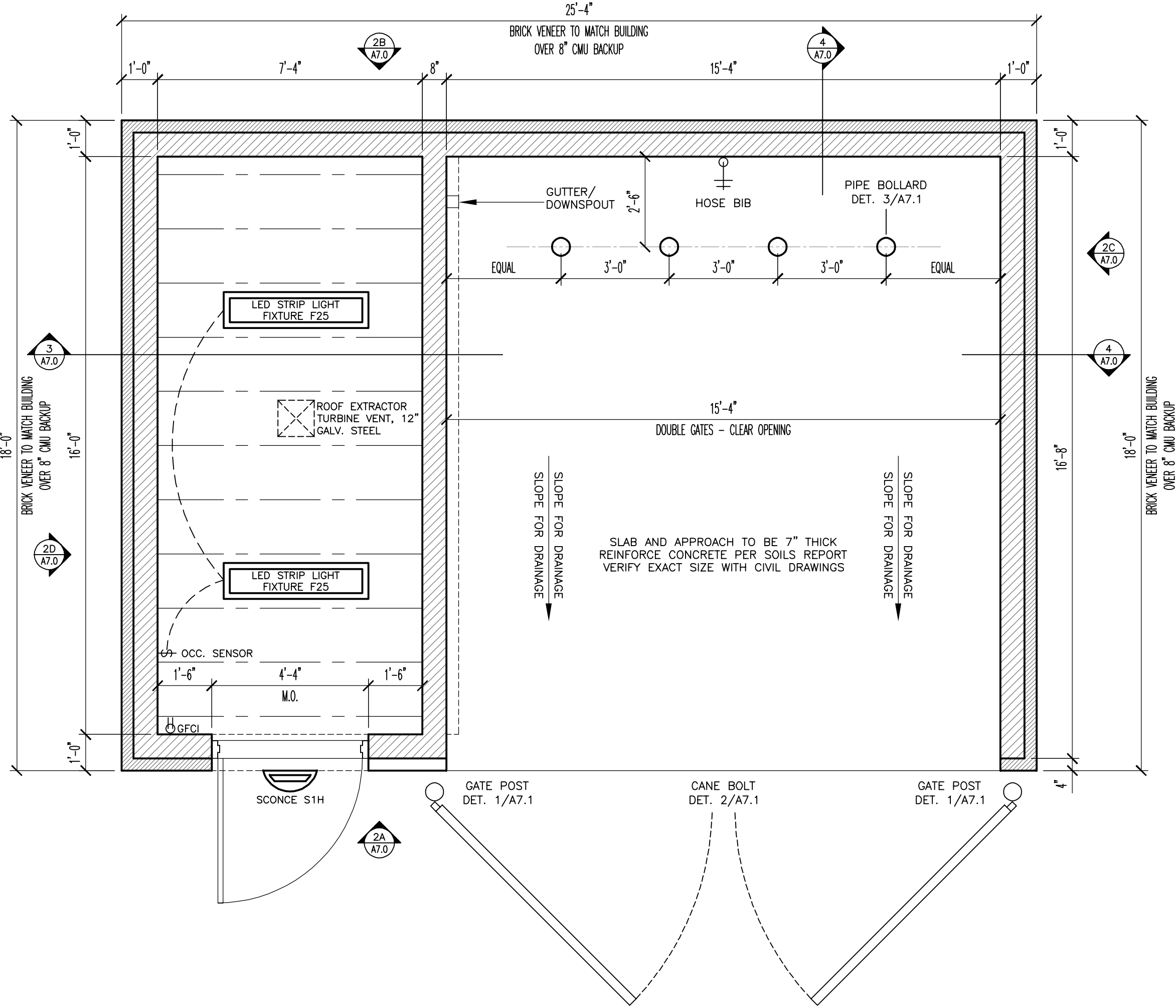
(Item 11&12)



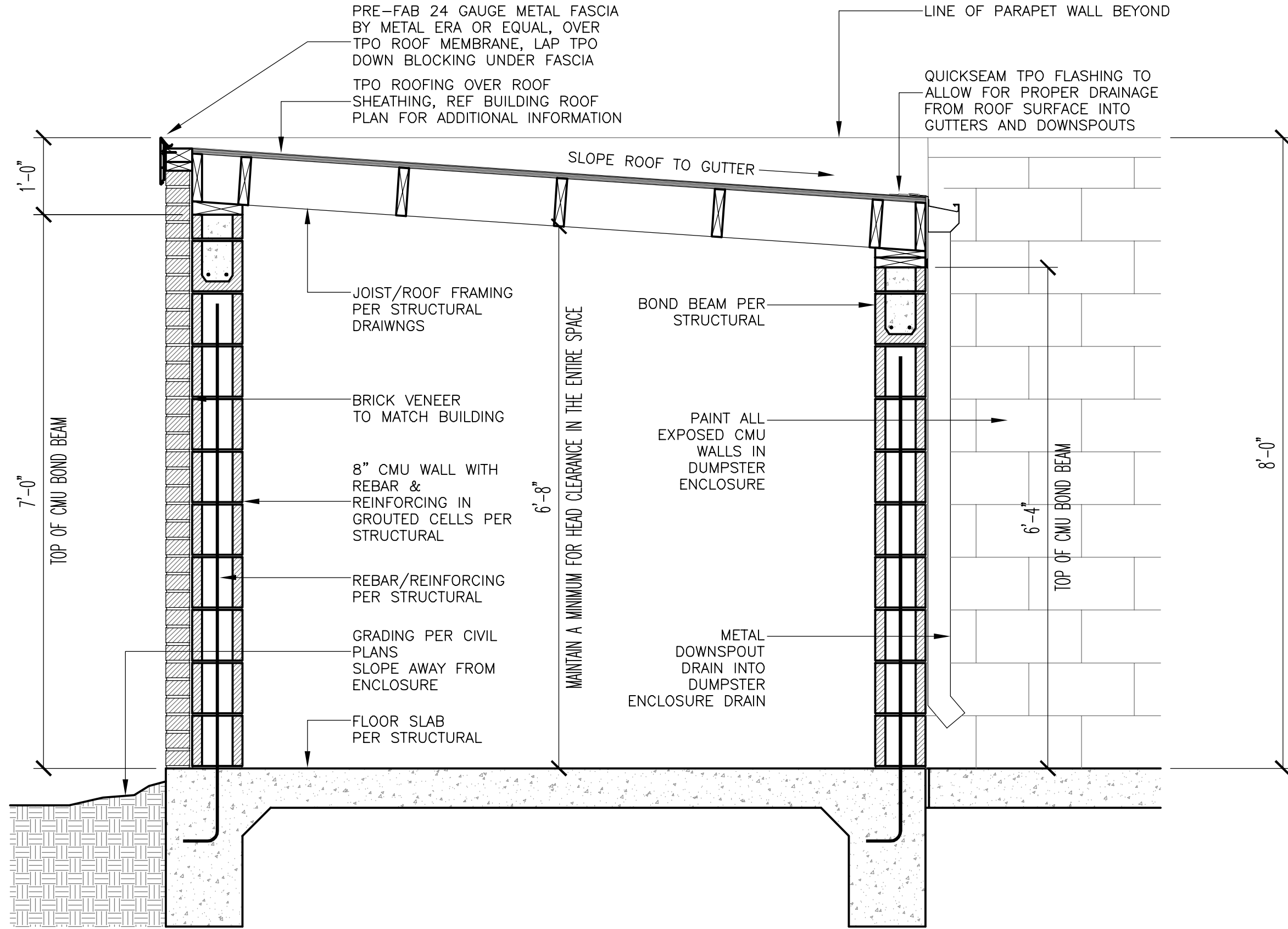
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT			
FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANCY
ACCESSORY STORAGE AREAS	300 GROSS	574 SF	2
ASSEMBLY WITH FIXED SEATS	SEE PLAN	760 SF	50
ASSEMBLY STANDING SPACE	5 NET	150 SF	30
BUSINESS AREAS	150 GROSS	64 SF	1
KITCHENS, COMMERCIAL	200 GROSS	1,260 SF	7
TOTAL BUILDING OCCUPANCY			90

Project

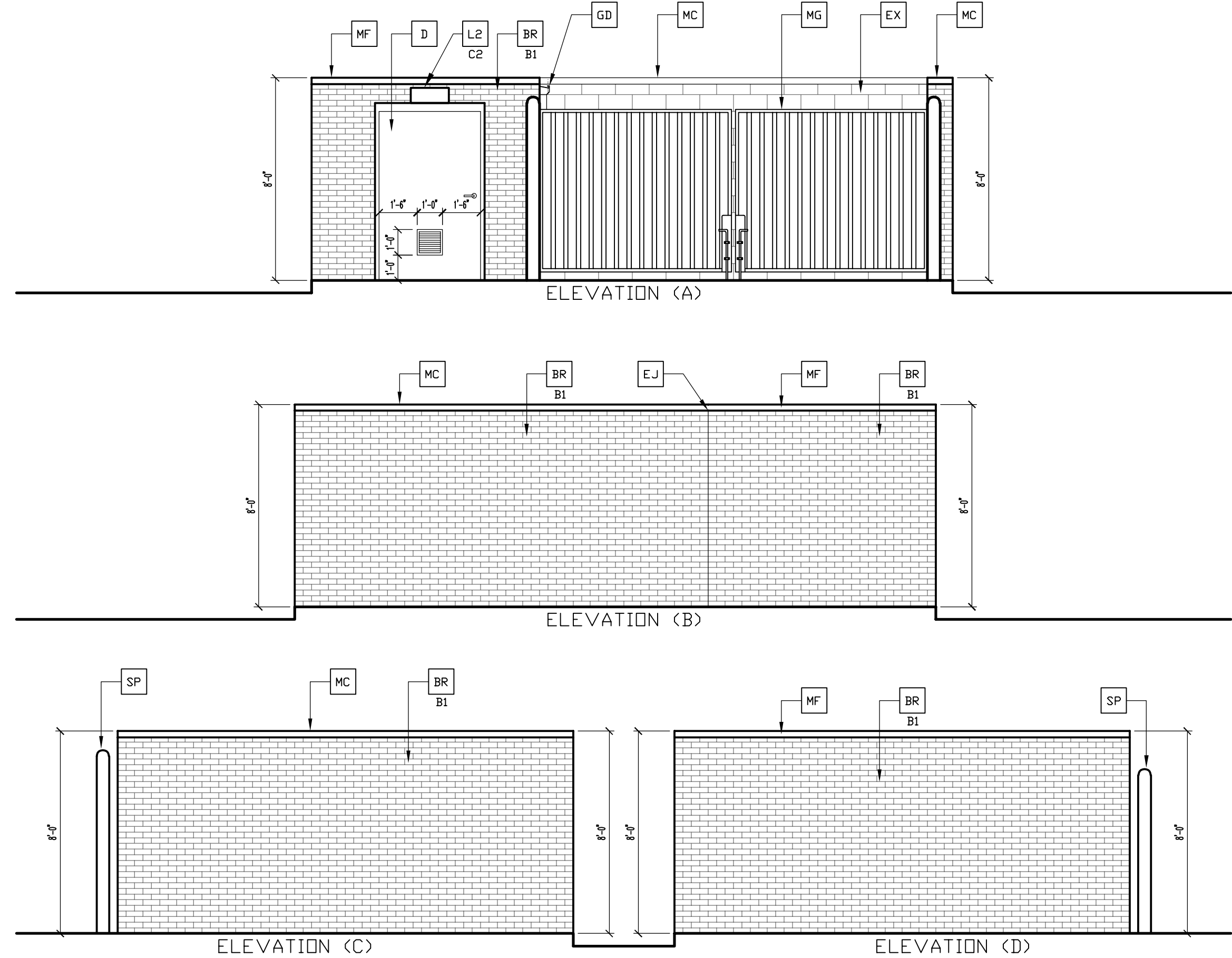
MCDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
CASE#:
NWC OF HWY 77 & BUTCHER RD.
WAXAHACHIE
ELLIS COUNTY TEXAS



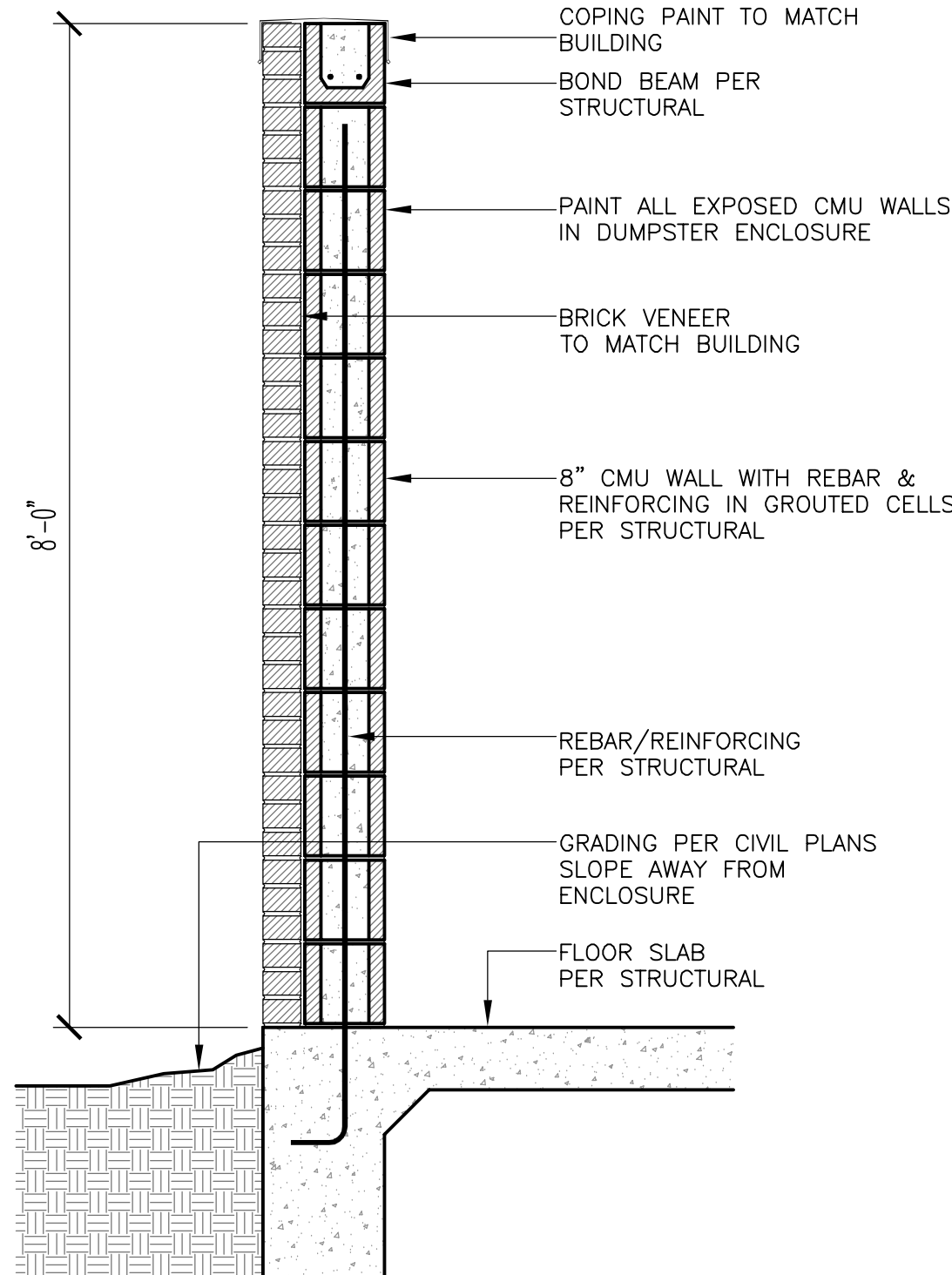
1 DUMPSTER ENCLOSURE PLAN SCALE 3/8"=1'-0"



3 WALL SECTION DETAIL SCALE 3/4"=1'-0"



2 DUMPSTER ELEVATIONS SCALE 1/4"=1'-0"



4 WALL SECTION DETAIL SCALE 3/4"=1'-0"

KEY NOTES:

- BR MODULAR FACE BRICK
- B1 — COLOR:
B1 = "HEBRON" SMOOTH BY HEBRON BRICK COMPANY
- D HOLLOW METAL DOOR
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- MF METAL FASCIA — PRE-FAB ANCHOR-TITE FASCIA
COLOR: RAL 7022
- MC 24 GAUGE ALUMINUM COPING OVER CMU
ENCLOSURE WALLS COLOR TO MATCH "MF"
- SP STEEL CONCRETE FILLED POST
PAINT TO MATCH BUILDING TRIM COLOR
- MG METAL DUMPSTER ENCLOSURE ENTRY GATES, REF
DETAILS AND NOTES, COLOR RAL 7022.
- GD METAL GUTTERS AND DOWNSPOUT
DRAIN INTO DUMPSTER ENCLOSURE DRAIN COLOR
TO MATCH "MF"
- L2 C2 RADIAL SCENCE LIGHT FIXTURE — SEE ELECTRICAL
COLOR: BRONZE
- EX GC TO PAINT EXPOSED CMU BLOCK (INSIDE
ENCLOSURE) TO MATCH RAL 7022

GENERAL NOTES:

GENERAL CONTRACTOR TO PROVIDE 6 INCHES OF EXPOSED GRADE BREAMS AROUND THE STORAGE BUILDING WITH THE EXCEPTION OF THE DOOR LOCATION, COORDINATE WITH THE CIVIL GRADING PLANS.

5/8" PUDDLE WELD B/N DECK & ALL ANGLE TYPICAL IN EACH DECK FLUTE, PROVIDE #12 SCREWS @ 6" O.C. AT ALL DECK S SIDE LAPS.

GENERAL CONTRACTOR TO SUPPLY AND INSTALL CORRUGATED METAL GATES (16 GAUGE) F-DECKING, ALL METAL TO BE PRIMED AND PAINTED TO MATCH THE BUILDING TRIM COLOR, VERIFY WITH ACM.

PROVIDE A 12"x12" LOUVER VENT IN HOLLOW METAL DOOR, SEE ELEVATIONS.

ELECTRICAL NOTES:

OCCUPANCY SENSOR: GC TO PROVIDE A WALL MOUNTED OCCUPANCY SENSOR, REF ELECTRICAL PLANS FOR MORE INFORMATION.

GC TO INSTALL NEW STRIP LIGHT FIXTURE, PER MANF.'S RECOMMENDATIONS, F25 — 42W LED BY COLUMBIA LIGHTING #LCL4-40ML-EDU.

GC TO PROVIDE A 20A, 120V, RECEPTACLE WITHIN 25 FEET OF THE HVAC EQUIPMENT, PER CODE.

ALL LIGHTING/POWER SHALL BE CONNECTED TO AN APPROPRIATE CIRCUIT IN THE MAIN BUILDING PANELS, VERIFY CIRCUITING PRIOR TO ROUGH-IN.

Project

McDONALD'S RESTAURANT
LC# 42-3355 / NSN 39925
TEDDO CROSSING PHASE 1, LOT 1
CASE#:
NWC OF HWY 77 & BUTCHER RD.
WAXAHACHIE
ELLIS COUNTY TEXAS

PREPARED BY:		DRAWN BY:		TITLE:		SHEET NO.		DATE:		DESCRIPTION:	
JAW Architects, Inc.		JAW		2023 STANDARD BUILDING — BB20		4584 — WOOD/WOOD		2024		WOOD BEARING WALLS W/4" BRICK VENEER	
JAW Architects, Inc.		JAW		4584 — WOOD/WOOD		4584 — WOOD/WOOD		2024		WOOD ROOF TRUSS FRAMING	
JAW Architects, Inc.		JAW		4584 — WOOD/WOOD		4584 — WOOD/WOOD		2024		STUCCO/BATEEN/METAL/BRICK EXTERIOR FINISHES	
JAW Architects, Inc.		JAW		4584 — WOOD/WOOD		4584 — WOOD/WOOD		2024		SITE ADDRESS	
JAW Architects, Inc.		JAW		4584 — WOOD/WOOD		4584 — WOOD/WOOD		2024		HIGHWAY 77 & BUTCHER ROAD, WAXAHACHIE TEXAS	
JAW Architects, Inc.		JAW		4584 — WOOD/WOOD		4584 — WOOD/WOOD		2024		042-3355	
JAW Architects, Inc.		JAW		4584 — WOOD/WOOD		4584 — WOOD/WOOD		2024		A7.0	

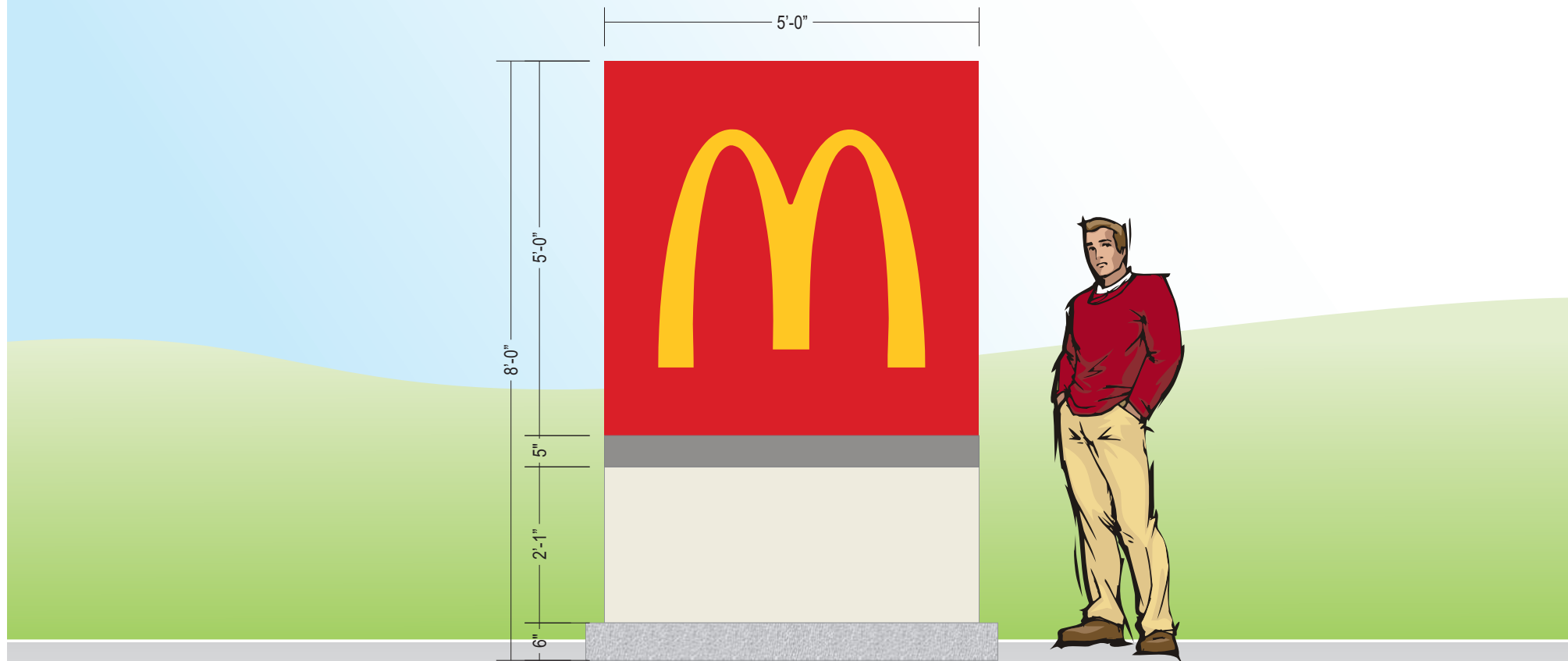


McDonald's

WAXAHACHIE, TX

SIGN PROGRAM BOOK

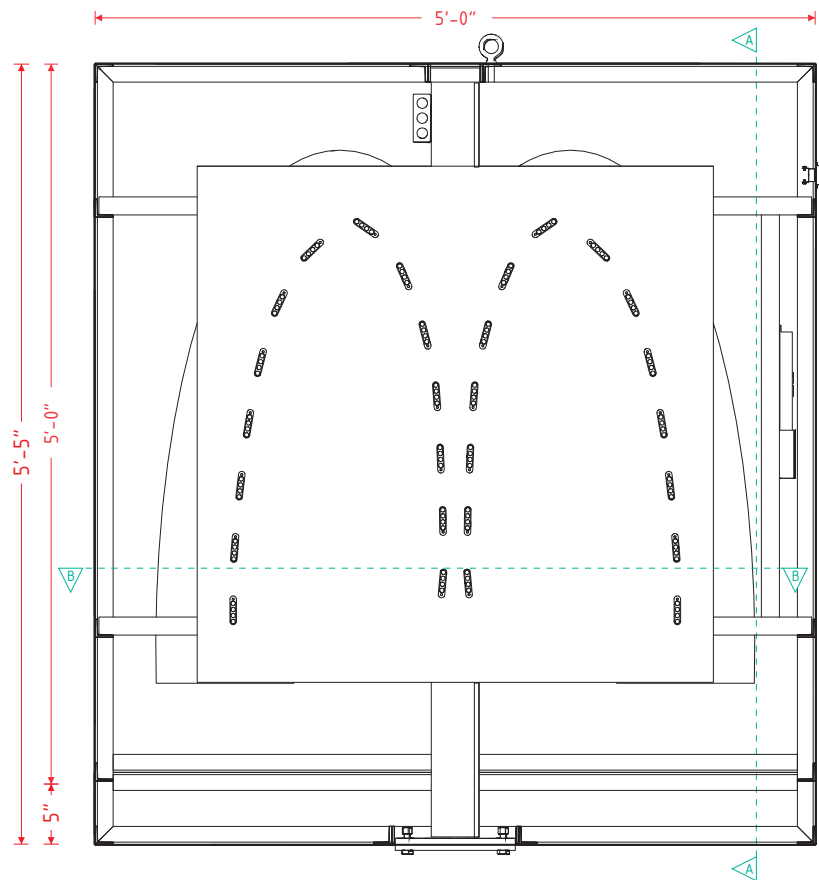




GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"



(Item 11&12)



FRAME & LIGHTING DETAIL
SCALE: 3/4" = 1'-0"

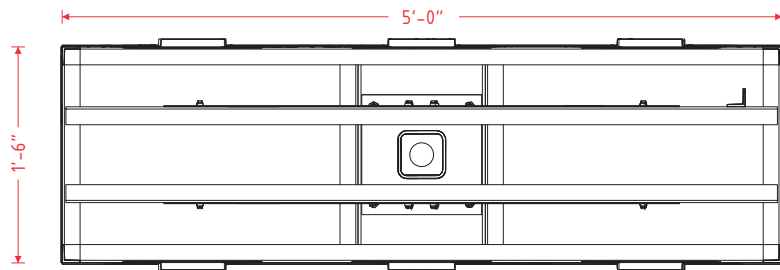
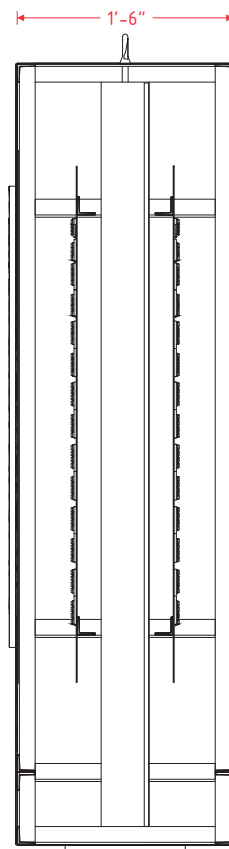
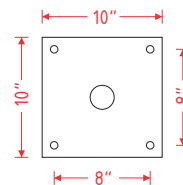


PLATE DETAIL
SCALE: 1 1/2" = 1'-0"



CROSS SECTION A-A
SCALE: 3/4" = 1'-0"



1/2" X 10" X 10" PLATES
5/8" HOLES
1/2" A325 BOLTS
PLATE WILL ACCEPT:
8" PIPE
6" TUBE

PLATE DETAIL
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

FRAME DETAILS:

- 1 1/2" X 1 1/2" X 3/16" ALUMINUM ANGLE FRAME
- BLEED FACE
- .080" ALUMINUM SKINS
- .125" ALUMINUM SKINS (REVEAL FRONT & BACK SKINS ONLY)
- SKINS REMOVABLE FOR SERVICE
- EXTERIOR FINISH:
 - ARCH SECTION: PAINTED NG RED
 - REVEAL PANEL: PAINTED NG SILVER
- INTERIOR FINISH: REFLECTIVE WHITE
- DISCONNECT SWITCH IN END OF CABINET, NEAR TOP
- GE 5000K WHITE LED'S AS REQUIRED MOUNTED TO .063" ALUMINUM BAFFLE
- ELECTRICAL REQUIREMENTS: (1) 20A/120V CIRCUIT
- U.L. LISTED
- PLATE/MATCH PLATE INSTALLATION

ARCH FACE DETAILS:

- .125" ROUTED ALUMINUM PAINTED TO MATCH NG RED STUD MOUNTED TO FRAME
- .118" FORMED NG YELLOW POLYCARBONATE PUSH THROUGH ARCH
- SQUARE FOOTAGE: 25.00 SQ. FT.



GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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