

NOTICE OF PLANNING & ZONING COMMISSION BRIEFING SESSION
JULY 9, 2019
CITY COUNCIL CONFERENCE ROOM
401 S. ROGERS
WAXAHACHIE TEXAS
6:30 P.M.

Agenda

Commission Members: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
David Hudgins
Erik Test

1. Call to Order
2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting
3. Adjourn

This meeting location is wheelchair-accessible. Parking for mobility impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4005 or (TDD) 1-800-RELAY TX

Notice of Potential Quorum
One or more members of the Waxahachie City Council may be present at this meeting.
No action will be taken by the City Council at this meeting.

A G E N D A

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, July 9, 2019 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX

Commission Members: Rick Keeler, Chairman
 Melissa Ballard, Vice Chairman
 Betty Square Coleman
 Bonney Ramsey
 Jim Phillips
 David Hudgins
 Erik Test

1. Call to Order
2. Invocation
3. ***Consent Agenda***

All matters listed under Item 3, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a. Minutes of the regular Planning & Zoning Commission meeting of June 25, 2019
 - b. Minutes of the Planning and Zoning Commission briefing of June 25, 2019
4. ***Continue Public Hearing*** on a request by Matt Moore, ClayMoore Engineering, Inc., for a Specific Use Permit (SUP) for **Drive Through Establishment** use within a Planned Development-42-Commercial zoning district, located at 1750 N Highway 77 (Property ID 263976) – Owner: WAX 77 INVESTORS LP (SU-19-0071)
5. ***Consider*** recommendation of Zoning Change No. SU-19-0071
6. ***Consider*** request by George Susat for a **Replat** of a portion of Block 125, Town Addition, to create Lots 1 and 2, Block A, Susat Addition, 0.493 acres (Property ID 171228 and 171231) – Owner: GEORGE K G JR & PAULA C SUSAT (RP-19-0077)
7. ***Consider*** request by Araceli Aguirre for a **Replat** of Tract 1, Whispering Meadows, Unit 1, to create Lots 1A, 1B, 1C, and 1D, Whispering Meadows, Unit 1, 30.562 acres (Property ID 199206) in the Extra Territorial Jurisdiction – Owner: ROSA L AGUIRRE (RP-19-0069)
8. ***Consider*** request by Chris Acker, Acker Construction, for a Site Plan Review located at 2100 Brown Street (Property ID 204843) – Owner: HAYOUNG & LEE SANG HUH (SP-19-0070)
9. ***Consider*** recommendation of Site Plan Review No. SP-19-0070

10. **Public Hearing** on a request by Jake Torpey, Kimley-Horn., for a Specific Use Permit (SUP) for **Drive Through Establishment** use within a Planned Development-42-Commercial zoning district, located at 1740 N Highway 77 (Property ID 263971) – Owner: WAX 77 INVESTORS LP (SU-19-0078)
11. **Consider** recommendation of Zoning Change No. SU-19-0078
12. **Public Comments:** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.
13. Adjourn

The P&Z reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

Notice of Potential Quorum

***One or more members of the Waxahachie City Council may be present at this meeting.
No action will be taken by the City Council at this meeting.***

Planning and Zoning Commission
June 25, 2019

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, June 25, 2019 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
Erik Test

Member Absent: David Hudgins

Others Present: Shon Brooks, Director of Planning
Colby Collins, Senior Planner
Macey Martinez, Graduate Engineer
Albert Lawrence, Assistant City Manager
Lori Cartwright, City Secretary
Mary Lou Shipley, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of June 11, 2019
- b. Minutes of the Planning and Zoning Commission briefing of June 11, 2019

Action:

Mrs. Bonney Ramsey moved to approve items a. and b. on the Consent Agenda. Ms. Betty Square Coleman seconded, All Ayes.

4. **Consider request by Araceli Aguirre for a Replat of Tract 1, Whispering Meadows, Unit 1, to create Lots 1A, 1B, 1C, and 1D, Whispering Meadows, Unit 1, 30.562 acres (Property ID 199206) in the Extra Territorial Jurisdiction – Owner: ROSA L AGUIRRE (RP-19-0069)**

Chairman Keeler announced the applicant requested to continue RP-19-0069 to the Planning and Zoning Commission meeting of July 9, 2019.

5. **Public Hearing on a request by Matt Moore, ClayMoore Engineering, Inc., for a Specific Use Permit (SUP) for Drive Through Establishment use within a Planned Development-42-Commercial zoning district, located at 1750 N Highway 77 (Property ID 263976) – Owner: WAX 77 INVESTORS LP (SU-19-0071)**

Chairman Keeler opened the Public Hearing and announced the applicant requested to continue SU-19-0071 to the Planning and Zoning Commission meeting of July 9, 2019.

6. Consider recommendation of Zoning Change No. SU-19-0071

Action:

Vice Chairman Melissa Ballard moved to continue a request by Matt Moore, ClayMoore Engineering, Inc., for a Specific Use Permit (SUP) for Drive Through Establishment use within a Planned Development-42-Commercial zoning district, located at 1750 N Highway 77 (Property ID 263976) – Owner: WAX 77 INVESTORS LP (SU-19-0071) to the Planning and Zoning Commission meeting of July 9, 2019. Mr. Jim Phillips seconded, All Ayes.

7. Public Hearing on a request by Mark Thedford, Akamai Designs, for a Zoning Change from a Single-Family Residential-1 zoning district to Planned Development-Single-Family Residential-1, with Concept Plan, located at 106 Santa Fe Trail (Property ID 221873) - Owner: AKAMAI DESIGNS INC (PD-19-0072)

Chairman Keeler announced the applicant withdrew their application.

8. Consider recommendation of Zoning Change No. PD-19-0072

Action:

None

9. Consider request by Cory Murray, M. Sharp Family L.P., for a Final Plat of Murray Estates for 37 lots, being 39.60 acres situated in F.M. Woodward Survey, Abstract 1120 (Property ID 192138) in the Extra Territorial Jurisdiction – Owner: M SHARP FAMILY LIMITED PARTNERSHIP (FP-19-0068)

Senior Planner Colby Collins reported the Preliminary Plat was approved by City Council in 2017. He stated the request meets the Sub Division regulations and recommended approval per staff comments.

Action:

Vice Chairman Melissa Ballard moved to approve a request by Cory Murray, M. Sharp Family L.P., for a Final Plat of Murray Estates for 37 lots, being 39.60 acres situated in F.M. Woodward Survey, Abstract 1120 (Property ID 192138) in the Extra Territorial Jurisdiction – Owner: M SHARP FAMILY LIMITED PARTNERSHIP (FP-19-0068) subject to staff comments. Mrs. Bonney Ramsey seconded, All Ayes.

10. Consider request by Christopher P. Holleman, Holleman Construction Co., for a Final Plat of Holleman Addition for 1 lot, being 7.085 acres situated in the Alfred Polk Survey, Abstract 827 (Property ID 189014) – Owner: HOLLEMAN CONSTRUCTION COMPANY INC (FP-19-0074)

Mr. Collins reported the Preliminary Plat was approved by City Council in 2017. He stated the request is consistent with City of Waxahachie regulations noting a letter of acceptance will be required from the City Public Works Department before filing the plat. Mr. Collins recommended approval per staff comments.

Action:

Mr. Jim Phillips moved to approve a request by Christopher P. Holleman, Holleman Construction Co., for a Final Plat of Holleman Addition for 1 lot, being 7.085 acres situated in the Alfred Polk Survey, Abstract 827 (Property ID 189014) – Owner: HOLLEMAN CONSTRUCTION COMPANY INC (FP-19-0074) subject to staff comments. Mr. Erik Test seconded, All Ayes

- 11. Consider request by Gunther Strength for a Replat of Lot 1, Block 13, Bullards Addition, to create Lots 1A and 1B, Bullards Addition, .3206 acres (Property ID 172392) – Owner: DONALD I & PEGGY E COLE REVOCABLE LIVING TRUST (RP-19-0075)**

Mr. Collins reported the applicant proposes to replat one lot into two lots. He stated the applicant will need to provide a letter stating the water and sewer services will be installed before the recording of the plat. Mr. Collins recommended approval per staff comments.

Action:

Mrs. Bonney Ramsey moved to approve a request by Gunther Strength for a Replat of Lot 1, Block 13, Bullards Addition, to create Lots 1A and 1B, Bullards Addition, .3206 acres (Property ID 172392) – Owner: DONALD I & PEGGY E COLE REVOCABLE LIVING TRUST (RP-19-0075) subject to staff comments. Mr. Erik Test seconded, All Ayes.

- 12. Consider request by Wes Dorough, JH Development LLC, for a Final Plat of The Haven Phase One for 101 residential lots and 2 open space lots, being 36.567 acres situated in the Robert Russell Survey, Abstract 911 (Property ID 274596) – Owner: JHH NORTH GROVE DEVELOPMENT LLC (FP-19-0067)**

Mr. Collins reported the Preliminary Plat was approved by City Council in 2016. He stated a letter of acceptance will be required from the City Public Works Department before filing the plat. Mr. Collins recommended approval per staff comments.

Action:

Mr. Jim Phillips moved to approve a request by Wes Dorough, JH Development LLC, for a Final Plat of The Haven Phase One for 101 residential lots and 2 open space lots, being 36.567 acres situated in the Robert Russell Survey, Abstract 911 (Property ID 274596) – Owner: JHH NORTH GROVE DEVELOPMENT LLC (FP-19-0067) subject to staff comments. Ms. Betty Square Coleman seconded, All Ayes.

- 13. Public Hearing on a request by Ron Barson, Ledbetter Real Estate LTD, for a Specific Use Permit (SUP) for Unified Lot Sign use within a Planned Development-General Retail zoning district, located at 2751 N Highway 77 (Property ID 273976) – Owner: LEDBETTER REAL ESTATE LTD (SU-19-0073)**

Chairman Keeler opened the Public Hearing.

Mr. Collins reported the proposed monument sign will be consistent with the first sign located in the North Grove Business Park. He recommended approval subject to the maximum height for

the sign shall not exceed 35 feet and the maximum square footage for the sign shall not exceed 385 square feet.

There being no others to speak for or against SU-19-0073, Chairman Keeler closed the Public Hearing.

14. Consider recommendation of Zoning Change No. SU-19-0073

Action:

Vice Chairman Melissa Ballard moved to approve a request by Ron Barson, Ledbetter Real Estate LTD, for a Specific Use Permit (SUP) for Unified Lot Sign use within a Planned Development-General Retail zoning district, located at 2751 N Highway 77 (Property ID 273976) – Owner: LEDBETTER REAL ESTATE LTD (SU-19-0073) subject to staff comments. Mrs. Bonney Ramsey seconded, All Ayes.

15. Continue Public Hearing on a request by Joy Ranton, Daniel's Den, for a Zoning Change from a Planned Development-28-General Retail zoning district to Planned Development-General Retail, with Concept Plan, to allow a Household Care Facility located at 512 N College Street (Property ID 170716) - Owner: ALFRED A & RHONNIE D TOMPKINS (PD-19-0066)

Chairman Keeler continued the Public Hearing.

Mr. Collins reported the proposed planned development is limited to transitional housing and retail. He stated the applicant is proposing the use of the first floor for a resale shop, Community Involvement Area, and Office. The second floor is proposed for transitional housing for women and children consisting of four bedrooms, two kitchens and two bathrooms. Mr. Collins stated the applicant originally proposed a capacity of thirteen and amended it to a capacity of ten. He noted the proposed parking will have eight parking spaces and additional proposals included 6 foot wood fencing, entrance gate, and a donation receptacle behind the property. Mr. Collins stated staff concern is it is inconsistent with the use of the surrounding neighborhood. He reported within the 200 foot notification area staff received 2 letters of support and 4 letters of opposition. Outside the 200 foot notification area staff received 6 letters of support and 2 letters of opposition. Staff recommended denial.

Mr. Ken Box, 109 West Marvin, Waxahachie, representing the applicant, asked for a continuance to the Planning and Zoning Commission meeting of July 23, 2019.

Those who spoke against PD-19-0066:

Mr. John Bryant, 107 McKenzie, Waxahachie

Mr. William Hannon, 508 N. College Street, Waxahachie

Mr. Jamie Mills, 516 N. College, Waxahachie

Those who spoke for PD-19-0066:

Ms. Janet Marusak, 109 Audra Avenue, Waxahachie

Ms. Melissa Rollins, 963 El Camino Road, Waxahachie

Mr. James Bell, 106 Chapman Circle, Waxahachie

Ms. Rose Cameron, 221 Patrick Street, Waxahachie
Mr. John Schneider, 414 N. College, Waxahachie
Ms. Joy Ranton, 121 Solon Road, Waxahachie
Pastor Bruce Zimmerman, 209 Brown Street, Waxahachie

16. Consider recommendation of Zoning Change No. PD-19-0066

Action:

Mr. Jim Phillips moved to continue a request by Joy Ranton, Daniel's Den, for a Zoning Change from a Planned Development-28-General Retail zoning district to Planned Development-General Retail, with Concept Plan, to allow a Household Care Facility located at 512 N College Street (Property ID 170716) - Owner: ALFRED A & RHONNIE D TOMPKINS (PD-19-0066) to the Planning and Zoning Commission meeting of July 23, 2019. Vice Chairman Melissa Ballard seconded, All Ayes.

17. Public Comments

None

18. Adjourn

Planning Director Shon Brooks thanked Ms. Macey Martinez, Graduate Engineer, for sitting in for City Engineer James Gaertner. He congratulated Ms. Martinez for recently passing her Engineering in Training (EIT) Exam.

Ms. Betty Square Coleman announced the Oak Lawn Reunion street dance will be held on July 4, 2019 and invited everyone to attend.

Mrs. Bonney Ramsey announced the upcoming Crape Myrtle Festival will be held July 3-4, 2019. On July 3rd at Lumpkins Stadium Parking Lot the tailgate party will start at 5:00 p.m. with entertainment at 7:30 p.m. followed by fireworks at 9:00 p.m. She announced the July 4th parade will be held downtown starting at 10:00 a.m. and encouraged all to reach out to the veterans to participate in the parade.

There being no further business, the meeting adjourned at 8:10 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary

Planning and Zoning Commission
June 25, 2019

The Waxahachie Planning & Zoning Commission held a briefing session on Tuesday, June 25, 2019 at 6:15 p.m. in the City Council Conference Room at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
Erik Test

Member Absent: David Hudgins

Others Present: Shon Brooks, Director of Planning
Colby Collins, Senior Planner
Macey Martinez, Graduate Engineer
Albert Lawrence, Assistant City Manager
Lori Cartwright, City Secretary
Mary Lou Shipley, Council Representative

1. Call to Order

Chairman Rick Keeler called the meeting to order.

2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting

Director of Planning Shon Brooks announced the Commissioners bus tour will be July 12, 2019. He asked the Commission to confirm their attendance.

Senior Planner Colby Collins announced RP-19-0069 and SU-19-0071 will be continued to the Planning and Zoning Commission meeting of July 9, 2019. He announced PD-19-0072 has been withdrawn by the applicant.

Mr. Collins reviewed the following cases:

- FP-19-0068, Final Plat of Murray Estates. Staff recommended approval.
- FP-19-0074, the PD and Preliminary Plat was approved in 2017. Staff recommended approval subject Public Works letter of acceptance before the plat can be filed.
- RP-19-0075, applicant proposes to divide one lot into two lots. Staff recommended approval and prior to filing the plat the applicant will be required to provide a letter stating the water and sewer services will be installed.
- FP-19-0067, Final Plat of The Haven Phase One. Staff recommended approval subject to Public Works letter of acceptance before the plat can be filed.
- SU-19-0073, applicant proposes a unified lot sign within the North Grove Business Park. The applicant proposes to construct a similar monument sign that was approved in 2017. Staff recommended approval subject to the maximum height not to exceed 35 feet and maximum square footage not to exceed 385 square feet.
- PD-19-0066, applicant proposes a zoning change to allow a transitional housing facility at 512 N. College Street. Daniel's Den proposes to use the two story home as a resale

shop, community involvement area, and office on the first floor. The second floor will be used for transitional housing and consist of four bedrooms, two kitchens, and two bathrooms. The maximum occupancy is ten. Staff reviewed a sketch of the parking lot noting more detail will be required. Additional proposals included a 6 foot privacy fence, entrance gate on the back of the property and a donation receptacle. Staff recommended to deny due to the historic character of the neighborhood and opposition from surrounding neighbors.

3. Adjourn

There being no further business, the meeting adjourned at 6:56 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary



Memorandum

To: Honorable Mayor and City Council

From: Shon Brooks, Director of Planning

Thru: Tommy Ludwig, Assistant City Manager 

Date: July 2, 2019

Re: SU-19-0071 – Drive Through Establishment (Car Wash)

On July 2, 2019, the applicant requested to continue case no. SU-19-0071 to the July 23, 2019 Planning and Zoning Commission agenda, and the August 5, 2019 City Council meeting agenda.

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0077



MEETING DATE(S)

Planning & Zoning Commission: July 9, 2019

City Council: July 15, 2019

CAPTION

Consider request by George Susat for a Replat of a portion of Block 125, Town Addition, to create Lots 1 and 2, Block A, Susat Addition, 0.493 acres (Property ID 171228 and 171231) – Owner: GEORGE K G JR & PAULA C SUSAT (RP-19-0077)

CASE INFORMATION

Applicant: George Susat

Property Owner(s): George K G Jr. and Paula C Susat

Site Acreage: 0.493 acres

Number of Lots: 2 lots

Number of Dwelling Units: 1 unit

Park Land Dedication: Cash in lieu of park land dedication for the property is set at \$400.00. This fee must be paid before the plat is filed.

Adequate Public Facilities: Adequate public facilities are available for part of this property. Sewer will need to be established for part of the property facing W Criddle St.

SUBJECT PROPERTY

General Location: 415 Brown Street

Parcel ID Number(s): 171228 and 171231

Current Zoning: Single Family-2

Existing Use: Currently the property is one lot with a house located on the Eastern half.

Platting History: LOT 2A BLK 125 TOWN

Site Aerial:



STAFF CONCERNS

At the time of this report (6/28/19), a few engineering comments still need to be addressed:

1. A utility investigation will be required to ensure the new lot can be served with sanitary sewer.
2. Water and sanitary sewer services need to be installed prior to the recording of the plat.

APPLICANT RESPONSE TO CONCERNS

1. The applicant submitted an updated plat that addressed P&Z comments as well as one engineering comment. The remaining comments above will need to be addressed before the plat can be filed.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. A utility investigation will be required to ensure the new lot can be served with sanitary sewer.
 2. Water and sanitary sewer services need to be installed prior to the recording of the plat.

ATTACHED EXHIBITS

1. Plat drawing.

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

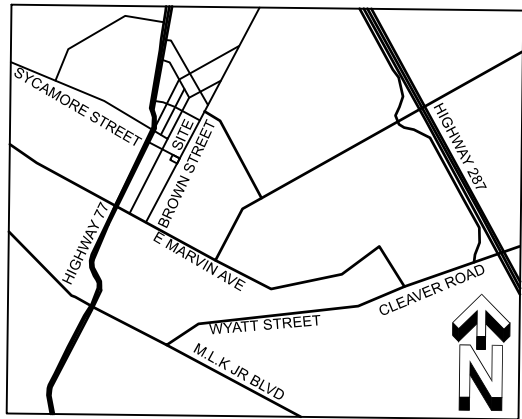
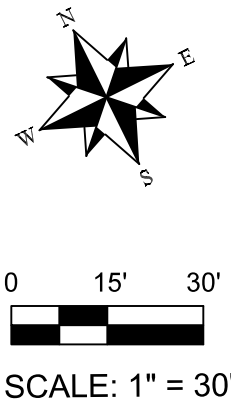
cwebb@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



VICINITY MAP
1" =3000'

NOTES:

BEARING BASIS FOR THIS SURVEY IS TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83 PER GPS OBSERVATIONS

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" , ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48139C0190F, DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGEND

CIRS= 5/8 IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET
FND= FOUND
IRF= IRON ROD FOUND
OPRECT= OFFICIAL PUBLIC RECORDS ELLIS COUNTY TEXAS
(xxxx) = RECORD CALL

STATE OF TEXAS :

COUNTY OF ELLIS : KNOW ALL MEN BY THESE PRESENTS:

WHEREAS GEORGE KARL GUSTAVE SUSAT, JR & PAULA CORICH SUSAT ARE THE SOLE OWNER OF A TRACT OF LAND DESCRIBED IN DEED GEORGE KARL GUSTAVE SUSAT, JR & PAULA CORICH SUSAT, RECORDED IN VOLUME 758, PAGE 319, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT), ALSO BEING A PORTION OF BLOCK 125, OFFICIAL MAP OF WAXAHACHIE, RECORDED IN CABINET A, SLIDE 181, OPRECT AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID SUSAT TRACT, BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY (ROW) LINE OF CRIDDLE STREET (CALLED 51' ROW) AND THE EAST ROW LINE OF AN ALLEY (VARIABLE WIDTH);

THENCE S 63°40'07" E, ALONG THE NORTH LINE OF SAID SUSAT TRACT AND THE COMMON SOUTH ROW LINE OF SAID CRIDDLE STREET, A DISTANCE OF 208.70 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID SUSAT TRACT, BEING THE INTERSECTION OF THE SOUTH ROW LINE OF SAID CRIDDLE STREET AND THE WEST ROW LINE OF BROWN STREET (CALLED 110' ROW);

THENCE S 26°19'56" W, ALONG THE EAST LINE OF SAID SUSAT TRACT AND THE COMMON WEST ROW LINE OF SAID BROWN STREET, A DISTANCE OF 102.55 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID SUSAT TRACT AND THE COMMON NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO AMBER HALE, RECORDED IN VOLUME 2741, PAGE 522, OPRECT;

THENCE S 26°19'56" W, ALONG THE SOUTH LINE OF SAID SUSAT TRACT AND THE COMMON NORTH LINE OF SAID HALE TRACT, A DISTANCE OF 208.70 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE SOUTHWEST CORNER OF SAID SUSAT TRACT AND THE COMMON NORTHWEST CORNER OF SAID HALE TRACT, IN THE EAST ROW LINE OF SAID ALLEY;

THENCE N 26°19'53" E, ALONG THE WEST LINE OF SAID SUSAT TRACT AND THE COMMON EAST ROW LINE OF SAID ALLEY, A DISTANCE OF 103.40 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.493 ACRES OF LAND, MORE OR LESS.

KNOW ALL MEN BY THESE PRESENTS:

THAT I, TIMOTHY L. JACKSON, RPLS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON AS SET WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WAXAHACHIE.

"PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT"

TIMOTHY L. JACKSON,
REGISTERED PROFESSIONAL
LAND SURVEYOR
REGISTRATION NUMBER 5644

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WE, GEORGE KARL GUSTAVE SUSAT, JR AND PAULA CORICH SUSAT, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS SUSAT ADDITION, AN ADDITION TO THE CITY OF WAXAHACHIE, TEXAS, AND DO HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. THE STREETS AND ALLEYS ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF WAXAHACHIE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF WAXAHACHIE'S USE THEREOF. THE CITY OF WAXAHACHIE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHIE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WAXAHACHIE, TEXAS

WITNESS, MY HAND, THIS THE _____ DAY OF _____, 2019.

GEORGE KARL GUSTAVE SUSAT, JR

PAULA CORICH SUSAT

STATE OF TEXAS :

COUNTY OF ELLIS:

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED GEORGE KARL GUSTAVE SUSAT, JR, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2019.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

STATE OF TEXAS :

COUNTY OF ELLIS:

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED PAULA CURICH SUSAT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2019.

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

APPROVED BY: PLANNING AND ZONING COMMISSION CITY OF WAXAHACHIE

BY: _____ DATE _____
CHAIRPERSON

APPROVED BY: CITY COUNCIL
CITY OF WAXAHACHIE

BY: _____ DATE _____
MAYOR

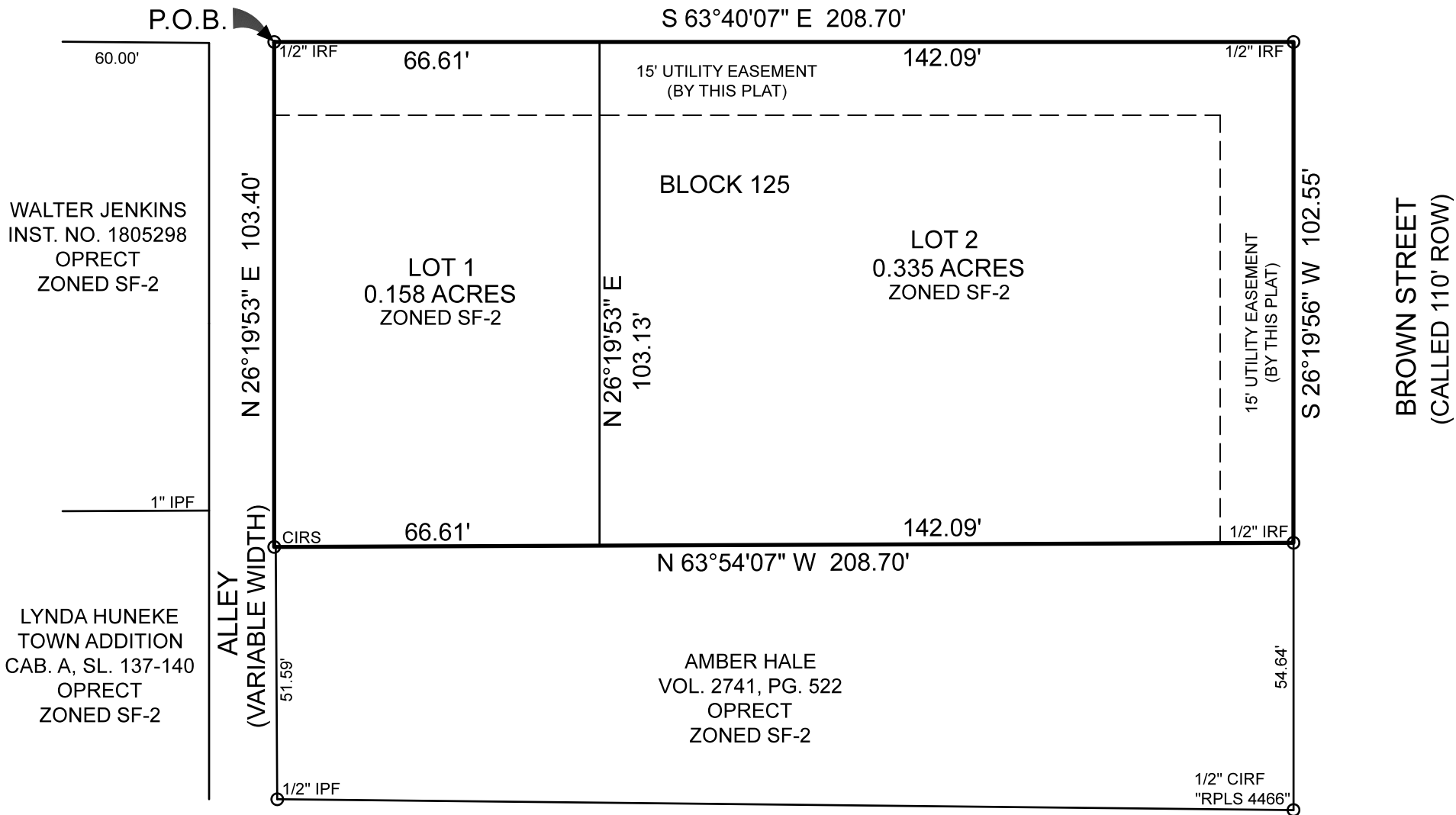
ATTEST _____ DATE _____

DAVID G. TIDWELL &
KATHRYN L. TIDWELL
VOL. 815, PG. 847
OPRECT
ZONED SF-2
70.00'

ADAN B. RODRIGUEZ &
MARIA GLORIA RODRIGUEZ
VOL. 2476, PG. 1990
OPRECT
ZONED SF-2
75.00'

DAVID ALLEN FELTS &
ALICE D. FELTS
VOL. 940, PG. 749
OPRECT
ZONED SF-2
131.8'

CRIDDLE STREET
(CALLED 51' ROW)



REPLAT SUSAT ADDITION

BEING A REPLAT OF A PORTION OF
BLOCK 125

OFFICIAL MAP OF WAXAHACHIE
CABINET A, SLIDE 181
PLAT RECORDS, ELLIS COUNTY
TEXAS

CITY OF WAXAHACHIE, TEXAS
ELLIS COUNTY, TEXAS

0.493 ACRES

2 LOTS

ZONED SF-2

OWNER:
GEORGE KARL GUSTAVE SUSAT &
PAULA SUSAT
415 BROWN STREET
WAXAHACHIE, TX 75165
214.801.1740

SURVEYOR:
TEXAS REALITY CAPTURE &
SURVEYING, LLC.
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469.518.0338
TBPLS FIRM NO 10194359

JOB NO. 1238

MAY 2019

PAGE 1 OF 1

RP-19-0077

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0069



MEETING DATE(S)

Planning & Zoning Commission: June 25, 2019

City Council: July 1, 2019

CAPTION

Consider request by Araceli Aguirre for a **Replat** of Tract 1, Whispering Meadows, Unit 1, to create Lots 1A, 1B, 1C, and 1D, Whispering Meadows, Unit 1, 30.562 acres (Property ID 199206) in the Extra Territorial Jurisdiction – Owner: ROSA L AGUIRRE (RP-19-0069)

CASE INFORMATION

Applicant: Araceli Aguirre

Property Owner(s): Rosa L Aguirre

Site Acreage: 30.562 acres

Number of Lots: 4 lots

Number of Dwelling Units: 4 units

Park Land Dedication: ETJ (N/A)

Adequate Public Facilities: A water letter was received from Rockett SUD. Rockett SUD will require applicant to place the approximate location of Rockett SUD's 4" waterline on the plat.

SUBJECT PROPERTY

General Location: 1615 Wilson Road

Parcel ID Number(s): 199206

Current Zoning: N/A (ETJ)

Existing Use: Largely unused land with 3 spaced out homesteads constructed on it.

Platting History: LOT 1 WHISPERING MEADOWS was approved by City Council on 5/31/2006

Site Aerial:



STAFF CONCERNS

1. Several clerical issues still need to be address with this plat.
2. The applicant is also seeking a variance from the county in an effort to reduce the 150' frontage dedication required by Ellis County.
3. The applicant needs to show the 4" water line that runs through the property.
4. A waiver will be needed for fire flow.

APPLICANT RESPONSE TO CONCERNS

1. At the time of this report (6/28/2019), the applicant has still not submitted an updated plat addressing staff comments.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following comments:
 1. A variance from the County will be needed to reduce the required 150' frontage dedication.
 2. The approximate location of Rockett SUD's 4" water line will need to be reflected on the plat.
 3. The clerical issues will need to be addressed before the plat can be filed.
 4. The plat cannot be filed without a variance from the County.
 5. A waiver will be needed for fire flow.

ATTACHED EXHIBITS

1. Plat drawing.
2. Water Letter.

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

cwebb@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: Araceli Aguirre Parcel ID #: 199206
Subdivision Name: _____

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3765
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat. <i>not approved - have comments</i>	<input type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations. <i>not required</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines. <i>Minimum of 8" line is required</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. The water line size servicing the lots is <u>4"</u> inches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Kay Phillips

Print Name of General Manager of water provider or Designee

Rockett S.U.D

Name of water provider company

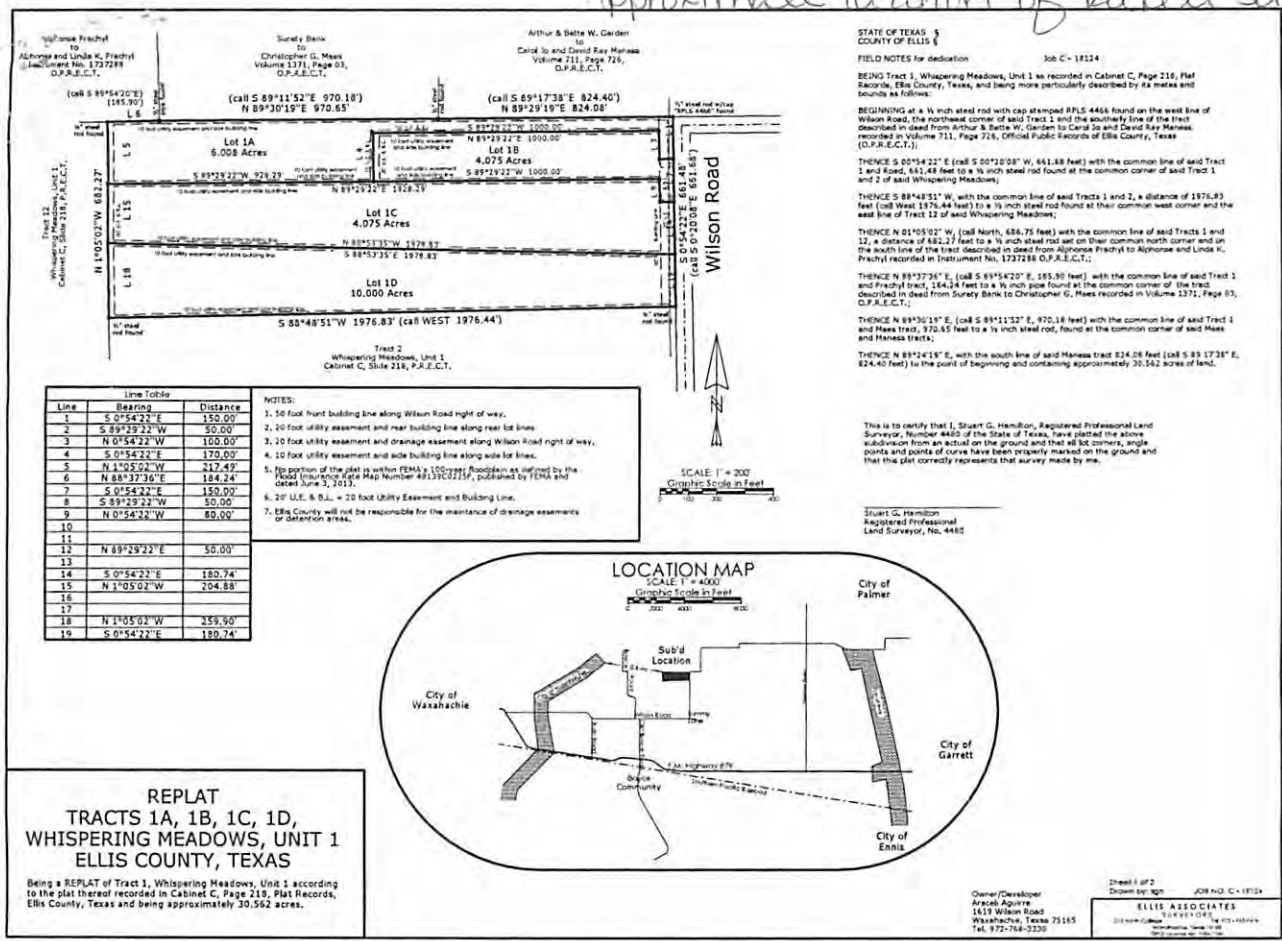
Kay Phillips

Signature of General Manager of water provider or Designee

05-10-19

Date

Approximate location of Rockett SUB 4" water line



STATE OF TEXAS
COUNTY OF ELLIS

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT Clear and Araceli Aguirre, Benito R. Valdez and Jose B. Valdez, as hereby certified and attested the plat designating the former owner described property as REPLAT TRACTS 1A, 1B, 1C, 1D, WHISPERING MEADOWS, UNIT 1, a subdivision in the Ellis County, and now hereby certify to the public use for the streets and other street purposes, The Clear and Araceli Aguirre, Benito R. Valdez and Jose B. Valdez, do hereby certify the following:

1. The streets and other streets are dedicated to the public use for street and other purposes.
2. All public improvements and dedications shall be free and clear of all debts, liens, and/or encumbrances.
3. The easements and public use areas, as shown, and created by this plat, are dedicated for the public use for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown.
5. Ellis County is not responsible for replacing any improvements in, under or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use in using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public use and Ellis County use thereof.
7. Ellis County under public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. Ellis County and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, repairing, maintaining, installing, altering, and adding to or removing all or parts of their respective systems within the easements at any time without compensation from anyone.
9. All modifications to this document shall be by means of plat and approved by Ellis County.

This plat is approved subject to all existing ordinances, rules, regulations and resolutions of the Ellis County, Texas.

WITNESS, my hand, this _____ day of _____, 20____.

Clear Aguirre
STATE OF TEXAS
COUNTY OF ELLIS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Clear Aguirre known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public: _____ My Commission Expires On: _____

WITNESS, my hand, this _____ day of _____, 20____.

Benito R. Valdez
STATE OF TEXAS
COUNTY OF ELLIS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Benito R. Valdez known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public: _____ My Commission Expires On: _____

WITNESS, my hand, this _____ day of _____, 20____.

Jose B. Valdez
STATE OF TEXAS
COUNTY OF ELLIS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Jose B. Valdez known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public: _____ My Commission Expires On: _____

WITNESS, my hand, this _____ day of _____, 20____.

**STATE OF TEXAS
COUNTY OF ELLIS**

CITY ETJ SIGNATURE BLOCK INFORMATION
CITY OF WAXAHACHIE, TEXAS FINAL PLAT APPROVAL

Certificate of approval by the Commissioners Court of Ellis County.

Approved this date, the _____ day of _____, 20____.

REPLAT APPROVED BY: Planning and Zoning Commission
City of Waxahachie

By: _____ Date: _____

APPROVED BY: City Council
City of Waxahachie

By: _____ Date: _____

Attest: _____ Date: _____

Randy Stinson
Commissioner Precinct #1

Lane Grayson
Commissioner Precinct #2

Paul Perry
Commissioner Precinct #3

Kyle Butler
Commissioner Precinct #4

REPLAT TRACTS 1A, 1B, 1C, 1D, WHISPERING MEADOWS, UNIT 1 ELLIS COUNTY, TEXAS

Being a REPLAT of Tract 1, Whispering Meadows, Unit 1 according to the plat thereof recorded in Cabinet C, Page 218, Plat Records, Ellis County, Texas and being approximately 30.562 acres.

Owner/Developer:
Araceli Aguirre
1618 Wilson Road
Waxahachie, Texas 75165
Tel. 972-768-3330

Drawn by: JGN JOB NO. C-18124

ELLIS ASSOCIATES
SURVEYORS
177 South College
Waxahachie, Texas 75165
Tel. 972-768-3330

Planning & Zoning Department

Zoning Staff Report



Case: SP-19-0070

MEETING DATE(S)

Planning & Zoning Commission: July 9, 2019 (continued from June 25, 2019)

City Council: July 15, 2019

CAPTION

Consider request by Chris Acker, Acker Construction, for a Site Plan Review located at 2100 Brown Street (Property ID 204843) – Owner: HAYOUNG & LEE SANG HUH (SP-19-0070)

CASE INFORMATION

Applicant: Chris Acker, Acker Construction

Property Owner(s): Hayoung and Lee Sang Huh

Site Acreage: .5644 acres

Current Zoning: Planned Development-25-General Retail

Requested Zoning: Site Plan Review

SUBJECT PROPERTY

General Location: 2100 Brown Street

Parcel ID Number(s): 204843

Existing Use: Undeveloped Land

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	PD-GR	Undeveloped Land (The Village at Waxahachie development approved 5-20-2019)
East	PD-25-GR	Brookdale Waxahachie
South	PD-25-GR	Bridgepoint Apartments
West	---	Undeveloped Land

Future Land Use Plan: Retail

Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

Thoroughfare Plan:

The subject property is accessible via Brown St.

Site Image:



PLANNING ANALYSIS

The applicant is requesting Site Plan approval to construct an office building. The proposed development will replace the recently demolished carwash proposing to construct an office building after demolishing a pre-existing car wash. Per the Site Plan, the applicant will meet or exceed the masonry and landscaping requirements for the City of Waxahachie Zoning Ordinance.

STAFF CONCERNS

1. Staff has no outstanding concerns for the applicant.

APPLICANT RESPONSE TO CONCERNS

1. The applicant has no outstanding concerns from staff.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following comments:

ATTACHED EXHIBITS

1. Elevation/Façade Plan
2. Landscape Plan
3. Site Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:

Colby Collins

Senior Planner

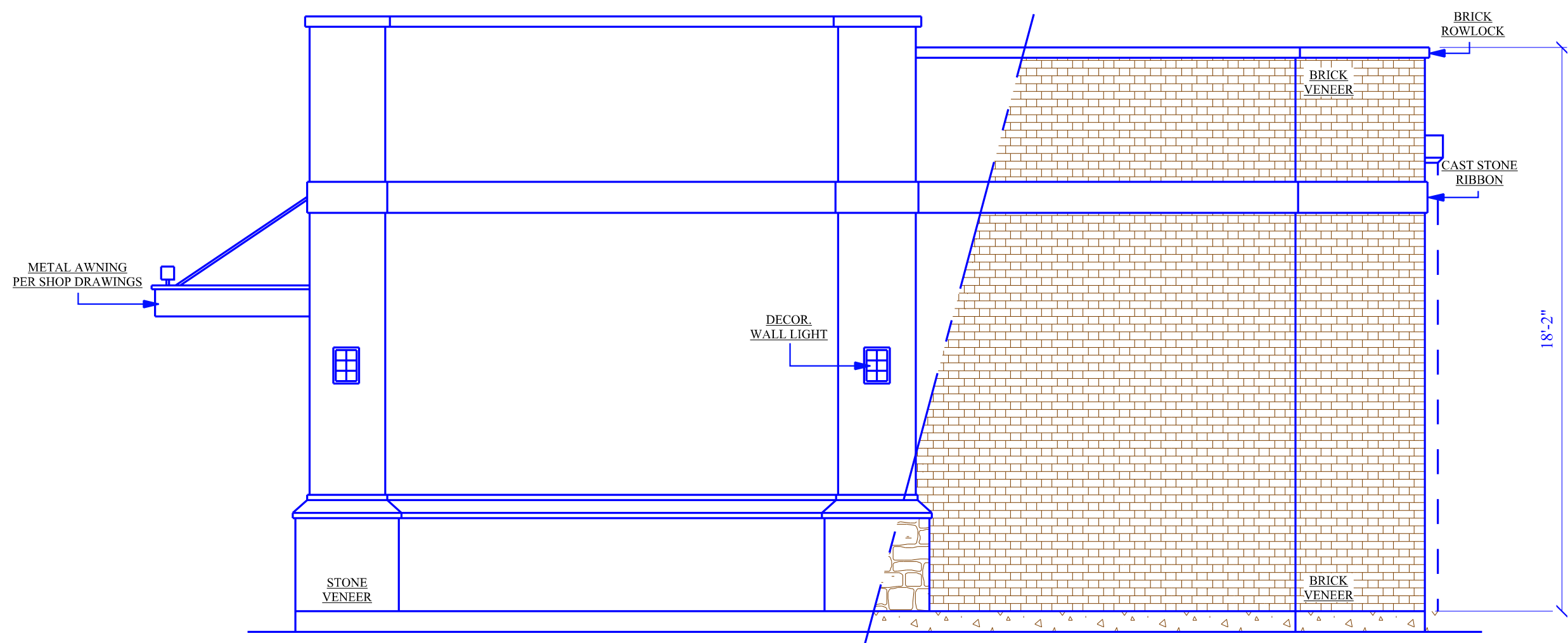
ccollins@waxahachie.com

Reviewed by:

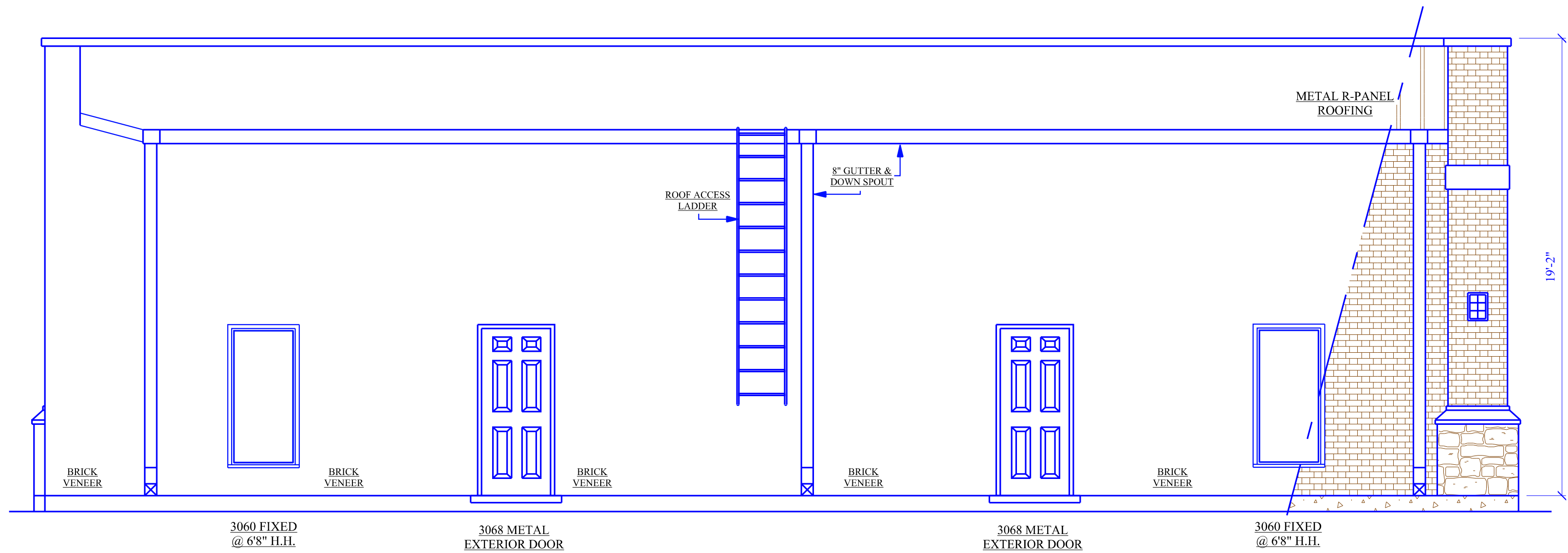
Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

WAXAHACHIE MASONRY REQUIREMENTS

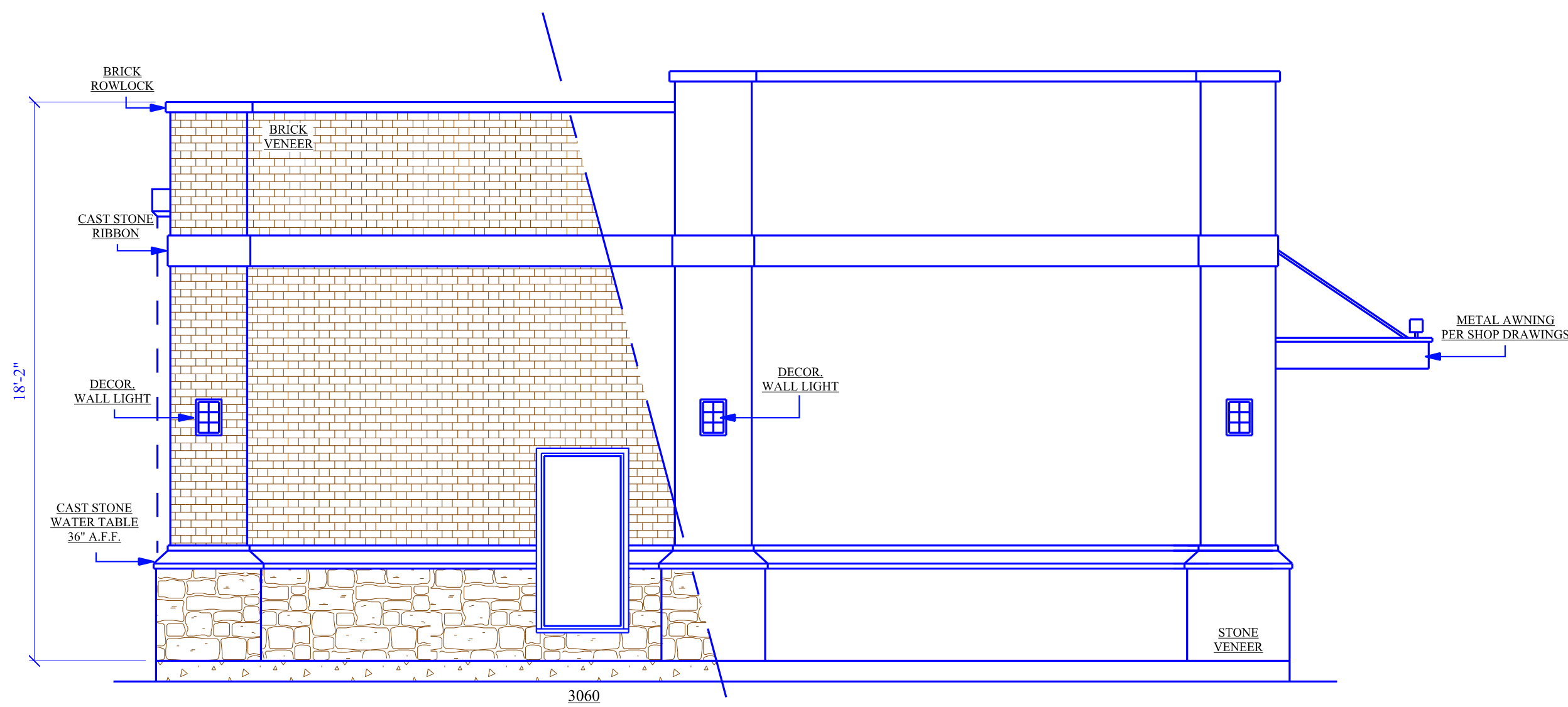
(iv) Nonresidential and Institutional Buildings:

- 1). All non-residential and institutional buildings in any Zoning District, shall have a minimum of ninety (90) percent Masonry Construction below the first floor ceiling plate.
 - a) The minimum Masonry Construction required above the first floor ceiling plate is eighty (80) percent.
 - b) The Masonry Construction shall be equally distributed around all sides of the building

PROVIDED MASONRY

(iv) Nonresidential and Institutional Buildings:

- 1). (100) percent Masonry Construction below the first floor ceiling plate.
 - a). (100) percent Masonry Construction.
 - b). The Masonry IS equally distributed around all sides of the building



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BROWN STREET ELEVATION
SCALE: 1/4" = 1'-0"

SP-19-0070
SITE PLAN
LOCATED AT 2100 BROWN STREET
LOT 2RA INDIAN PLAZA REV. .557 ACRES
AN ADDITION TO THE CITY OF WAXAHACHIE
ELLIS, COUNTY TEXAS



LEARN MORE ABOUT OUR
COMPANY BY VISITING
WWW.ACKERBUILT.COM



JUNE 15th, 2019

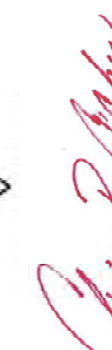
OWNERS:
HUH HAYOUNG & LEE SANG HUH
2605 SANDSTONE COURT
MIDLOTHIAN, TEXAS 76065
CELL # 214-727-1001



CHRIS R. ACKER
AIBD - CERTIFICATION # 620
<http://www.PLAN-MASTER.com>



3751 S. HWY 287
WAXAHACHIE, TEXAS 75165
OFFICE# (469) 383-5939



A COMMERCIAL RETAIL BUILDING
TO BE LOCATED AT 2102 BROWN STREET
LOT 2 RA INDIAN PLAZA REV.
AN ADDITION TO THE CITY OF WAXAHACHIE
ELLIS, COUNTY TEXAS



3751 S. HWY 287
XXAHACHIE, TEXAS 75165
OFFICE# (469) 383-5939



LANDSCAPE NOTES	MAINTENANCE NOTES	SOLID SOIL NOTES
1. VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND CONDITIONS ARE SHOWN ON THE EXISTING CONDITIONS WAS SUPPLIED BY OWNER.	1. PER CITY ORDINANCE SECTION 1.5409 & 1.4602, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MAINTENANCE IS THE PROPERTY OF ALL LANDSCAPING AND IRRIGATION. ALL REQUIREMENTS SHALL BE MAINTAINED. MAIN SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER. ALL MAINTENANCE SHALL BE PERFORMED WITH STANDARD HORTICULTURAL PRACTICES AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SOIL ACTIVITIES COMING TO THE MAINTENANCE OF LANDSCAPING AND IRRIGATION AREAS.	1. PLANT SOIL BY HAND TO COVER INDICATED AREAS. FERTILIZER, INCREASER AND SOIL CONDITIONERS TO BE APPLIED TO THE SOIL TO IMPROVE JOINTS BY HAND TO FILL IN.
2. LOCATE ALL EXISTING UNDERGROUND UTILITIES FOR ALL PROJECTS. LOCATE ALL EXISTING UNDERGROUND UTILITIES FOR ALL PROJECTS. LOCATE ALL EXISTING UNDERGROUND UTILITIES FOR ALL PROJECTS.	2. MAINTAIN ALL MAINTENANCE ACTIVITIES IN A NEAT AND ORDERLY MANNER. ALL MAINTENANCE SHALL BE PERFORMED WITH STANDARD HORTICULTURAL PRACTICES AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SOIL ACTIVITIES COMING TO THE MAINTENANCE OF LANDSCAPING AND IRRIGATION AREAS.	2. BOLL GRASS AREAS TO ACHIEVE A SMOOTH EVEN SURFACE. FERTILIZER, INCREASER AND SOIL CONDITIONERS TO BE APPLIED TO THE SOIL TO IMPROVE JOINTS BY HAND TO FILL IN.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 1% SLOPE AWAY FROM ALL STRUCTURES.	3. MAINTAIN ALL MAINTENANCE ACTIVITIES IN A NEAT AND ORDERLY MANNER. ALL MAINTENANCE SHALL BE PERFORMED WITH STANDARD HORTICULTURAL PRACTICES AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SOIL ACTIVITIES COMING TO THE MAINTENANCE OF LANDSCAPING AND IRRIGATION AREAS.	3. WATER SOIL THOROUGHLY AS SOIL OPERATION PROGRESSES.
4. MAINTAIN ALL MAINTENANCE ACTIVITIES IN A NEAT AND ORDERLY MANNER. ALL MAINTENANCE SHALL BE PERFORMED WITH STANDARD HORTICULTURAL PRACTICES AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SOIL ACTIVITIES COMING TO THE MAINTENANCE OF LANDSCAPING AND IRRIGATION AREAS.	4. MAINTAIN ALL MAINTENANCE ACTIVITIES IN A NEAT AND ORDERLY MANNER. ALL MAINTENANCE SHALL BE PERFORMED WITH STANDARD HORTICULTURAL PRACTICES AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SOIL ACTIVITIES COMING TO THE MAINTENANCE OF LANDSCAPING AND IRRIGATION AREAS.	4. COVER SOIL WITH BRUSH OR GRASS SEED WITH FERTILIZER, INCREASER AND SOIL CONDITIONERS TO BE APPLIED TO THE SOIL TO IMPROVE JOINTS BY HAND TO FILL IN.
5. CROWN ALL PLANTING ISLANDS TO 1% HICHT.	5. MAINTAIN ALL MAINTENANCE ACTIVITIES IN A NEAT AND ORDERLY MANNER. ALL MAINTENANCE SHALL BE PERFORMED WITH STANDARD HORTICULTURAL PRACTICES AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SOIL ACTIVITIES COMING TO THE MAINTENANCE OF LANDSCAPING AND IRRIGATION AREAS.	5. COVER SOIL WITH BRUSH OR GRASS SEED WITH FERTILIZER, INCREASER AND SOIL CONDITIONERS TO BE APPLIED TO THE SOIL TO IMPROVE JOINTS BY HAND TO FILL IN.

MAINTENANCE NOTES:

- | | |
|--|--|
| 1. VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS FOR DISCREPANCIES SURVEY DATA AND FIELD CONDITIONS WAS SUPPLIED BY OTHER | 1. PER CITY ORDINANCE SECTION 15400 & 15402, THE OWNER SHALL BE RESPONSIBLE FOR THE CONTAINED MAINTENANCE IN FERTILITY OF THE LANDSCAPE AND IRRIGATION. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A LUSH AND ORIGINALLY MANNER AT ALL TIMES. THIS INCLUDES: MOULDING, FERTILIZING, PRUNING, FERTILIZING, WATERING, AND STANDARD HORTICULTURAL PRACTICES RECOMMENDED BY THE LANDSCAPE ADMINISTRATOR AND/OR OTHER QUALIFIED PROFESSIONALS. |
| 2. LOCATE ALL EXISTING UNDERGROUND UTILITIES FOR ALL WORKING AND ADJACENT TO THE VICINITY OF UNDERGROUND UTILITIES | 2. MAINTAINANCE OF ALL EXISTING LANDSCAPED AREAS OF OTHER SUCH ACTIVITY OR PLANTS NOT A PART OF THE MAINTENANCE IN A LUSH AND ORIGINALLY MANNER IS AS APPROPRIATE FOR THE SEASON OF THE YEAR. |
| 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES | 3. IF FLOOR WATER SHALL BE REMOVED IMMEDIATELY TO PREVENT WASTE OF WATER. |
| 4. LEAV AREAS TO RECEIVE TORPEDO, 1" BELOW FINISH GRADE, 1" BELOW FINISH GRADE, 1" BELOW FINISH GRADE IN LAWN AREAS | |
| 5. CROWN ALL LANDSCAPE AREAS TO A HEIGHT, | |

GENERAL LAWN NOTES

1. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
2. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. CONTRACTORS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS, PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE, CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS SHALL BE FINE-GRADED, IRRIGATED, TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
4. REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DISPOSE OF ALL EXCESS TOPSOIL PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
5. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF GRASS AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

THIS PROJECT IS DESIGNED TO AND SHALL MEET OR EXCEED THE CITY OF WAXAHACHIE'S LANDSCAPE DESIGN CRITERIA

**** NO EXISTING TREES ON THIS PROPERTY ****

* PARKING LOT LANDSCAPE

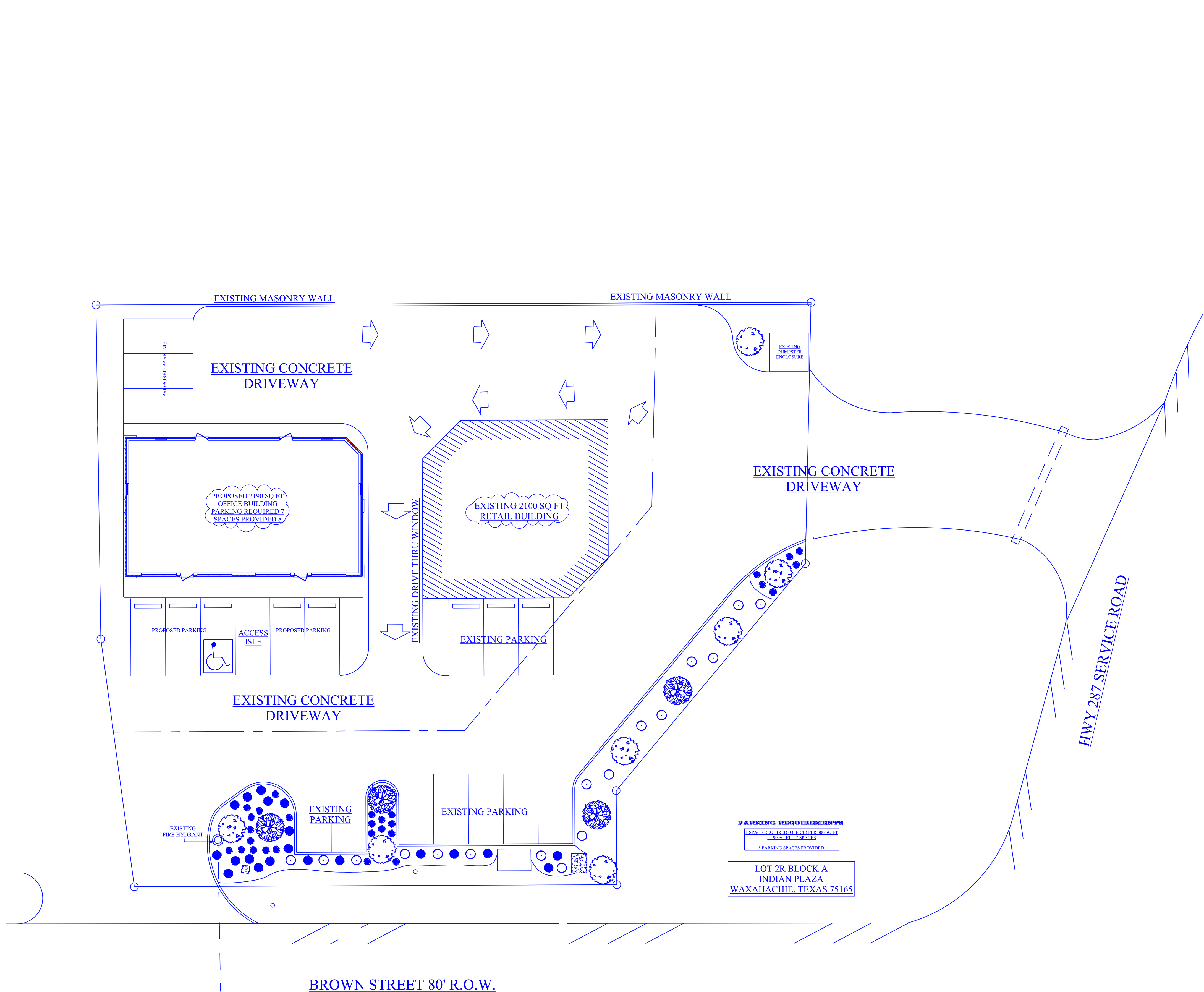
1. 20 S.F. OF LANDSCAPE PER PARKING SPACE
TOTAL PARKING SPACES = 9
2. TWO (2) TREES, 4" CAL., PER 500 S.F. OF REQUIRED
PARKING LOT LANDSCAPE AREA
3. TEN (10) SHRUBS PER 500 S.F. OF REQUIRED
PARKING LOT LANDSCAPE AREA

REQUIRED:	PROVIDED:
465 S.F. LANDSCAPE (15%)	465 S.F. LANDSCAPE (15%)
10' LANDSCAPE BUFFER	10' LANDSCAPE BUFFER

SCALE: 1" = 15'-0"

Construction

3751 S. HWY 287
WAXAHACHIE, TEXAS 75165
OFFICE# (469) 383-5939



SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	SIZE	REMARKS
QV	QUERCUS VIRGINIAN	LIVE OAK	4	4" CALIPER	12'-12" HEIGHT, 6" SPREAD, FULL MATCHING
QM	QUERCUS MACROCARPA	BUR OAK	4	4" CALIPER	12'-12" HEIGHT, 6" SPREAD, FULL MATCHING
QT	QUERCUS TEXANNA	TEX RED OAK	4	15 GALLON	12'-12" HEIGHT, 6" SPREAD, FULL MATCHING
LI	LAGERSTROEMIA INDICA	CRAPE MYRTLE	16	15 GALLON	6" HEIGHT, 4" SPREAD, CONTAINER GROWN, MULTI-TRUNK, MATCHING
IV	ILEX VOMITORIA	VAURON HOLLY	8	3 GALLON	6" HEIGHT, 36" SPREAD, FULL TO BASE, MATCHING
IN	ILEX VOMITORIA "NANA"	ROUND YAUPOIN HOLLY	30	1 GALLON	12" HEIGHT, 12" SPREAD, SPACING PER PLAN
S	PENNISETUM SPP.	FOUNTAIN GRASS	30		12" HEIGHT, 12" SPREAD, TRIANGULAR SPACING 36" O.C.
SC	SEASONAL COLOR		90 S.F.		PERENNIALS AND ANNUALS LOCATION PER PLAN
CD	CYNODON DACTYLON	COMMON BERBERIDA GRASS SOD	1,828 S.F.		REFER TO NOTES

LANDSCAPE NOTES

1. VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS FOR DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHER.
2. LOCATE ALL EXISTING UNDERGROUND UTILITIES FOR CONFLICTS. EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. LEAVE AREAS TO RECEIVE TOPSOIL 1" BELOW FINAL FINISHED GRADE IN PLANTING AREA AND 2" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. CROWN ALL LANDSCAPE ISLANDS TO 6" HEIGHT, TYPICAL AND UNIFORM THROUGHOUT THE SITE.
6. PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
7. TOP OF MULCH SHALL BE 1-2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
8. ALL LAWN AREAS SHALL BE SOLID SOD BERBERIDA GRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. ALL LANDSCAPE AREAS SHALL BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS PER CITY OF MIDLOTHIAN IRRIGATION REQUIREMENTS.

MAINTENANCE NOTES:

1. PER CITY ORDINANCE SECTION 3.500 & 3.502, THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE IN PERPETUITY OF ALL LANDSCAPING AND IRRIGATION. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WITH STANDARD HORTICULTURAL PRACTICES OR AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF A LANDSCAPED AREA.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPILLS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
5. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS. COMPLETELY ENSURE EDGES OF SOD ARE TOUCHING. TOP EDGES JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 31, ONE SOD BED WITHIN GRASS SOD WITH WINTER RYE GRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

GENERAL LAWN NOTES:

1. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
2. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS SHALL BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
4. REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPILLS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
5. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

LANDSCAPE TABULATIONS:
THIS PROJECT IS DESIGNED TO AND SHALL MEET OR EXCEED THE CITY OF WAXAHACHIE'S LANDSCAPE DESIGN CRITERIA

** NO EXISTING TREES ON THIS PROPERTY **

INTERIOR LANDSCAPE AREA

1. 50% OF PROPOSED BUILDING SHALL BE REQUIRED INTERIOR LANDSCAPE
2. TOTAL BUILDING S.F. = 2,100 S.F.
3. 75% OF THE REQUIRED INTERIOR LANDSCAPE SHALL BE IN THE FRONT AND SIDE YARD.
4. ONE (1) CANOPY TREE PER 500 S.F. OF REQUIRED LANDSCAPE AREA
5. ONE (1) UNDERSTORY TREE PER 250 S.F. OF REQUIRED LANDSCAPE AREA
6. 15% OF REQUIRED LANDSCAPE AREA SHALL BE GROUND COVER
7. 2% OF REQUIRED LANDSCAPE AREA SHALL BE SEASONAL COLOR

REQUIRED:	PROVIDED:
1,050 S.F. (50%)	1,050 S.F. (50%)
1,575 S.F. (75%)	1,575 S.F. (75%)
(5) CANOPY TREES	(5) CANOPY TREES
(5) ACCENT TREES	(5) ACCENT TREES
(27) SHRUBS	(27) SHRUBS
315 S.F. GROUND COVER (15%)	315 S.F. GROUND COVER (15%)
42 S.F. SEASONAL COLOR (2%)	42 S.F. SEASONAL COLOR (2.0%)

PARKING LOT LANDSCAPE

1. 20 S.F. OF LANDSCAPE PER PARKING SPACE
2. TOTAL PARKING SPACES = 9
3. TWO (2) TREES, 4" CAL. PER 500 S.F. OF REQUIRED PARKING LOT LANDSCAPE AREA
4. TEN (10) SHRUBS PER 500 S.F. OF REQUIRED PARKING LOT LANDSCAPE AREA

REQUIRED:	PROVIDED:
300 S.F. LANDSCAPE	300 S.F. LANDSCAPE
(2) TREES, 4" CAL.	(2) TREES, 4" CAL.
(10) SHRUBS	(10) SHRUBS
10' LANDSCAPE BUFFER	10' LANDSCAPE BUFFER

BUFFERYARD

1. 20% OF THE STREET YARD TO BE LANDSCAPE
2. STREET YARD = 3,100 S.F.
3. 10' LANDSCAPE BUFFER

REQUIRED:	PROVIDED:
465 S.F. LANDSCAPE (15%)	465 S.F. LANDSCAPE (15%)
10' LANDSCAPE BUFFER	10' LANDSCAPE BUFFER
STREET TREES	
1. ONE (1) TREE, 4" CAL., PER 30 L.F.	
REQUIRED:	PROVIDED:
(5) TREES, 4" CAL.	(5) TREES, 4" CAL.

VACINITY MAP



SITE / LANDSCAPE PLAN
SCALE: 1" = 15'-0"

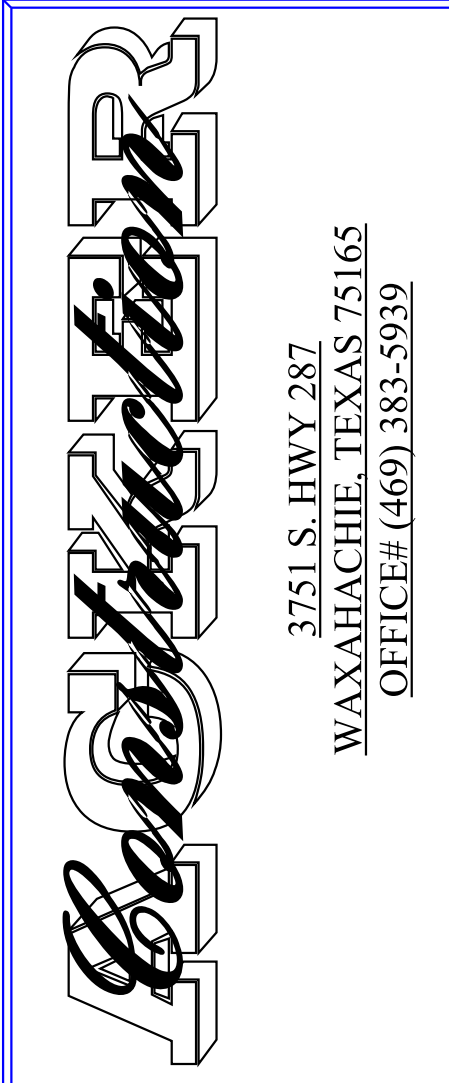
SP-19-0070
SITE PLAN
LOCATED AT 2100 BROWN STREET
LOT 2RA INDIAN PLAZA REV. .557 ACRES
AN ADDITION TO THE CITY OF WAXAHACHIE
ELLIS, COUNTY TEXAS



LEARN MORE ABOUT OUR COMPANY BY VISITING
WWW.ACKERBUILT.COM



JUNE 15th, 2019
OWNERS:
HUH HAYOUNG & LEE SANG HUH
2605 SANDSTONE COURT
MIDLOTHIAN, TEXAS 76065
CELL # 214-727-1001



Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0078



MEETING DATE(S)

Planning & Zoning Commission: July 9, 2019

City Council: July 15, 2019

CAPTION

Public Hearing on a request by Jake Torpey, Kimley-Horn., for a Specific Use Permit (SUP) for **Drive Through Establishment** use within a Planned Development-42-Commercial zoning district, located at 1740 N Highway 77 (Property ID 263971) – Owner: WAX 77 INVESTORS LP (SU-19-0078)

CASE INFORMATION

Applicant: Jake Torpzy, Kimley-Horn

Property Owner(s): WAX 77 Investors LP

Site Acreage: 1.085 acres

Current Zoning: Planned Development-42-Commercial

Requested Zoning: PD-42-C with Specific Use Permit for Drive Through Establishment

SUBJECT PROPERTY

General Location: 1740 N Highway 77

Parcel ID Number(s): 263971

Existing Use: Undeveloped Land

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	PD-42-C	Undeveloped Land
East	PD-42-C	Waxahachie Towne Crossing
South	PD-42-C	General Retail/Restaurant
West	C	Best Western Plus Waxahachie Inn & Suites

Future Land Use Plan: Retail

Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

Thoroughfare Plan:

The subject property is accessible via U.S. Highway 77.

Site Image:



PLANNING ANALYSIS

Burger King will operate as a freestanding restaurant (1 story building), with a drive-thru on 1.085 acres. The proposed development will be located within the Waxahachie Towne Crossing addition along U.S. Highway 77 frontage road. Per the Operational Plan, anticipated operations of this development include operating hours of 6am – midnight seven days a week. The restaurant will also employ approximately forty (40) individuals to work multiple shifts.

Based on the submitted plans, the applicant has met the requirements for building materials and required landscaping on site. While staff is not opposed to the proposed use, staff has concerns with the proposed location of the use. Based on the projected growth of the surrounding area, staff believes that a casual dining restaurant, opposed to a quick service (fast food) restaurant, would be the best use for the property.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 8 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 06/21/2019.

STAFF CONCERNS

1. While staff is not opposed to the proposed use, staff has concerns with the proposed location of the use. Based on the projected growth of the surrounding area, staff believes that a casual dining restaurant, opposed to a quick service (fast food) restaurant, would be the best use for the property.

APPLICANT RESPONSE TO CONCERNS

1. The applicant is aware of staff's concern and will state his reasoning at the July 9, 2019 Planning and Zoning meeting and July 15, 2019 City Council meeting.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☒ Denial
- ☐ Approval, as presented.
- ☐ Approval, per the following comments:

ATTACHED EXHIBITS

1. Site Plan
2. Landscape Plan
3. Elevations/Façade
4. Operational Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

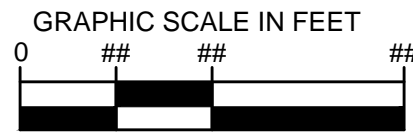
STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



VICINITY MAP

 $1'' = 2000'$ 

SCALE: 1" = 20'

LEGEND

NOTES:

1. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII ARE 5.0' OR 20.0' UNLESS OTHERWISE NOTED.
3. REFER TO MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
4. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
5. BUILDING DIMENSIONS AN COORDINATES ARE TO THE FOUNDATION.
6. ALL SIGNS SHALL BE PERMITTED SEPARATELY.

KEYED NOTES:

- ① 6" CURB (TYP.)
- ② NO CURB
- ③ MATCH EXISTING PAVEMENT
- ④ ACCESSIBLE HC PARKING STALLS (TYP.), PER TAS MINIMUM REQUIREMENTS
- ⑤ POST MOUNTED ACCESSIBILITY SIGN (TYP.)
- ⑥ 6" (CAR) WHEEL STOP (TYP)

<u>SITE DATA TABLE</u>	
GENERAL SITE DATA	
LEGAL DESCRIPTION	LOT 3, BLOCK A, WAXAHACHIE TOWNE CROSSING ADDITION
ZONING	PD-42-C
SITE DATA	1.085 AC (47,275 SF)
ADDRESS	1740 N HIGHWAY 77 WAXAHACHIE, TX 75165
USE	FAST FOOD RESTAURANT WITH DRIVE-THRU
IMPERVIOUS SURFACE	32,914 SF
BUILDING DATA	
BUILDING SQUARE FOOTAGE	3,010 SF
BUILDING HEIGHT	22'-0"
PARKING DATA	
REQUIRED PARKING SPACES	1 PER 100 SF = 31 SPACES
STANDARD SPACES PROVIDED	34 SPACES
REQUIRED ACCESSIBLE SPACES	2 SPACES (1 VAN)
ACCESSIBLE SPACES PROVIDED	2 SPACES (1 VAN)
TOTAL SPACES PROVIDED	36 SPACES

BENCH MARK LIST

- | | |
|--------|--|
| BM 100 | <p>MAG. NAIL W/ "YP CONTROL SHINER". SET ON THE NORTHEAST CORNER OF A DROP INLET, BEING ±14' WEST FROM A ELECTRIC VAULT, ±24' NORTHEAST FROM A 6" AREA DRAIN AND ±16' NORTHWEST FROM A STOP SIGN.</p> <p>ELEV: 626.85'</p> |
| BM 101 | <p>MAG. NAIL W/ "YP CONTROL SHINER". SET ON THE NORTHEAST CORNER OF A CONCRETE APRON OF A TRAFFIC SIGNAL BOX, BEING ±7' NORTHEAST OF A TRAFFIC SIGNAL BOX, ±6' SOUTHEAST FROM A ELECTRIC VAULT AND ±57' NORTHWEST FROM A 6" AREA DRAIN.</p> <p>ELEV: 627.28'</p> |

NOTES: The bearing system for this survey is based on the Texas Coordinate System of 1983, North Central Zone 4202 based on observations made on April 4, 2019 with an applied combined scale factor of 1.000072449.

[illegible]

Kimley»Horn

Y STREET SUITE 1300, FORT WORTH, TX 76102
PHONE: 817-335-6511
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY	
FOR REVIEW ONLY Prepared for Concept Plan submittal Not for construction purposes or permits.	
Kimley»Horn	
Engineer	JOHN D. AINSWORTH
P.E. No.	123258 Date MAY 2019

KHA PROJECT 061289213	DATE MAY 2019	SCALE AS SHOWN	DESIGNED BY	JWT	DRAWN BY	JWT	CHECKED BY	JDA
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BURGER KING
STORE # Hwy 77 Near Country Meadows Blvd.
Waxahachie, Tx. 75165

LOT 3, BLOCK A WAXAHACHIE TOWNE
 CROSSING ADDITION
 1.085 AC
 WAXAHACHIE, ENNIS COUNTY, TX



SITE PLAN

SHEET NUMBER
2.1.1

SU-19-0078

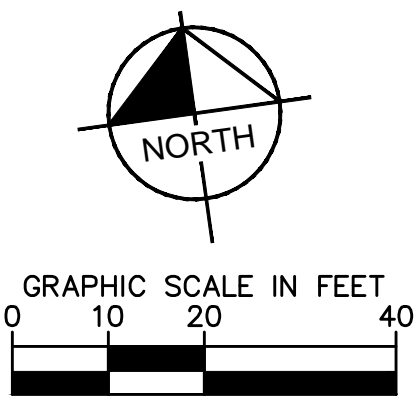


TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	REMARKS
	LI	6	LAGERSTROEMIA INDICA	CRAPE MYRTLE	15 GAL	2" CAL	8' -10' H X 3' -4' W	MULTILEADER TRUNK FULL AND MATCHING
	QV	7	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	B & B	4" CAL	12' -14' H X 6' -7' W	SINGLE STRAIGHT TRUNK FULL AND MATCHING
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	REMARKS
	MP	70	MYRICA PUSILLA	DWARF SOUTHERN WAX MYRTLE	7 GAL	30" O.C.	30" H X 30" W	FULL AND MATCHING
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
	LC	371	LANTANA CAMARA	LANTANA	1 GAL	12"H X 12"W	12" O.C.	TRIANGULAR SPACING FULL AND MATCHING
	RR	862 SF	RIVER ROCK		ROCK			REFERENCE DETAIL M ON SHEET L2.0

<u>GROUND COVERS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>SPACING</u>	<u>REMARKS</u>
	RR	862 SF	RIVER ROCK		ROCK			REFERENCE DETAIL M ON SHEET L2.0
	SC	122	SEASONAL COLOR		1 GAL	12"H X 12"W	8" O.C.	TRIANGULAR SPACING FULL AND MATCHING

NOTE:


- 1) INSTALL WEED BARRIER UNDER MULCH/GRAVEL AT ALL LANDSCAPE BEDS. REFERENCE LANDSCAPE NOTES AND PLANTING DETAIL FOR REQUIREMENTS.
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY LAND AREA DISTURBED OR DAMAGED DURING CONSTRUCTION, TO THE SATISFACTION OF THE OWNER. REPAIR SHALL INCLUDE, BUT IS NOT LIMITED TO, TILLING OF COMPACTED SOIL, REMOVING DEBRIS, INSTALLING QUALITY TOPSOIL, AND ESTABLISHING A VEGETATIVE COVER.



<u>CITY OF WAXAHACHIE - LANDSCAPE REQUIREMENTS</u>		<u>REQUIRED</u>	<u>PROVIDED</u>
EFFECTIVE FLOOR AREA: 3,010 SF			
REQUIRED LANDSCAPE = 50% OF FLOOR AREA (3,010 x .5 = 1505 SF OF LANDSCAPE REQUIRED)			
REQUIRED CANOPY TREES @ 1/500 SF	=3.01 TREES	3 TREES	3 TREES
REQUIRED UNDERSTORY TREES @ 1/250 SF	=6.02 TREES	6 TREES	6 TREES
REQUIRED SHRUBS @ 1/40 SF	=37.63 SHRUBS	38 SHRUBS	38 SHRUBS
REQUIRED GROUND COVER @ 15%	=225.75 SF OF GROUND COVER	225.75 SF	355 SF
REQUIRED SEASONAL COLOR @ 2%	=30.10 SF OF SEASONAL COLOR	30.10 SF	49 SF
ONE LARGE TREE PER 30 LF OF STREET FRONTAGE US HWY 77: 156 LF			
156 LF / 30 LF	= 5.2 TREES	5 TREES	0 TREES*
MARKET PLACE BOULEVARD: 304 LF			
304 LF / 30 LF	= 10.10 TREES	10 TREES	8 EXISTING TREES + 2 TREES
75% OF ALL REQUIRED LANDSCAPE SHALL BE IN THE FRONT AND ALONG EITHER SIDE OF THE BUILDING, BETWEEN THE BUILDING AND INTERIOR EDGE OF BUFRYARD.		YES	YES
ALL OFF-STREET PARKING AREAS MUST SUPPLY AT LEAST 13 SF OF PARKING LOT LANDSCAPING PER PARKING SPOT. (36 PARKING SPACE x 13 SF =468 SF OF PARKING LOT LANDSCAPE)		468 SF	468 SF
AN ADDITIONAL 30 SF PER PARKING SPOT IS REQUIRED FOR PARKING SPACES BETWEEN THE BUILDING FACADE AND THE STREET R.O.W. (36 PARKING SPACES x 30 SF =1080 SF OF ADDITIONAL PARKING LANDSCAPE)		1080 SF	8895 SF
TWO 4" CALIPER TREES AND 10 SHRUBS MUST BE PLANTED FOR EACH 500 SF OF REQUIRED PARKING LOT LANDSCAPE (468 SF + 540 SF = 1,008 SF 1,008 SF / 500 = 2.02)	=4.04 TREES =20.20 SHRUBS	4 TREES 20 SHRUBS	4 TREES 32 SHRUBS
EACH PARKING SPACE SHALL BE NO MORE THAN 64 FT AWAY FROM THE TRUNK OF A TREE.		YES	YES
PARCELS WITH MORE THAN 250 FT OF FRONTAGE ADJACENT TO A DEDICATED PUBLIC R.O.W., AT LEAST 20% OF THE STREET YARD SHALL BE PERMANENT LANDSCAPE AREA.			
26,434 SF x .15	=5287 SF	5287 SF	7685 SF
A 10 FT LANDSCAPE BUFFER ADJACENT TO R.O.W. OF ANY STREET IS REQUIRED.		YES	YES
*UTILITY EASEMENTS PREVENT THE PLACEMENT OF TREES ON HIGHWAY 77 FRONTAGE.			

[illegible]

Kimley»»Horn
801 CHERRY STREET SUITE 1300, FORT WORTH, TX 76102
PHONE: 817-335-3511
WWW.KIMLEY-HORN.COM TX F-528

	
KHA PROJECT	06/289213
DATE	JUNE 2019
SCALE	AS SHOWN
DESIGNED BY	CLA
DRAWN BY	CLA
CHECKED BY	KNM

BURGER KING
STORE # _____
HWY 77 Near County Meadows Blvd.
Waxahachie, Tx. 75165

 LOT 3, BLOCK A WAXAHACHIE TOWNE
CROSSING ADDITION
1.085 AC
WAXAHACHIE, ENNIS COUNTY, TX

LANDSCAPE PLAN	
SHEET NUMBER	
L1.0	



Side Entry Elevation

MATERIALS (WALL AREA 1,888 S.F.)
A. STUCCO - 936 S.F. = 50%
B. THIN BRICK - 344 S.F. = 18%
C. FIBER CEMENT PANELS - 196 S.F. = 10%
D. WINDOWS - 247 S.F. = 13%
E. DOORS/METAL TRIM - 165 S.F. = 9%



Front Corner View



Front Elevation

MATERIALS (WALL AREA 906 S.F.)
A. STUCCO - 281 S.F. = 31%
B. THIN BRICK - 40 S.F. = 4%
C. FIBER CEMENT PANELS - 154 S.F. = 17%
D. WINDOWS - 339 S.F. = 37%
E. DOORS/METAL TRIM - 92 S.F. = 11%



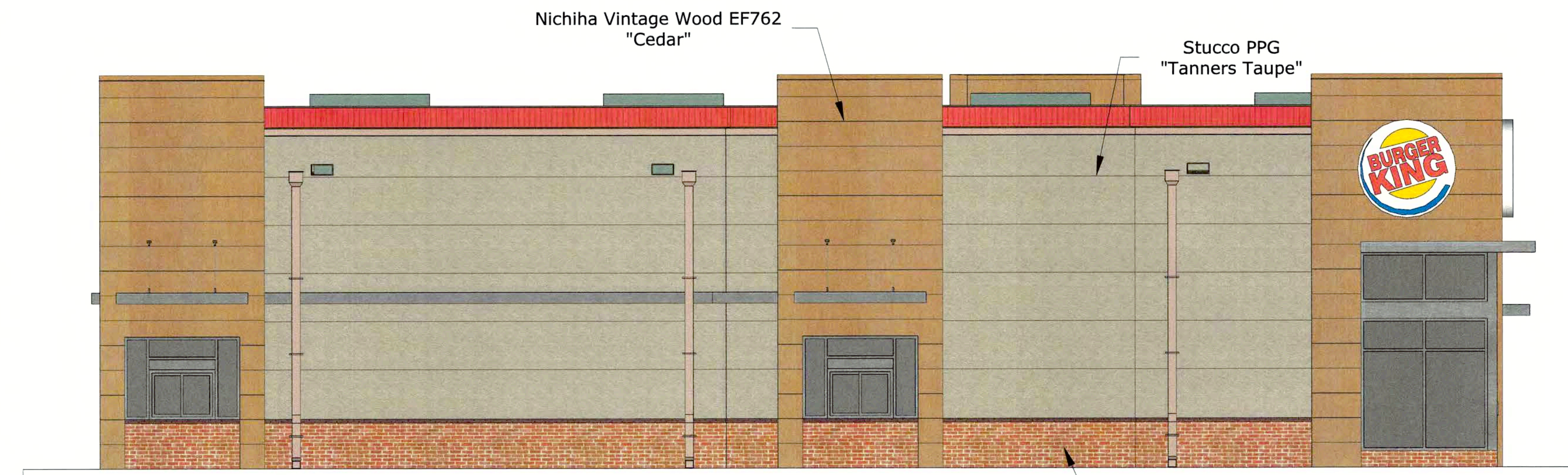
Drive-thru Corner View

Material and Color Legend

NICHIHA FIBER CEMENT
Vintage Wood EF762
"Cedar"
Field Color:
Tower Walls

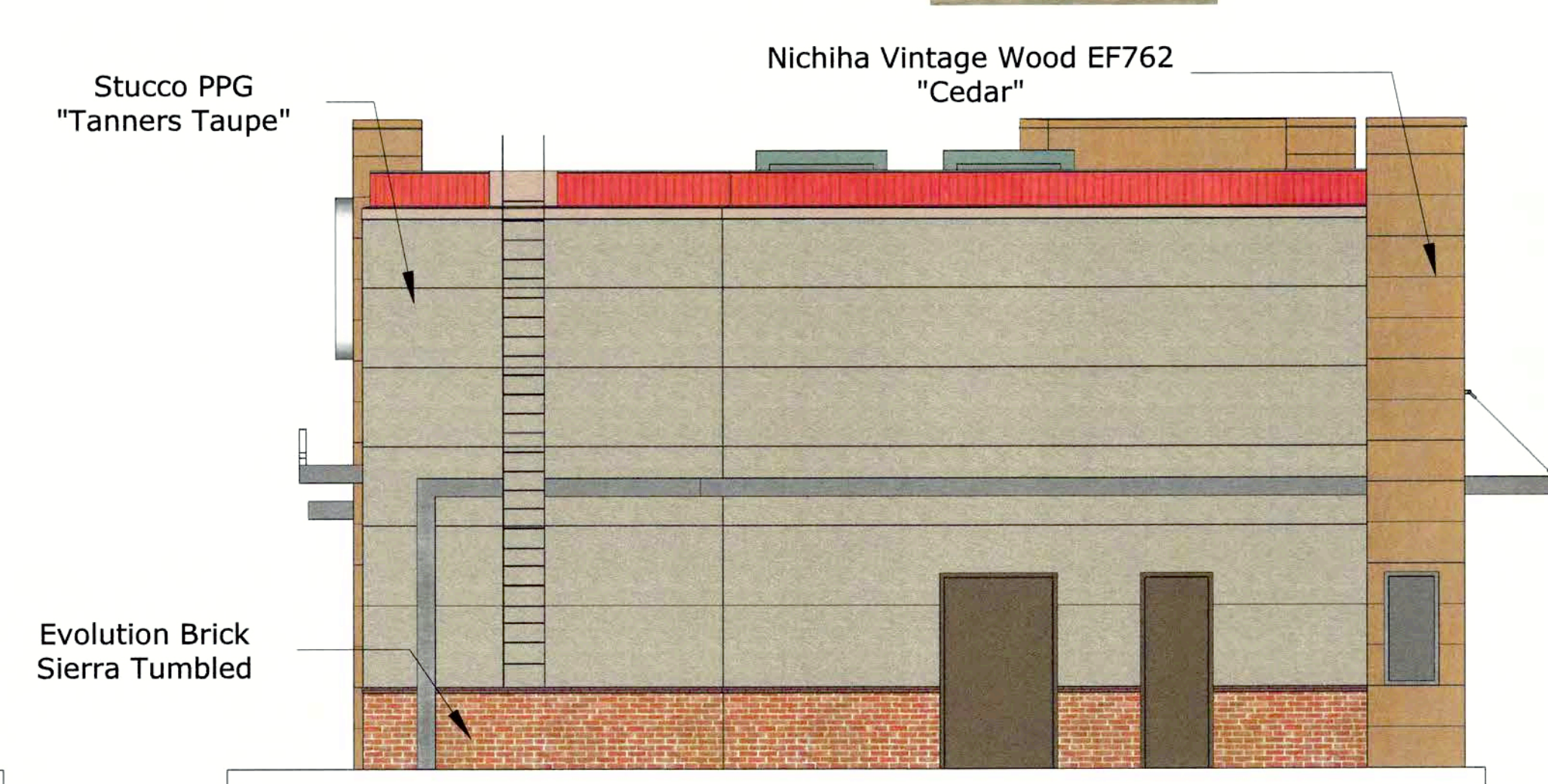
PPG
Exterior Paint
"Tanners Taupe"
Custom Formula
Field Color:
Main Wall Color

EVOLUTION BRICK
Thin Brick
"Sierra Tumbled"
Field Color:
Wainscot



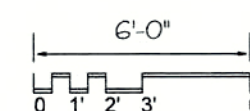
Drive-thru Elevation

MATERIALS (WALL AREA 1,945 S.F.)
A. STUCCO - 922 S.F. = 47%
B. THIN BRICK - 211 S.F. = 11%
C. FIBER CEMENT PANELS - 527 S.F. = 27%
D. WINDOWS - 171 S.F. = 9%
E. DOORS/METAL TRIM - 114 S.F. = 6%



Back Elevation

MATERIALS (WALL AREA 892 S.F.)
A. STUCCO - 602 S.F. = 67%
B. THIN BRICK - 90 S.F. = 10%
C. FIBER CEMENT PANELS - 76 S.F. = 9%
D. WINDOWS - 10 S.F. = 1%
E. DOORS/METAL TRIM - 114 S.F. = 13%



PLOTTED BY: KIMLEY-HORN, INC. DATE: 05/20/2019
PLOT DATE: 05/20/2019
PLOT TIME: 11:28 AM
PLOT USER: KIMLEY-HORN, INC.
PLOT DEVICE: HP DesignJet 5000 Series
PLOT PAPER: 36x48 inches
PLOT SCALE: 1/8" = 1'-0"

PROJECT #		DATE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
#		#	#	#	#	#
PROJECT #		MAY 2019	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
Burger King		Lot 3, Block A, Waxahachie Towne	Cross-section	Kimley-Horn, Inc.	Kimley-Horn, Inc.	Kimley-Horn, Inc.
STORE #		Hwy 77 Near County Meadows Blvd.	Waxahachie, TX 75165			
Burger King		Lot 3, Block A, Waxahachie Towne	Cross-section	Kimley-Horn, Inc.	Kimley-Horn, Inc.	Kimley-Horn, Inc.
STORE #		Hwy 77 Near County Meadows Blvd.	Waxahachie, TX 75165			
Burger King		Lot 3, Block A, Waxahachie Towne	Cross-section	Kimley-Horn, Inc.	Kimley-Horn, Inc.	Kimley-Horn, Inc.
STORE #		Hwy 77 Near County Meadows Blvd.	Waxahachie, TX 75165			

Kimley-Horn
801 CHERRY STREET SUITE 1300, FORT WORTH, TX 76102
PHONE: 817-335-6511
WWW.KIMLEY-HORN.COM TX F-528

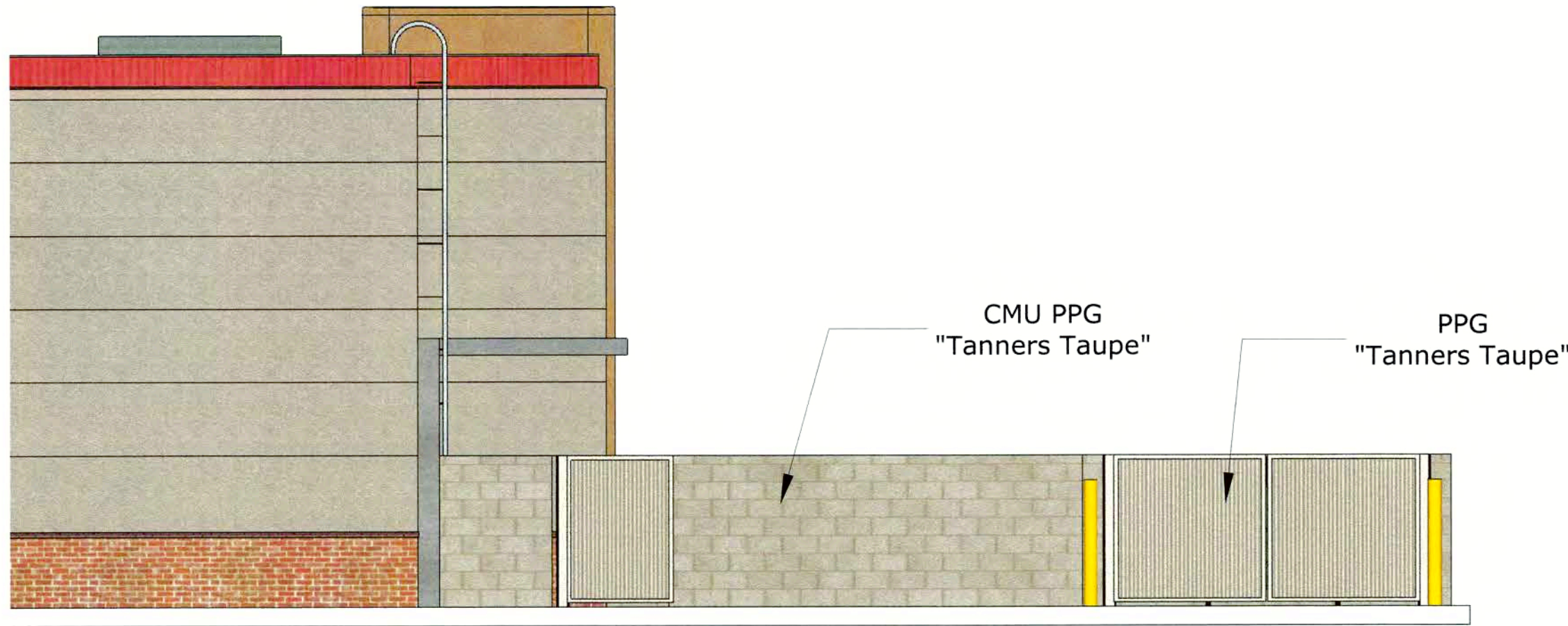
JUN 20 2019

REGISTERED ARCHITECT
KIMLEY-HORN, INC.
STATE OF TEXAS

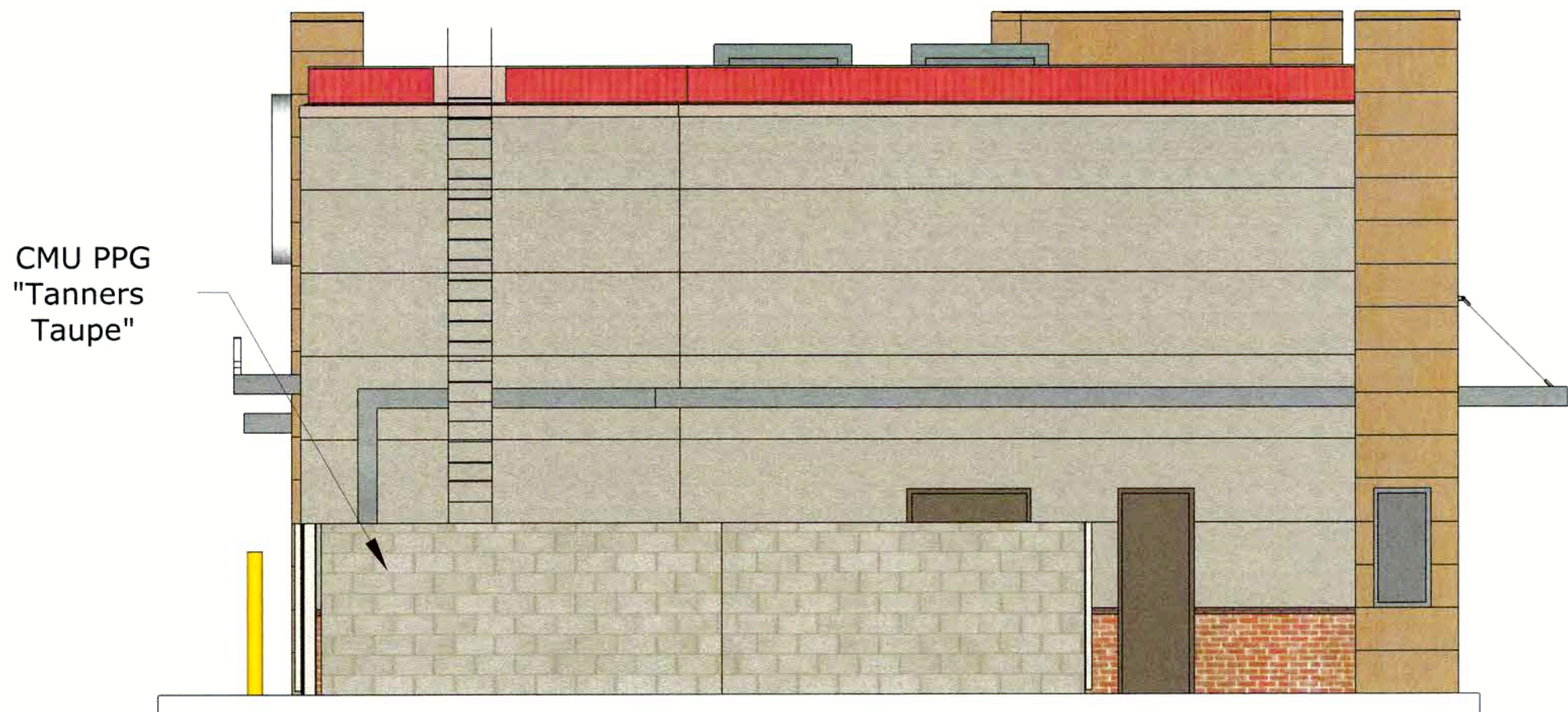
Exterior Renders

SHEET NUMBER
3.3.4

SU-19-0078



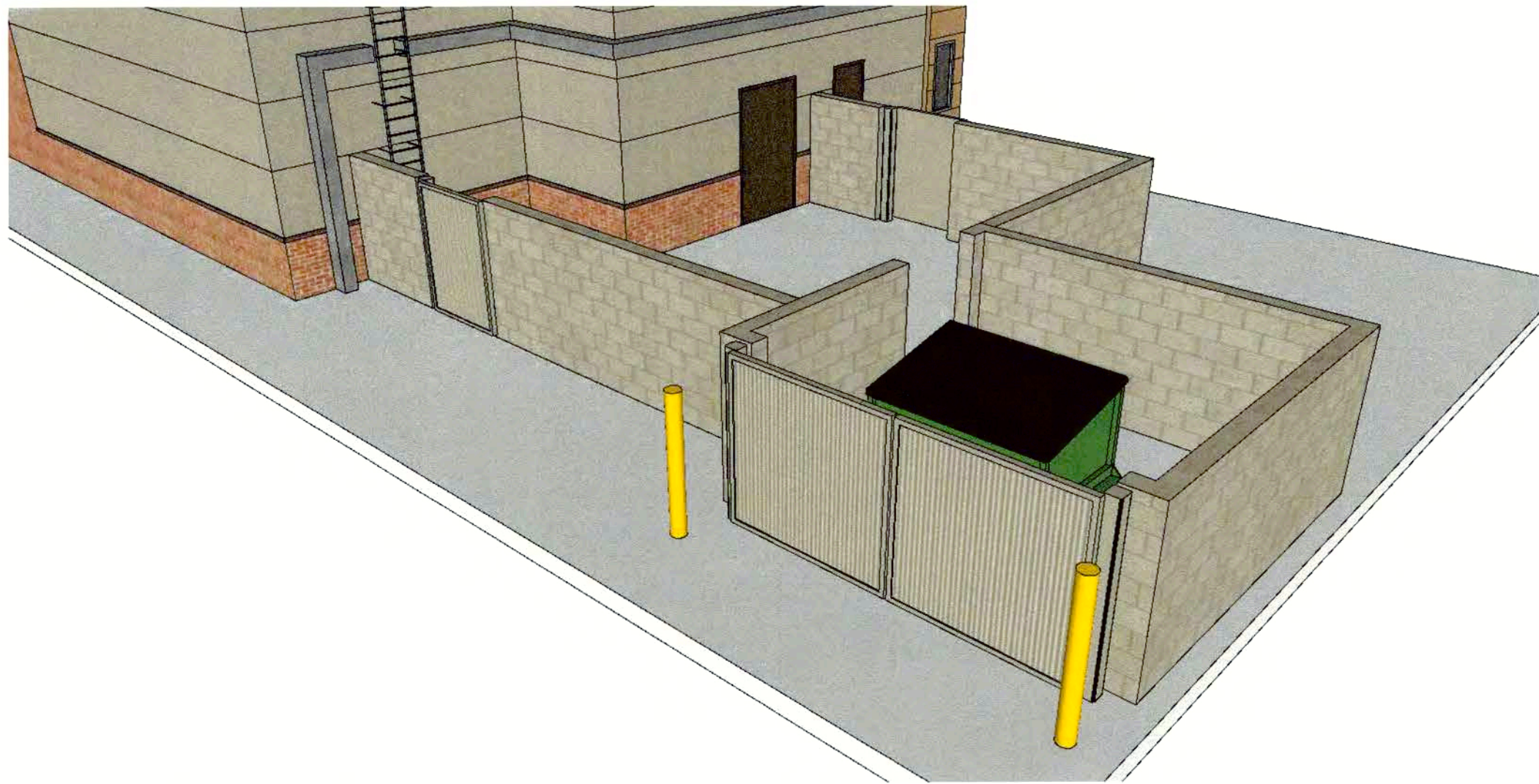
Side Entry Elevation



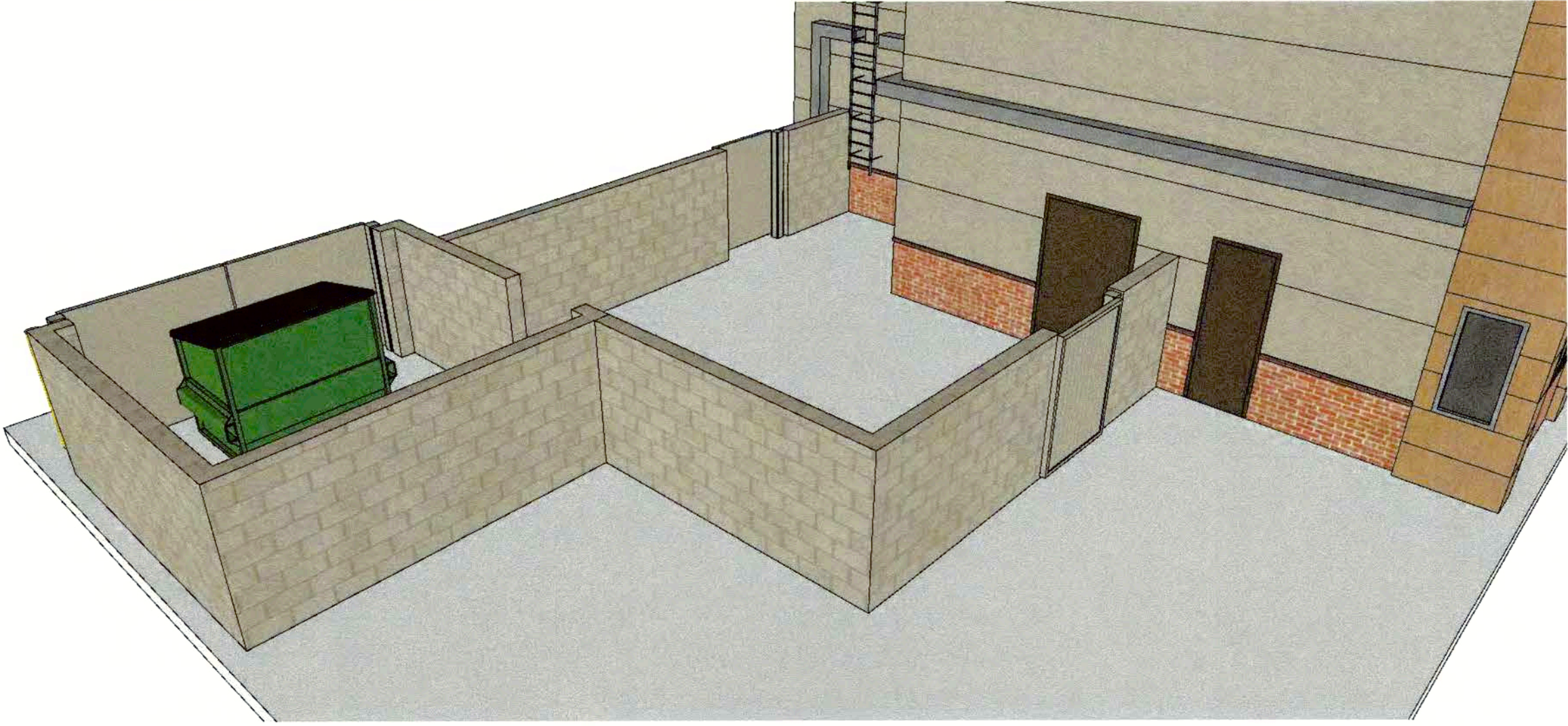
Back Elevation

Material and Color Legend

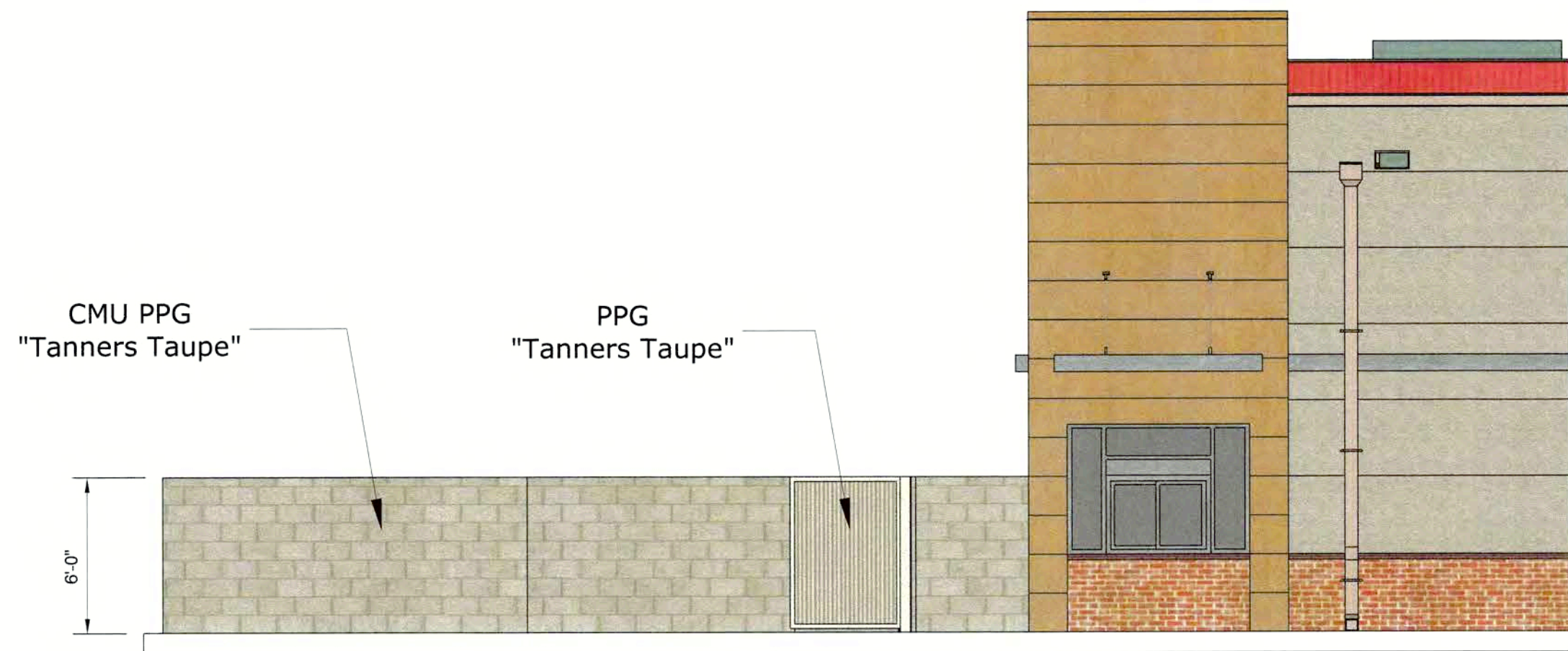
- PPG
Exterior Paint
"Tanners Taupe"
Custom Formula
- Field Color:
CMU Wall and
Gate Color



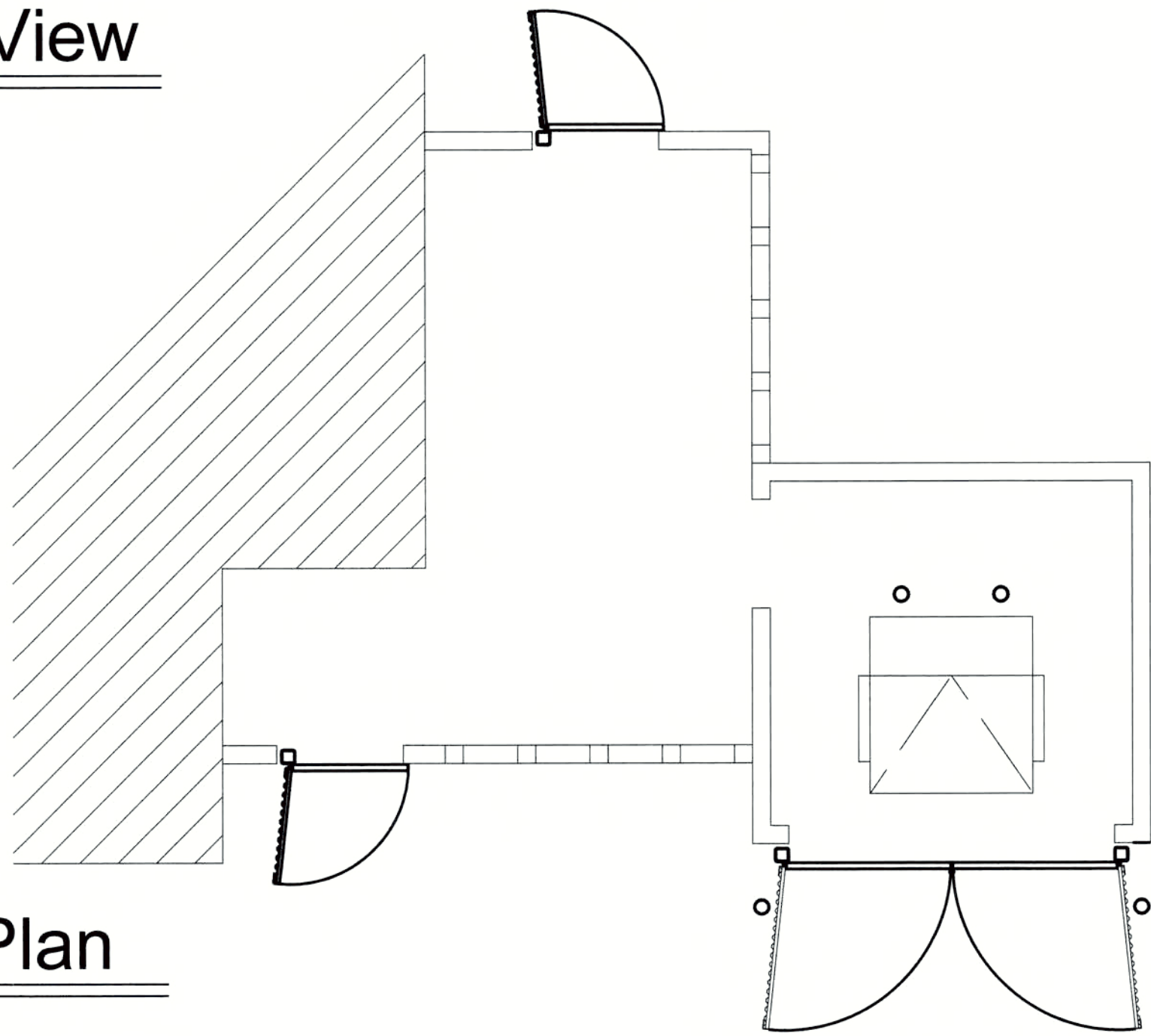
Back Corner View



Drive-thru Corner View

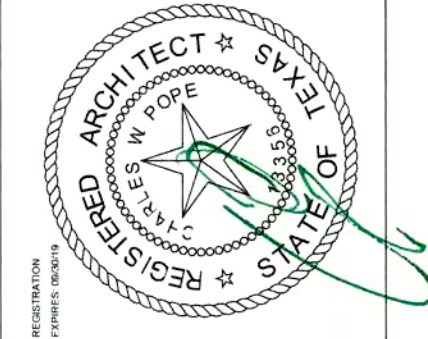


Drive-thru Elevation



Dumpster Floor Plan

JUN 20 2019



BURGER KING
STORE # Hwy 77/Neer County Meadows Blvd.
Waxahachie, TX 75165

LOT 3, BLOCK A WAXAHACHIE TOWNE
CROSSROADS
WAXAHACHIE, ENNIS COUNTY, TX



Exterior Renders

SHEET NUMBER
3.3.5

SU-19-0078



June 21, 2019

Development Review Committee
City of Waxahachie
401 S. Rogers,
Waxahachie, Texas 75165

RE: ***Operational Narrative: Burger King
Lot 3, Block A of Waxahachie Towne Crossing Addition***

Development Review Committee:

On behalf of Ampler Development, LLC (developer) and Wax 77 Investors, LP (property owner), Kimley-Horn is requesting a Specific Use Permit for the proposed 1.09-acre tract at the northeast corner of Marketplace Blvd and N Hwy 77, known as Lot 3, Block 1 of Waxahachie Towne Crossing Addition in the City of Waxahachie, Ellis County, Texas.

Ampler intends to develop a $\pm 3,010$ square foot Burger King restaurant with 34 parking spaces and a drive-thru with 14 stacking spaces. The building height is approximately 21' with approximately 24' tall accent towers. The proposed restaurant will have hours of operation from approximately 6 AM thru midnight with approximately 40 employees working multiple shifts.

If you have any additional questions or comments on this submittal, please contact me at (817) 339-2253 or john.ainsworth@kimley-horn.com. Thank you for your time and consideration on development.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

F-926

A handwritten signature in blue ink that reads "John Ainsworth".

John Ainsworth, P.E.
Project Manager

CASE SU-19-0078

Request by Jake Torpey, Kimley-Horn., for a Specific Use Permit (SUP) for **Drive Through Establishment** use within a Planned Development-42-Commercial zoning district, located at 1740 N Highway 77 (Property ID 263971) – Owner: WAX 77 INVESTORS LP (SU-19-0078)

INSIDE REQUIRED 200' NOTIFICATION AREA

- 1 Support
- 0 Oppose

SUPPORT

1. Jeff Williams, President, Hunt Properties, 8235 Douglas Avenue, Suite 1300, Dallas, TX 75225

OPPOSE



RECEIVED
6/25/19

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: SU-19-0078



WAX 77 INVESTORS LP
8235 DOUGLAS AVE STE 1300
DALLAS, TX 75225

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 9, 2019 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 15, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Jake Torpey, Kimley-Horn., for a Specific Use Permit (SUP) for **Drive Through Establishment** use within a Planned Development-42-Commercial zoning district, located at 1740 N Highway 77 (Property ID 263971) – Owner: WAX 77 INVESTORS LP (SU-19-0078)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: SU-19-0078
City Reference: 263976

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, July 2, 2019* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE


Comments: _____

Signature

Printed Name and Title

Date

Address


Jeff Williams - President

6/25/19
8235 Douglas Ave #1300
Dallas, TX 75205