

A G E N D A

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Wednesday, March 15, 2023 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman
 Melissa Ballard, Vice Chairman
 Betty Square Coleman
 Bonney Ramsey
 David Hudgins
 Erik Test
 Ron Ansell

1. Call to Order
2. Invocation
3. ***Public Comments:*** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.
4. ***Consent Agenda***

All matters listed under Item 4, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.
 - a. Minutes of the special Planning & Zoning Commission meeting of February 24, 2023
 - b. Minutes of the regular Planning & Zoning Commission meeting of February 28, 2023
5. ***Consider*** a request by Ecosium LLC, for a Plat of the Peak Living Addition, Lot 1, Block A, being 10.018 acres, located directly north of 2631 FM 664, situated in the H. Bingham Survey, Abstract 114, an addition in the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 295055) – Owner: ECOSIUM LLC (SUB-8-2023) Staff: Zack King
6. ***Consider*** a request by Tamara Turton, KFM Engineering & Design, for a Plat of Dove Hollow Phase III, being 81.9758 acres, located south of Grove Creek Road, situated in the J.W. Wright Survey, Abstract 1182, an addition to the City of Waxahachie (Property ID 192636, 192639, and 192643) – Owner: GRBK EDGEWOOD LLC (SUB-90-2022) Staff: Zack King
7. ***Public Hearing*** on a request by Shelly Lehrer for a Replat of lots 10, 11, 12 and a portion of lot 13, Block 4, University Addition to create lots 11R and 12R, Block 4, University Addition, 2 residential lots, being .497 acres, located at 308 E. University Drive (Property ID 176160 and 176159) – Owner: SHELLY LEHER AND ANDREW AND CAITLIN PRATZ (SUB-144-2022) Staff: Eleana Tuley
8. ***Consider*** approval of SUB-144-2022

9. **Public Hearing** on a request by Larry and Ina Kollie for a Replat of Lots 1 and 2, Block 217, Town Addition to create Lots 1R and 2R, Block 217, Town Addition, 2 residential lots, being 2.915 acres, located at 1208 E Marvin Road (Property ID 171506) – Owner: LARRY AND INA KOLLIE (SUB-169-2022) Staff: Eleana Tuley
10. **Consider** approval of SUB-169-2022
11. **Consider** a request by Michael Holmes, Freedom Church for a Replat of Lot 1 and a portion of Lot 3, Block 1, Northgate Plaza, 2 lots, being 18.57 acres, located at 507 North Highway 77 (Property ID 175004) – Owner: BENBAROUKH, LLC (SUB-172-2022) Staff: Eleana Tuley
12. **Public Hearing** on a request by Tim Jackson, Texas Realty Capture & Surveying LLC for a Replat of Lot 9A, Leo Hightower Lots subdivision, to create Lot 9A-R, Leo Hightower Lots subdivision, 1 residential Lot, being 1.515 acres, located at 153 Lakeshore Drive, (Property ID 230811) – Owner: JEROME BEGNAUD (SUB-57-2022) Staff: Zack King
13. **Consider** recommendation of SUB-57-2022
14. **Public Hearing** on a request by Jeff Head, Evolving Texas for a Specific Use Permit (SUP) for a Franchised Private Utility (Oncor Electric) and Outdoor Storage use within a Light Industrial (LI-1) zoning district located directly north of the property at 3841 S Interstate 35 (Property ID 184700) - Owner: ONCOR ELECTRIC DELIVERY COMPANY, LLC (ZDC-165-2022) Staff: Eleana Tuley
15. **Consider** recommendation of Zoning Change No. ZDC-165-2022
16. **Public Hearing** on a request by Anna Carrillo, Carrillo Engineering, for a Zoning Change from a General Retail zoning district to Planned Development-General Retail, located at the northeast corner of US Highway 77 and E North Grove Boulevard (Property ID: 191121, 262125, and 262126) – Owner: HIGH FIVE TRUST – BJA (Mark) (ZDC-178-2022) Staff: Zack King
17. **Consider** recommendation of Zoning Change No. ZDC-178-2022
18. Adjourn

The Planning and Zoning Commission reserves the right to go into Executive Session as authorized by Section 551.071(2) of the Texas Government Code, for the purpose of seeking confidential legal advice from legal counsel on any agenda item listed herein. This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4006 or (TDD) 1-800-RELAY TX

<p style="text-align: center;"><i>Notice of Potential Quorum</i> <i>One or more members of the Waxahachie City Council may be present at this meeting.</i> <i>No action will be taken by the City Council at this meeting.</i></p>

The Waxahachie Planning & Zoning Commission held a special meeting on Friday, February 24, 2023 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Bonney Ramsey
David Hudgins
Erik Test
Ron Ansell

Members Absent: Betty Square Coleman

Others Present: Jennifer Pruitt, Senior Director of Planning
Eleana Tuley, Senior Planner
Amber Villarreal, City Secretary
Albert Lawrence, Deputy City Manager
Robert Brown, City Attorney
Chris Wright, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. Public Comments

Brad Williams, Green Brick Partners, 2805 Dallas Parkway, Plano, Texas, stated he is available for questions regarding SUB-126-2022 following the Executive Session. He explained he has worked with City staff extensively on this development and is not in agreement with staff's recommendation of denial. He noted a response letter was submitted to the Planning Department and encouraged the Commission to review it with staff and the City Attorney. Mr. Williams requested approval of the Haven Ranch Plat.

4. Convene into Executive Session for consultation with attorney regarding pending or contemplated litigation as permitted under Section 551.071, Texas Government Code

Chairman Keeler announced at 7:03 p.m. the Planning and Zoning Commission would convene into Executive Session for consultation with attorney regarding pending or contemplated litigation as permitted under Section 551.071, Texas Government Code

5. Reconvene and take any necessary action

The meeting reconvened at 7:12 p.m.

No action taken.

6. Consider a request by Christopher Hernandez, Kimley-Horn & Associates, Inc., for a Plat of Haven Ranch Phase 1, 172 Residential Lots & 13 Open Space HOA X Lots,

**being 190.886 acres, located west of the intersection of Harrington Road and Hunter Pass, situated in the William Stewart Survey, Abstract 956, the James Young Survey, abstract 1199, and the Norman H. Whittenberg Survey, Abstract 1128, an addition to the City of Waxahachie and the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 180774, 183003, 190570, 192730, 236611, 236612, 289474, 289475, 289476, & 289477) – Owner: GRBK EDGEWOOD LLC (SUB-126-2022)
Staff: Zack King**

Jennifer Pruitt, Senior Director of Planning, presented the case for Haven Ranch Phase 1 noting the applicant is requesting to plat the subject property into 172 residential lots and 13 open-space Homeowner's Association (HOA) X lots. She explained the applicant originally provided a plat submittal that the Planning & Zoning Commission heard at the October 25, 2022 meeting at the applicant's request. The Commission voted 5-0 to disapprove the proposed plat with conditions. Following the aforementioned disapproval, on Friday, February 10, 2023, the applicant provided a formal response and plat resubmittal to staff. This resubmittal was provided to address the conditions of disapproval that were identified by the Planning & Zoning Commission on October 25, 2022. The review of the applicant's resubmittal was completed by staff on February 17, 2023. Staff determined that the applicant's resubmittal failed to address the conditions of disapproval identified by the Planning & Zoning Commission. Staff considers the resubmittal provided by the applicant to be incomplete.

Ms. Pruitt explained the proposed preliminary wastewater plans do not comply with the City of Waxahachie's Wastewater Master Plan and have not been approved by the Public Works and Engineering Director. Staff provided a very staff report which identifies specific code sections regarding supplemental documentation and information for the Waxahachie Subdivision Ordinance and have been very specific related to those provisions. Ms. Pruitt stated staff recommends disapproval of the resubmittal with the conditions noted below:

Conditions:

1. Insufficient information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Section 5.1 of the Waxahachie Subdivision Ordinance and Section V – Special District Regulations of the Ellis County Subdivision and Development Standards.
 - *Information sufficient to demonstrate compliance with these standards is required.*
2. A Traffic Impact Analysis (TIA), as per Section 3.1 of the Waxahachie Subdivision Ordinance.
 - *A Traffic Impact Analysis (TIA) adhering to Section 3.1 of the Waxahachie Subdivision Ordinance is required.*
3. Since no information has been provided to demonstrate the provision of water and wastewater services to the property, all proposed lots within the ETJ have been reviewed under Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards. The lots & build lines proposed with this plat do not meet the minimum size or dimensions required by the Ellis County Subdivision and Development Standards.

(4a)

- *Lots adhering to the requirements of Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards are required with the proposed plat.*

Action:

Vice Chairman Melissa Ballard moved to disapprove SUB-126-2022, a Plat of Haven Ranch Phase I, with the conditions of the staff report. Mr. David Hudgins seconded, All Ayes.

7. Adjourn

There being no further business, the meeting adjourned at 7:18 p.m.

Respectfully submitted,

Amber Villarreal
City Secretary

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, February 28, 2023 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
David Hudgins
Erik Test
Ron Ansell

Others Present: Jennifer Pruitt, Senior Director of Planning
Zack King, Senior Planner
Eleana Tuley, Senior Planner
Amber Villarreal, City Secretary
Chris Wright, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Public Comments**

None.

4. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of February 14, 2023

Action:

Vice Chairman Melissa Ballard moved to approve item a. on the Consent Agenda. Mr. Erik Test seconded, All Ayes.

5. **Public Hearing on a request by the City of Waxahachie to adopt the Waxahachie Comprehensive Plan, including but not limited to the Future Land Use Plan, and Thoroughfare Plan**

Marshall Hines, Verdunity, explained the proposed Waxahachie Comprehensive Plan was created over a two (2) year period with input from the community including residents, stakeholder groups, City staff, and the Comprehensive Plan Advisory Committee. The Texas Local Government Code (Section 213.002) allows cities to adopt a comprehensive plan to guide the City's long-term growth and serve as the foundation for the City's development code. The plan helps a city become a more fiscally sustainable community. A comprehensive plan may include, but is not limited to, land use, transportation, and public facilities provisions. The plan is not a set of rules or procedures, but a guiding document for communities. It provides educational information to the public by explaining concepts and guiding principles for the community that reflects our values.

Mr. Hines explained there are five major sections in the document:

- **Introduction:** Provides overview of Waxahachie today and the economics of how land use works.
- **Land Use and Growth:** Provides the framework for guiding decisions and setting policy about what will be built, where, and when so the City can capitalize on near term opportunities while also ensuring long-term sustainability and affordability.
- **Mobility and Connectivity:** Provides overview of safe streets for cars and people. Identifies staff's recommendations for future roadways for connectivity. Serves as a guide to engineering when reviewing future developments.
- **Neighborhoods and Downtowns:** Provides the elements that make up specific neighborhoods and offers guidance to preserve and improve the neighborhoods in Waxahachie.
- **Implementation:** Provides an overview of incremental, iterative approach that makes meaningful progress toward bigger goals immediately with the resources the community has available.

The plan explains how development choices are affecting Waxahachie and identifies a fiscal focus on development patterns to help revenue meet maintenance needs the City is responsible for. It also addresses community concerns to make Waxahachie affordable to residents today and pay for needed improvements. The Future Land Use Map indicates diversity of place types without concentrating in one area, the Growth Map identifies areas where the city should invest in growth in regards to infrastructure, and the Thoroughfare Plan identifies where streets are necessary to accommodate growth.

Chairman Keeler opened the Public Hearing.

Those who spoke in favor:

Paul Christenson, 110 Williams, Street, Waxahachie, Texas
Kathleen Bowen, 527 W. Jefferson, Waxahachie, Texas

There being no others to speak for or against the Waxahachie Comprehensive Plan, Chairman Keeler closed the Public Hearing.

Chairman Keeler thanked Verdunity, Planning staff, the Planning and Zoning Commission, and citizens for their contributions in drafting the Waxahachie Comprehensive Plan over the last two (2) years. He encouraged citizens to review the plan on the city's website noting staff is available for questions and recommendations.

Commissioner Betty Square Coleman explained she supports the plan and acknowledged the deficit in regards to street improvements, especially in east Waxahachie.

6. Consider recommendation of Waxahachie Comprehensive Plan

Action:

Vice Chairman Melissa Ballard moved to recommend approval of the Waxahachie Comprehensive Plan, authorizing the City Manager and/or Mayor to execute all documents accordingly. Ms. Betty Square Coleman seconded, All Ayes.

7. **Consider a request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a Plat for Fort Joe, Lot 1, Block A, being 5.0 acres, located at the southeast corner of South US Highway 77 and FM 55, situated in the C. Cobb Survey, Abstract 220, an addition in the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID 294883) – Owner: KATHRYN JORDAN (SUB-116-2022) Staff: Eleana Tuley**

Eleana Tuley, Senior Planner, presented the case noting the applicant is requesting to plat a 5-acre tract located in the extra territorial jurisdiction (ETJ) at the southeast corner of US Highway 77 and FM 55. Ms. Tuley noted adequate water facilities are available to serve the site; however, the water service provider has confirmed that the subject property does not have sufficient water flow for firefighting and suppression services. The applicant has provided a note on the plat stating this deficiency. The plat complies with both City and County subdivision regulations and staff recommends approval as presented.

Action:

Ms. Bonney Ramsey moved to approve SUB-116-2022 for a Plat for Fort Joe, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly. Mr. David Hudgins seconded, All Ayes.

8. **Consider a request by Jose M. Medina & Ana Maria Medina, for a Replat of Medina Estates, Lots 1-5, being a replat of lots 2R and 3R of Alfords Acres, located on Little Branch Road, an addition in the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 138728) – Owner: JOSE M. & ANA MARIA MEDINA (SUB-65-2022) Staff: Zack King**

Zack King, Senior Planner, presented the case noting the applicant is requesting to replat the subject property into five (5) lots for residential use in the ETJ. In conformance with the City of Waxahachie Thoroughfare Plan, the applicant is providing 10' of right-of-way (ROW) dedication along the north-south portion of Little Branch Road. The proposed lots meet or exceed all Ellis County lot size and dimension requirements and staff recommends approval as presented.

Action:

Mr. David Hudgins moved to approve SUB-65-2022, a Replat for Medina Estates, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly. Mr. Ron Ansell seconded, All Ayes.

9. **Public Hearing on a request by Royce Barrington, N3 Commercial Real Estate, for a Specific Use Permit (SUP) for an Automotive Care Center use within the General Retail District (GR) a zoning district located at approximately 875 feet south of Butcher Road on the east side of US Highway 77 (Property ID 189379) - Owner: VAQUERO HIGHWAY 77 WAXAHACHIE PARTNERS, LP (ZDC-157-2022) Staff: Eleana Tuley**

(46)

Ms. Tuley presented the case noting the applicant is requesting a specific use permit for a quick oil change facility (Strickland Brothers 10 Minute Oil Change) on a 0.57-acre tract located approximately 875 feet south of Butcher Road on the east side of US Highway 77. The quick oil change facility will consist of a 1,725-square-foot building. About 350 square feet will consist of an office and a customer lobby. The remainder of the building will consist of three drive-thru bays for the business to perform minor automotive care services including oil changes, state inspections, and routine service checkups. Standard service checkups include inspecting cabin air filters, wiper blades, anti-freeze/coolant, power steering fluid, windshield washer fluid, tire tread, engine air filter, and front and rear exterior lights.

Ms. Tuley explained the applicant has provided the minimum number of standard parking and stacking spaces. The zoning ordinance requires three stacking spaces for each drive-thru bay to optimize the use of space to safely and efficiently store and move vehicles waiting for service. The primary access to the site will be along US Highway 77. TxDOT has approved the driveway along 77. The driveway will be constructed with the O'Reilly Auto Parts development before construction for the quick oil change facility begins.

Ms. Tuley presented the two sets of architectural elevations for the west elevation, facing US Highway 77.

Option 1: The lower segment of the building is composed of a gray split-face CMU with a blue EIFS band. The remainder of the building is composed of gray stucco.

Option 2: The lower segment of the building is composed of a natural thin stone veneer. The remainder of the building comprises a 3-part stucco system with a brick pattern. The banding is blue, and the rest is a light gray color.

Ms. Tuley stated the applicant has satisfied the City's development standards in the zoning ordinance and staff recommends approval with the following conditions:

1. The Applicant agrees to execute a mutually agreed upon Development Agreement for the development.
2. The Applicant shall obtain a permit from the City of Waxahachie Building Department before construction.

The Commission discussed access to Highway 77 and Ms. Tuley explained there will be other businesses in this area with limited direct access to Highway 77.

Chairman Keeler opened the Public Hearing.

Brenda Wadleigh, 1625 Willow Glen Court, Keller, Texas, explained there will be no outside storage nor noisy services.

Commissioner Bonney Ramsey asked the applicant which elevation is preferred and Ms. Wadleigh noted Option 2.

Chairman Keeler inquired about the proposed signage and Ms. Tuley noted the signage complies with City specifications. She explained there will be a monument sign on Highway 77 and additional signage on the building.

There being no others to speak for or against ZDC-157-2022, Chairman Keeler closed the Public Hearing.

10. Consider recommendation of Zoning Change No. ZDC-157-2022

Action:

Ms. Bonney Ramsey moved to recommend approval of ZDC-157-2022, a Specific Use Permit (SUP) for an Automotive Care Center use, subject to the conditions of the staff report, including elevation façade Option 2, and authorizing the City Manager and/or Mayor to execute all documents accordingly. Ms. Betty Square Coleman seconded, All Ayes.

11. Public Hearing on a request by Corey Vaughan, QT South, LLC, for a Specific Use Permit (SUP) for a Convenience Store with Gasoline Sales use (QuikTrip) within a General Retail zoning district located at 1342 Brown Street (Property ID: 295114 & 295115) – Owner: BUFFALO CREEK PLAZA LLC (ZDC-175-2022) Staff: Zack King (ZDC-175-2022) Staff: Zack King

Mr. King presented the case noting the applicant is proposing a Specific Use Permit (SUP) to allow for Convenience Store with Gasoline Sales (QuikTrip) in a General Retail (GR) zoning district. Per the City of Waxahachie Zoning Ordinance, both a Convenience Store use and a Gasoline Sales use within a GR zoning district requires a SUP to be approved by City Council. The subject property is currently situated on two (2) platted lots and a replat will be needed to facilitate the proposed development.

Per the Site Plan and Operational Plan provided by the applicant, QuikTrip is proposing to feature a 5,312-square-foot convenience store and eight gasoline pumps. The parking and building setbacks for the convenience store adhere to the requirements outlined in the Waxahachie Zoning Ordinance. The gasoline pumps are proposed in two groups of four pumps, each covered by a canopy. It is important to note that a Convenience Store and Gasoline Sales SUP was previously approved for this property in August of 2020. The specific approval was for a 7-Eleven gas station. Following approval, the developer opted not to pursue the development and the SUP expired.

The site is proposed to be accessed via a direct connection to Indian Drive to the south, a mutual access easement running along the rear of the property to the east, and a right-in-right-out (RIRO) only driveway connection to Brown Street. It is important to note that the mutual access easement to the rear of the property provides direct access from the site to the Highway 287 frontage road. TxDOT has provided written confirmation that RIRO connection to Brown Street will be acceptable.

The applicant provided three elevation/façade plans for consideration with this SUP. The applicant and staff prefer Option 1.

Option 1: Features three primary materials: Atlas Brick, Stone, and Window Glazing.

(4b)

Option 2: Replaces the proposed stone with EIFS material designed to mimic the look of granite.
Option 3: Replaces the proposed stone with a porcelain stone tile.

The articulation of the proposed building meets the standards outlined in the Waxahachie Zoning Ordinance. Additionally, staff would like to note that the columns used for the gasoline canopies and the dumpster enclosure are proposed to utilize brick matching the convenience store.

It was the consensus of the Planning and Zoning Commission to select Option 1.

The proposed Landscape Plan meets all requirements for the site and the applicant has included twenty (20) Crape Myrtle trees.

In regards to signage, the applicant is proposing multiple wall signs located on both the convenience store and gasoline pump canopies. Additionally, the plan is proposing two (2) monument signs with electric gas price signs along Brown Street and Indian Drive which all adhere to the requirements of the Waxahachie Zoning Ordinance.

Mr. King explained the applicant is also proposing a 293-square-foot, 90' pole sign on-site which exceeds the maximum allowable height and minimum setback requirement of the Waxahachie Zoning Ordinance. The pole sign is proposed to be setback approximately 97' from the convenience store, approximately 78' from the eastern property line, and only 25' from the northern property line. The applicant originally intended to locate the proposed pole sign off-site, as per the Operational Plan; however, staff advised the applicant that off-site pole signs are not permitted by the Waxahachie Zoning Ordinance. The applicant has revised their proposal to locate the sign on-site, but has not opted to change the height of the proposed sign. There is space on the site to potentially accommodate a pole sign approximately 50' in height that meets the setback requirements of the Waxahachie Zoning Ordinance. However, a sign of this height would likely be obscured from traffic along Highway 287, thus defeating the purpose of a pole sign altogether.

Mr. King reviewed staff concerns regarding the pole sign proposed with this development noting the proposed sign is out of character for the surrounding area and does not meet the requirements of the Waxahachie Zoning Ordinance. If the applicant elected to proceed with a pole sign adhering to the requirements of the Waxahachie Zoning Ordinance, the sign would not be visible to drivers on Highway 287 until they had already passed the Brown Street exit. Due to this, staff is not supportive of the proposed pole sign and does not believe a pole sign is appropriate, or needed, with the development. Staff recommends the applicant remove the pole sign from the SUP request. Staff recommends approval of the SUP request with the following staff conditions:

1. The proposed pole sign will be removed from the SUP request and the Site Plan.
2. A mutually agreed upon Development Agreement shall be required for the development.
3. The applicant shall receive all necessary building permits from the Building & Community Services Department prior to construction.

Mr. King stated if the Planning & Zoning Commission opts to recommend approval of the pole sign, staff recommends the Commission require the pole sign to adhere to the minimum setback and maximum height & size requirements detailed in Section 5.08 of the Waxahachie Zoning Ordinance.

(4b)

Commissioner Erik Test expressed his concern with market saturation of this use and recommended a restaurant might be a better use of the site.

Commissioner Ron Ansell inquired about the floodplain area and Mr. King explained there are areas of the development within the floodplain that the developer will have to work around.

The Commission inquired about 18-wheeler traffic to the site.

Corey Vaughan, QuickTrip, explained this location is not designed for 18 wheelers to get diesel, and noted only the 18 wheelers delivering fuel will be on-site. Mr. Vaughan requested approval of the proposed pole sign and explained the Highway 287 southbound visibility is obstructed without the height of the pole sign. He noted after working with their engineer that a 50-foot setback is attainable.

Chairman Keeler noted he is not supportive of the proposed pole sign as it is not in compliance with City regulations.

Mike Potter, QuickTrip, explained a pole sign is needed for the Highway 287 traffic and a monument sign will not suffice. He requested approval of a pole sign that would conform to City standards.

Chairman Keeler opened the Public Hearing.

Those who spoke in favor:

Joe Rust, 440 Gingerbread Lane, Waxahachie, Texas

There being no others to speak for or against ZDC-175-2022, Chairman Keeler closed the Public Hearing.

12. Consider recommendation of Zoning Change No. ZDC-175-2022

Action:

Vice Chairman Melissa Ballard moved to recommend approval of ZDC-175-2022, a Specific Use Permit (SUP) request for a Convenience Store with Gasoline Sales (QuikTrip) use at Property ID: 295114 & 295115, subject to the conditions of the staff report, and allow a Pole Sign in compliance with the current sign ordinance. Ms. Betty Square Coleman seconded, All Ayes.

13. Adjourn

There being no further business, the meeting adjourned at 8:09 p.m.

Respectfully submitted,

Amber Villarreal,
City Secretary

Planning & Zoning Department

Plat Staff Report

Case: SUB-8-2023



MEETING DATE(S)

Planning & Zoning Commission:

March 15, 2023

CAPTION

Consider request by Ecosium LLC for a Plat of the Peak Living Addition, Lot 1, Block A, being 10.018 acres, located directly north of 2631 FM 664, situated in the H. Bingham Survey, Abstract 114, an addition in the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 295055) – Owner: Ecosium LLC (SUB-8-2023) Staff: Zack King

RECOMMENDED MOTION

"I move to approve SUB-8-2023, a plat for the Peak Living Addition, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."

APPLICANT REQUEST

The applicant is requesting to plat the subject property into one (1) lot for residential use.

CASE INFORMATION

Applicant: Ecosium LLC

Property Owner(s): Ecosium LLC

Site Acreage: 10.022 acres

Number of Lots: 1 lot

Number of Dwelling Units: N/A

Park Land Dedication: N/A (ETJ)

Adequate Public Facilities: Adequate public facilities are available to the subject property via Sardis-Lone Elm WSC and on-site septic systems.

SUBJECT PROPERTY

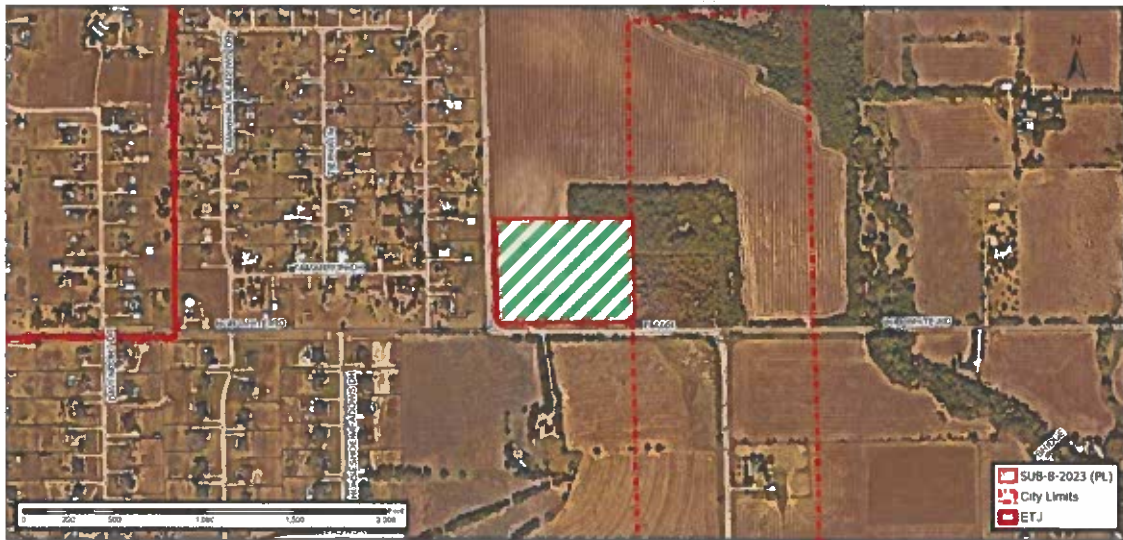
General Location: Directly north of 2631 FM 664

Parcel ID Number(s): 295055

Current Zoning: N/A (ETJ)

Existing Use: The subject property is currently undeveloped.

Platting History: The subject property is part of the H. Bingham Survey, Abstract 114.

Site Aerial:**PLANNING ANALYSIS**

The applicant proposes to plat the subject property into one (1) lot for residential use. In conformance with the City of Waxahachie Thoroughfare Plan, the applicant is providing approximately 4' of right-of-way (ROW) dedication along the east-west portion of FM 664. The proposed lot meets all Ellis County lot size and dimension requirements.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the replat request as presented.

ATTACHED EXHIBITS

1. Plat
2. Water Letter

APPLICANT REQUIREMENTS

1. If approved by Planning & Zoning Commission, within 30 days, the applicant shall provide the Planning Department with one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify that all outstanding comments were satisfied.
 - a. If comments were not satisfied, then the applicant will be notified to make corrections.
 - b. If all comments were satisfied, then the applicant shall provide five signed, hard-copy plats.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted, and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King
Senior Planner

zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A
Senior Director of Planning

jennifer.pruitt@waxahachie.com



PLANNING & ZONING DEPARTMENT
401 South Rogers Street | Waxahachie, Texas 75168
(469) 309-4290 | www.waxahachie.com/Departments/PlanningandZoning



WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: Ecosium, LLC Parcel ID #: 180464
Subdivision Name: Peak Living Townhomes

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3765
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. The water line size servicing the lots is <u>12</u> inches.	<input type="checkbox"/>	<input type="checkbox"/>

PAUL TISCHLER

Print Name of General Manager of water provider or Designee

Signature of General Manager of water provider or Designee

Sardis's Lone Elm

Name of water provider company

1-17-2023

Date

(u)

Planning & Zoning Department

Plat Staff Report

Case: SUB-90-2022



MEETING DATE(S)

Planning & Zoning Commission:

March 15, 2023

CAPTION

Consider request by Tamara Turton, KFM Engineering & Design, for a **Plat** of Dove Hollow Phase III, being 81.9756 acres, located south of Grove Creek Road, situated in the J.W. Wright Survey, Abstract 1182, an addition to the City of Waxahachie (Property ID 192636, 192639, and 192643) – Owner: GRBK EDGEWOOD LLC (SUB-90-2022)

RECOMMENDED MOTION

"I move to approve SUB-90-2022, a plat of Dove Hollow Phase III, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."

APPLICANT REQUEST

The applicant requests to plat the subject property into 171 Single Family Residential lots and 9 Open Space lots.

CASE INFORMATION

Applicant:

Tamara Turton, KFM Engineering & Design

Property Owner(s):

GRBK EDGEWOOD LLC

Site Acreage:

81.9756 acres

Number of Lots:

180 lots

Number of Dwelling Units:

171 units

Park Land Dedication:

The plats open space provisions adhere to the Site Plan (SP-75-2020) approved for the property. No additional park land dedication is required.

Adequate Public Facilities:

Adequate public facilities are available to the site.

SUBJECT PROPERTY

General Location:

South of Grove Creek Road

Parcel ID Number(s):

192636, 192639, and 192643

Current Zoning:

PD-SF1,2,3, MF-1, GR (North Grove PD)

Existing Use:

The subject property is currently undeveloped.

Platting History:

The subject property is part of the J W Wright Survey, Abstract 1182.

Site Aerial:**PLANNING ANALYSIS**

The applicant proposes to plat the subject property into 171 single-family residential lots and 9 open space lots. The layout of the proposed plat meets the expectations of the Thoroughfare Plan as it relates to the subject property. The plat contains three (3) types of residential lots; 60' lots, 70' lots, and 80' lots. The minimum lot size for 60' lots is 7,200 square feet, the minimum size for 70' lots is 8,400 square feet, and the minimum size for 80' lots is 9,600 square feet. These dimensions adhere to the Site Plan approved for the property in 2020 (SP-75-2020).

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the Plat request as presented.

ATTACHED EXHIBITS

1. Plat

APPLICANT REQUIREMENTS

1. If approved by the Planning & Zoning Commission, within 30 days, the applicant shall provide the Planning Department with one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify that all outstanding comments were satisfied.
 - a. If comments were not satisfied, then the applicant will be notified to make corrections.
 - b. If all comments were satisfied, then the applicant shall provide five signed, hard-copy plats.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed, and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King

Senior Planner

zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

DOVE HOLLOW, PHASE III
 BEING A 30.00 ACRE TRACT OF LAND LOCATED
 IN THE W. WRIGHT SURVEY, ABSTRACT NO. 1182,
 CITY OF WAXAHACHIE, ELLIS COUNTY, TX
 ZONED: PD-SF1, 2.3 MP-1 GR
 171 RESIDENTIAL LOTS - 32.8213 ACRES
 8 OPEN SPACE LOTS - 27.2900 ACRES
 SUB-90-2022
 MARCH - 2023

LEGEND

- OR: ROCK ROAD ROUNDED WITH CAP
- OR: 5/8" ROW ROAD WITH CAP STAMPED
- OR: "SPACED" ROW SET
- OR: ROCK ROAD ROUNDED
- OR: POINT FOR CORNER
- OR: CONTROLLING SURVEYMENT
- OR: VOLUME
- OR: PAGE
- OR: E.C.C.A. NO.
- OR: ELLIS COUNTY CURVES
- OR: INSTRUMENT NUMBER
- OR: EXISTING RECORD, LOTS
- OR: COUNTY, TEXAS
- OR: OFFICIAL PUBLIC RECORDS
- OR: ELLIS COUNTY, TEXAS
- OR: AREA LENGTH OF 5' 8"
- OR: BUILDING LINE
- OR: BY THIS PLAT
- OR: BY SEPARATE INSTRUMENT
- OR: ROCK REFERENCE
- OR: CENTERLINE
- OR: EASEMENT
- OR: EASEMENT REFERENCE
- OR: SIDEWALK
- OR: UTILITY EASEMENT
- OR: LOT SETBACK DESIGNATION

NOTES

All distances along curves except station are in feet.
 See Page 3 for Line and Curve Tables.
 See Page 4 for Area Tables and Station List Tables.
 See Page 5 for Owner's Certificate and Declaration.
 Surveyor's Signature and Official Seal.

GRAPHIC SCALE IN FEET
 1" = 100'

*** VICINITY MAP ***
 (NOT TO SCALE)

*** INDEX MAP ***
 (NOT TO SCALE)

*** INSET A ***
 (NOT TO SCALE)

*** INSET B ***
 (NOT TO SCALE)

*** INSET C ***
 (NOT TO SCALE)

*** INSET D ***
 (NOT TO SCALE)

*** INSET E ***
 (NOT TO SCALE)

*** INSET F ***
 (NOT TO SCALE)

*** INSET G ***
 (NOT TO SCALE)

*** INSET H ***
 (NOT TO SCALE)

*** INSET I ***
 (NOT TO SCALE)

*** INSET J ***
 (NOT TO SCALE)

*** INSET K ***
 (NOT TO SCALE)

*** INSET L ***
 (NOT TO SCALE)

*** INSET M ***
 (NOT TO SCALE)

*** INSET N ***
 (NOT TO SCALE)

*** INSET O ***
 (NOT TO SCALE)

*** INSET P ***
 (NOT TO SCALE)

*** INSET Q ***
 (NOT TO SCALE)

*** INSET R ***
 (NOT TO SCALE)

*** INSET S ***
 (NOT TO SCALE)

*** INSET T ***
 (NOT TO SCALE)

*** INSET U ***
 (NOT TO SCALE)

*** INSET V ***
 (NOT TO SCALE)

*** INSET W ***
 (NOT TO SCALE)

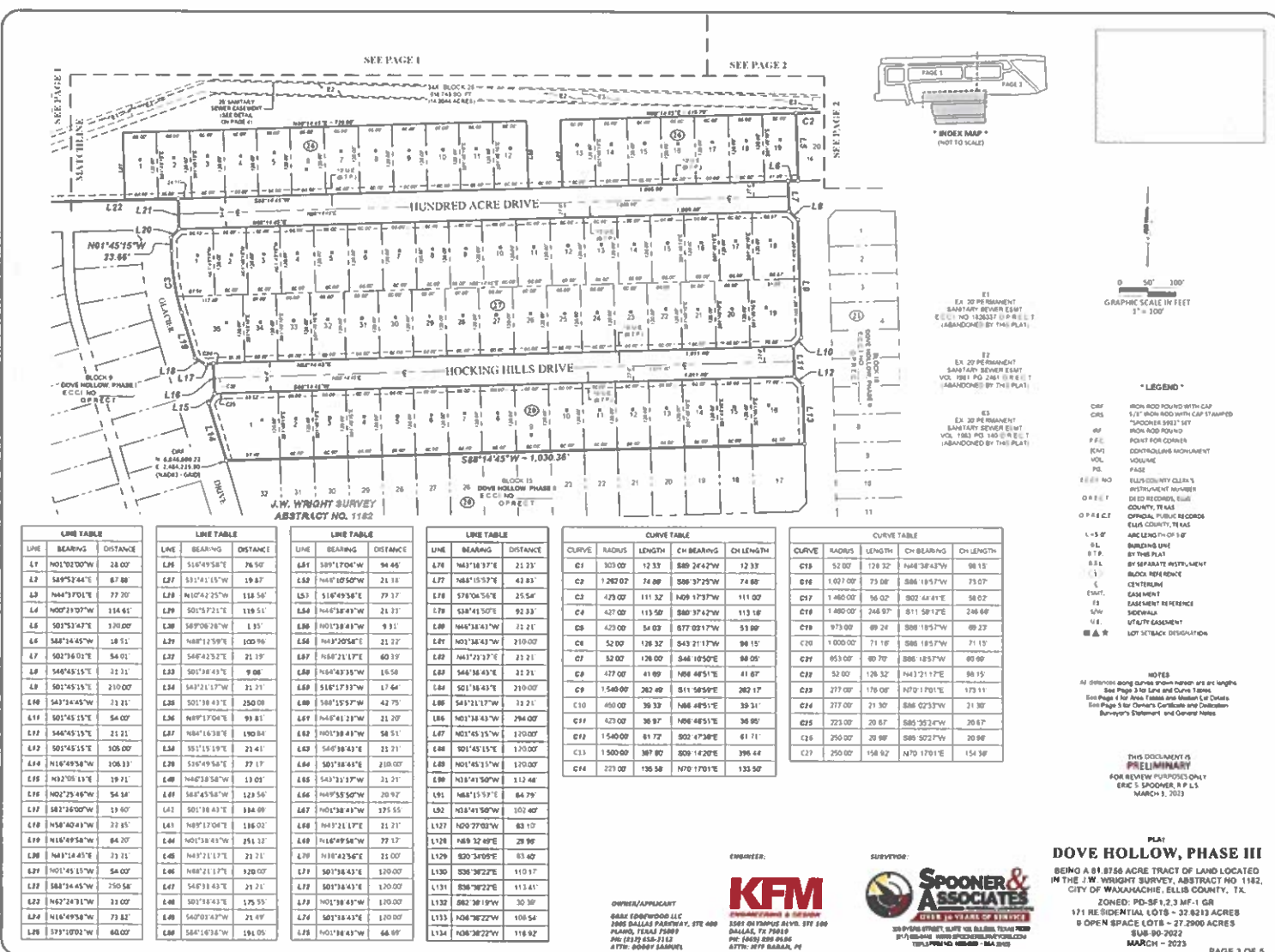
*** INSET X ***
 (NOT TO SCALE)

*** INSET Y ***
 (NOT TO SCALE)

*** INSET Z ***
 (NOT TO SCALE)

[illegible]

(6)



LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			CURVE TABLE			CURVE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	CURVE	RADIUS	LENGTH	CURVE	RADIUS	LENGTH
L1	N01°00'00"W	28.00'	L16	S16°49'58"E	76.50'	L31	S01°17'04"W	94.46'	L46	N43°18'37"E	21.23'	C1	303.00'	12.33'	C16	52.00'	126.32'
L2	S49°52'44"E	87.88'	L17	S11°41'15"W	19.87'	L32	N48°10'50"W	21.18'	L47	N48°15'57"E	43.83'	C2	1262.00'	74.00'	C17	1027.00'	73.08'
L3	N44°37'01"E	77.70'	L18	N10°42'25"W	118.58'	L33	S16°49'58"E	77.17'	L48	S78°04'54"E	25.54'	C3	475.00'	111.32'	C18	1480.00'	248.97'
L4	N00°31'07"W	114.61'	L19	S01°57'21"E	118.51'	L34	N48°10'50"W	21.17'	L49	S18°41'50"E	92.33'	C4	427.00'	113.50'	C19	1480.00'	248.97'
L5	S01°57'47"E	120.00'	L20	S09°06'28"W	1.93'	L35	N01°38'43"W	9.31'	L50	N48°15'57"E	21.21'	C5	425.00'	54.03'	C20	973.00'	89.24'
L6	S48°14'45"W	18.11'	L21	N48°12'59"E	100.76'	L36	N43°30'56"E	21.27'	L51	N01°38'43"W	210.00'	C6	52.00'	126.32'	C21	1000.00'	71.18'
L7	S02°16'01"E	54.01'	L22	S48°42'32"E	21.19'	L37	N48°12'17"E	60.39'	L52	N43°21'37"E	21.21'	C7	52.00'	126.00'	C22	953.00'	80.70'
L8	S48°45'15"E	21.21'	L23	S01°38'43"E	9.08'	L38	N48°43'35"W	16.58'	L53	S44°38'43"E	31.21'	C8	477.00'	41.89'	C23	52.00'	126.32'
L9	S01°45'15"E	210.00'	L24	S43°21'17"W	21.21'	L39	S18°17'33"W	17.64'	L54	S01°38'43"E	210.00'	C9	1540.00'	282.49'	C24	277.00'	176.08'
L10	S43°24'45"W	21.21'	L25	S01°38'43"E	250.00'	L40	S01°55'57"W	42.75'	L55	S43°21'17"W	31.21'	C10	460.00'	39.33'	C25	277.00'	21.30'
L11	S01°45'15"E	54.00'	L26	N48°17'04"E	93.81'	L41	N48°17'04"E	93.81'	L56	N01°38'43"W	294.00'	C11	425.00'	39.37'	C26	273.00'	20.67'
L12	S46°45'15"E	21.21'	L27	N48°16'38"E	190.84'	L42	N01°38'43"W	58.51'	L57	N01°45'15"E	170.00'	C12	1540.00'	81.72'	C27	250.00'	20.99'
L13	S01°45'15"E	100.00'	L28	S01°15'19"E	21.41'	L43	S48°16'43"E	21.21'	L58	N01°45'15"E	170.00'	C13	1500.00'	367.90'	C28	250.00'	154.38'
L14	N16°48'58"W	108.33'	L29	S16°49'58"E	77.17'	L44	S01°38'43"E	210.00'	L59	N18°41'50"W	112.48'	C14	273.00'	136.58'			
L15	N43°28'19"E	19.71'	L30	N48°18'58"W	13.05'	L45	S43°21'17"W	31.21'	L60	N18°41'50"W	112.48'						
L16	N02°25'49"W	54.14'	L31	S48°45'58"E	123.54'	L46	N43°35'50"W	20.92'	L61	N48°15'57"E	64.79'						
L17	S43°24'00"W	13.60'	L32	S01°38'43"E	134.49'	L47	N01°38'43"W	175.55'	L62	N18°41'50"W	102.40'						
L18	N48°40'41"W	22.85'	L33	N48°17'04"E	136.02'	L48	N43°21'17"E	21.21'	L63	N00°27'03"W	83.10'						
L19	N16°48'58"W	84.20'	L34	N01°38'43"E	251.32'	L49	N16°48'58"W	77.17'	L64	N48°12'49"E	28.96'						
L20	N43°14'43"E	21.21'	L35	N48°17'17"E	21.21'	L50	N18°42'56"E	21.00'	L65	S20°34'05"E	83.40'						
L21	N01°45'15"W	54.00'	L36	N48°17'17"E	128.00'	L51	S01°38'43"E	120.00'	L66	S28°36'22"E	113.41'						
L22	S48°14'45"W	250.56'	L37	S48°13'43"E	21.21'	L52	S01°38'43"E	120.00'	L67	S48°13'43"E	120.00'						
L23	N43°24'31"W	21.00'	L38	S01°38'43"E	175.55'	L53	S01°38'43"E	120.00'	L68	S48°13'43"E	120.00'						
L24	N16°48'58"W	73.82'	L39	S48°13'43"E	191.05'	L54	S01°38'43"E	66.99'									
L25	S73°10'02"W	60.00'															

DOVE HOLLOW, PHASE III
BEING A 81.8756 ACRE TRACT OF LAND LOCATED
IN THE J.W. WRIGHT SURVEY, ABSTRACT NO. 1182,
CITY OF WAUWATCHEE, ELLIS COUNTY, TX.
ZONED: PD-SF-12.3 INF-1 GR
171 RESIDENTIAL LOTS - 32,821.3 ACRES
9 OPEN SPACE LOTS - 27,290.0 ACRES
SUB-90-2022
MARCH - 2023

ENGINEER:
KFM
KIMBERLY F. MCKINNEY, P.E.
2005 DALLAS PARKWAY, STE 400
DALLAS, TX 75249
PH: (214) 638-1112
ATTN: DORRIS SAMPSON

SURVEYOR:
SPOONER & ASSOCIATES
2005 DALLAS PARKWAY, STE 400
DALLAS, TX 75249
PH: (214) 638-1112
ATTN: DORRIS SAMPSON

(6)

AREA TABLE - BLOCK 30		
LOT	SQ. FT.	ACRES
1	13,241	0.3040
2	11,349	0.2581
3	11,349	0.2581
4	13,241	0.3040
5	12,309	0.2825
6	10,814	0.2508
7	11,319	0.2588
8	13,314	0.3056

AREA TABLE - BLOCK 29		
LOT	SQ. FT.	ACRES
1	7,300	0.1742
2	7,392	0.1687
3	7,427	0.1700
4	7,452	0.1711
5	7,478	0.1717
6	10,459	0.2401
7	20,329	0.4687
8	7,251	0.1665
9	7,518	0.1725
10	7,685	0.1760
11	7,262	0.1667
12	7,200	0.1653
13	8,645	0.1965

AREA TABLE - BLOCK 28		
LOT	SQ. FT.	ACRES
1	8,730	0.2004
2	7,200	0.1653
3	7,200	0.1653
4	7,200	0.1653
5	7,488	0.1719
6	7,419	0.1703
7	7,200	0.1653
8	7,200	0.1653
9	7,200	0.1653
10	7,200	0.1653
11	7,200	0.1653
12	7,200	0.1653
13	7,200	0.1653
14	7,200	0.1653
15	7,200	0.1653
16	7,200	0.1653
17	7,200	0.1653
18	7,200	0.1653
19	7,200	0.1653
20	7,200	0.1653
21	7,200	0.1653
22	7,200	0.1653
23	7,200	0.1653
24	7,200	0.1653
25	7,200	0.1653
26	7,200	0.1653
27	7,200	0.1653
28	7,200	0.1653
29	7,200	0.1653
30	7,083	0.1621
31	14,120	0.3241
32	11,229	0.2576
33	8,617	0.2023

AREA TABLE - BLOCK 20		
LOT	SQ. FT.	ACRES
1	13,497	0.3087
2	7,200	0.1653
3	7,200	0.1653
4	7,200	0.1653
5	7,200	0.1653
6	7,200	0.1653
7	7,200	0.1653
8	7,200	0.1653
9	7,200	0.1653
10	7,200	0.1653
11	7,200	0.1653
12	7,200	0.1653
13	7,200	0.1653
14	7,200	0.1653
15	7,200	0.1653
16	11,037	0.2533

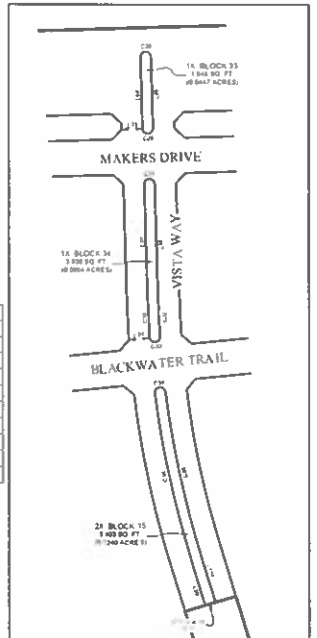
AREA TABLE - BLOCK 32		
LOT	SQ. FT.	ACRES
1	11,278	0.2540
2	8,600	0.2204
3	8,600	0.2204
4	8,600	0.2204
5	8,600	0.2204
6	8,600	0.2204
7	8,600	0.2204
8	8,600	0.2204
9	11,289	0.2591
10	9,611	0.2208
11	8,600	0.1907
12	8,600	0.2025
13	8,600	0.2025
14	8,600	0.2025
15	8,600	0.2025
16	8,600	0.1887
17	8,600	0.2025
18	8,600	0.2025
19	9,717	0.2231

AREA TABLE - BLOCK 31		
LOT	SQ. FT.	ACRES
1	11,288	0.2581
2	9,600	0.2204
3	9,600	0.2204
4	9,600	0.2204
5	9,600	0.2204
6	10,249	0.2353
7	9,600	0.2204
8	9,600	0.2204
9	9,600	0.2204
10	9,600	0.2204
11	9,600	0.2204
12	9,600	0.2204
13	11,388	0.2581
14	10,086	0.2316
15	8,400	0.1929
16	8,400	0.1929
17	8,400	0.1929
18	8,400	0.1929
19	8,400	0.1929
20	8,400	0.1929
21	8,400	0.1929
22	8,400	0.1929
23	8,400	0.1929
24	8,400	0.1929
25	8,400	0.1929
26	8,992	0.2064
27	9,341	0.2144
28	10,967	0.2522

AREA TABLE - BLOCK 27		
LOT	SQ. FT.	ACRES
1	8,728	0.2003
2	7,200	0.1653
3	7,200	0.1653
4	7,200	0.1653
5	7,200	0.1653
6	7,200	0.1653
7	7,200	0.1653
8	7,200	0.1653
9	7,200	0.1653
10	7,200	0.1653
11	7,200	0.1653
12	7,200	0.1653
13	7,200	0.1653
14	7,200	0.1653
15	7,200	0.1653
16	7,200	0.1653
17	7,200	0.1653
18	8,404	0.2206
19	19,817	0.4542
20	7,200	0.1653
21	7,200	0.1653
22	7,200	0.1653
23	7,200	0.1653
24	7,200	0.1653
25	7,200	0.1653
26	7,200	0.1653
27	7,200	0.1653
28	7,200	0.1653
29	7,200	0.1653
30	7,200	0.1653
31	7,200	0.1653
32	7,200	0.1653
33	7,200	0.1653
34	7,200	0.1653
35	12,299	0.2810

AREA TABLE - BLOCK 26		
LOT	SQ. FT.	ACRES
1	7,200	0.1653
2	7,200	0.1653
3	7,200	0.1653
4	7,200	0.1653
5	7,200	0.1653
6	7,200	0.1653
7	7,200	0.1653
8	7,200	0.1653
9	7,200	0.1653
10	7,200	0.1653
11	7,200	0.1653
12	7,200	0.1653
13	7,200	0.1653
14	7,200	0.1653
15	7,200	0.1653
16	7,200	0.1653
17	7,200	0.1653
18	7,200	0.1653
19	7,200	0.1653

CURVE TABLE (PAGE 4 ONLY)				
CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH
C26	8.00'	25.13'	S88°21'17"N	16.00'
C29	8.00'	24.19'	S88°21'17"E	16.00'
C30	1,508.00'	56.19'	S82°48'11"E	56.19'
C31	8.00'	24.19'	S88°21'17"W	16.00'
C32	1,492.00'	56.80'	S82°48'11"E	56.80'
C33	8.00'	24.19'	N88°01'30"E	16.00'
C34	8.00'	24.19'	S82°50'47"W	16.00'
C35	1,500.33'	253.38'	S11°34'54"E	253.08'
C38	1,516.51'	258.08'	N11°38'02"W	259.79'



AREA TABLE - BLOCK 25		
LOT	SQ. FT.	ACRES
1	13,241	0.3040
2	11,349	0.2581
3	11,349	0.2581
4	13,241	0.3040
5	12,309	0.2825
6	10,814	0.2508
7	11,319	0.2588
8	13,314	0.3056

OPEN SPACE LOTS		
LOT	BLOCK	ACRES
1X	33	0.0447
1X	34	0.0804
2X	15	0.1240
2X	29	0.1008
15X	28	0.5684
20X	28	0.2204
30X	33	0.4485
34X	28	0.2044
40X	34	0.4625

THIS DOCUMENT IS
PRELIMINARY
FOR REVIEW PURPOSES ONLY
ERIC S. SPOONER, R.P.L.S.
MARCH 3, 2023

* 55' EASEMENT DETAIL *

OWNER/APPLICANT
BERRY INVESTMENT LLC
2806 DALLAS PARKWAY, STE 400
PLANO, TEXAS 75088
PH: (972) 668-1111
ATTN: BOBBY SAMUEL

ENGINEER
KFM
KIMBERLY F. MCKEE
3801 GUYTON BLVD, STE 100
DALLAS, TX 75249
PH: (972) 668-1111
ATTN: BOBBY SAMUEL

SURVEYOR
SPOONER & ASSOCIATES
10111 ALLEN PARKWAY
SUITE 100
DALLAS, TEXAS 75249
PH: (972) 668-1111
ATTN: BOBBY SAMUEL

PLAT
DOVE HOLLOW, PHASE III
BEING A 81.8756 ACRE TRACT OF LAND LOCATED
IN THE J.W. WRIGHT SURVEY, ABSTRACT NO. 1182,
CITY OF WAXAHACHIE, ELLIS COUNTY, TX
ZONED PD-SF1.2, 3 MP-1 OR
171 RESIDENTIAL LOTS - 32.8213 ACRES
8 OPEN SPACE LOTS - 27.2800 ACRES
SUB-90-2022
MARCH - 2023

(7+8)

Planning & Zoning Department

Plat Staff Report

Case: SUB-144-2022



MEETING DATE(S)

Planning & Zoning Commission:

March 15, 2023

CAPTION

Public Hearing on a request by Shelly Lehrer for a **Replat** of lots 10, 11, 12 and a portion of lot 13, Block 4, University Addition to create lots 11R and 12R, Block 4, University Addition, 2 residential lots, being 0.497 acres, located at 308 E. University Drive (Property ID 176160 and 176159) – Owner: Shelly Lehrer and Andrew and Caitlin Pratz (SUB-144-2022)

RECOMMENDED MOTION

*"I move to approve SUB-144-2022 for a **Replat** of lots 10, 11, 12 and a portion of lot 13, Block 4, University Addition, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."*

APPLICANT REQUEST

The Applicant is requesting to replat the subject property (0.497) to revise the shared property line splitting the two existing lots at 308 E. University Drive.

CASE INFORMATION

Applicant:

Shelly Lehrer

Property Owner(s):

Shelley Lehrer and Andrew and Caitlin Pratz

Site Acreage:

0.497 acres

Number of Lots:

2 lots

Number of Dwelling Units:

2 units

Park Land Dedication:

N/A

Adequate Public Facilities:

Adequate public facilities are available to serve the subject property

SUBJECT PROPERTY

General Location:

308 E. University Drive

Parcel ID Number(s):

176160 and 176159

Current Zoning:

Single Family-2 (SF-2)

Existing Use:

A single-family residence is on each lot

Platting History:

The subject property was initially platted as part of the University Addition of Waxahachie

Site Aerial:



PLANNING ANALYSIS

The Applicant is requesting to replat the subject property (0.497) to revise the property line splitting the two existing lots at 308 E. University Drive.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning Department recommends approval of the Plat.

ATTACHED EXHIBITS

1. Replat

STAFF CONTACT INFORMATION

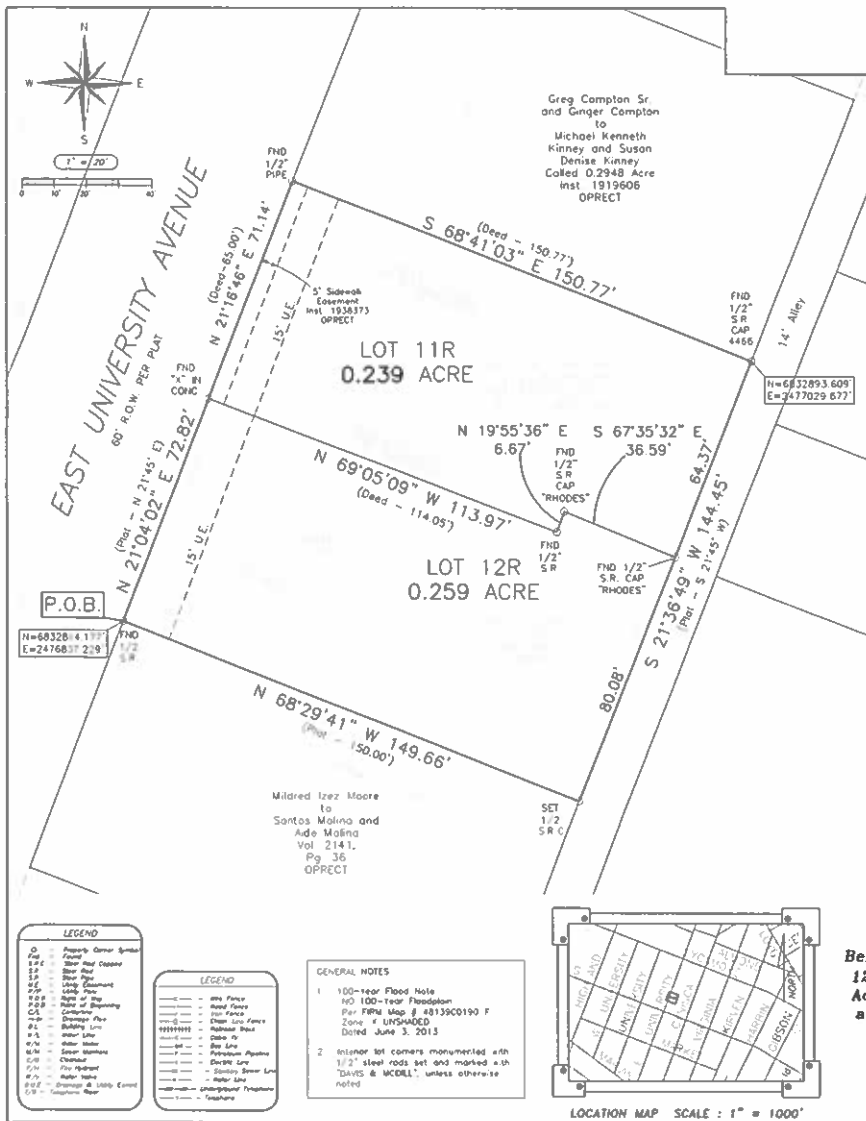
Prepared by:

Eleana Tuley, AICP
Senior Planner
eleana.tuley@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A
Senior Director of Planning
jennifer.pruitt@waxahachie.com

(7+8)



STATE OF TEXAS
COUNTY OF ELLIS. KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, Shelby Jo Lehrer, Andrew S. Protz and Caitlin N. Protz are the Owners of a tract of land being more particularly described as follows:

BEING a part of the Alford Park Survey, Abstract Number 827, City of Waxahachie, County, Texas, and being a part of Lot 10, all of Lot 11, 12 and part of Lot 13, Block 4, University Addition, an addition to the City of Waxahachie, Texas, according to the plat thereof recorded in Cabinet A, Slide 35, Plat Records, Ellis County, Texas (OPRECT), and being the tract described in deed from P. F. Reiser and Shelby Jo Lehrer to Andrew S. Protz and Caitlin N. Protz, recorded in Instrument Number 2209330, Official Public Records, Ellis County, Texas (OPRECT), and The Bank of New York Mellon FKA The Bank of New York as Trustee CBAS, Inc. Asset-Backed Certificates, Series 2005-14, acting by BAC Home Loans Servicing LP, the Countrywide Home Loans Servicing LP attorney-in-fact and agent to Shelby Jo Lehrer, recorded in Volume 2649, Page 1067, OPRECT, and being more particularly described by its metes and bounds as follows:

BEARING at a point on the southeast right of way line of East University Avenue, a public road, at the southwest corner of said Lehrer and the Northeast corner of the tract described in deed from Mildred Izz Moore to Santos Molina and Ade Molina, recorded in Volume 2141, Page 36, OPRECT, and on the northeast line of said Lot 13, Block 4, University Addition, a 1/2 inch steel rod found, having surface coordinate values of North = 681281+177 feet and East = 2476837.229 feet, based on the Texas Coordinate System, North Central Zone (Zone 4203), North American Datum of 1983 and are obtained from observations of Global Positioning System satellites:

THENCE N 21° 04' 02" E, with said East University Avenue right of way line and the northeast line of said Lots 13 and 12, Block 4, University Addition, 72.82 feet (Plat = N 21°45' E) to the southeast corner of said Protz tract, on "x" mark cut in concrete;

THENCE N 21° 16' 46" E, with said East University Avenue right of way line and the northeast line of said Lots 12, 11 and 10, Block 4, University Addition, 71.14 feet (Deed N 68°15'00" W 71.14 feet) to the northeast corner of said Protz tract and the southeast of the tract described in deed from Greg Compton, Sr., and Ginger Compton to Michael Kenneth Kinney and Susan Denise Kinney, recorded in Instrument Number 1919606, OPRECT, a 1/2 inch steel pipe found;

THENCE S 68° 41' 03" E, through said Lot 10, Block 4, University Addition and with the northeast line of said Protz tract and with the southeast line of said Kinney tract, 150.77 feet (Deed N 21°47'14" E, 150.77 feet) to the northeast corner of said Protz tract and the southeast corner of said Kinney tract and on the northeast right of way line of a 14 foot wide alley, a 1/2 inch steel rod with plastic cap stamped "PPLES 4480" found;

THENCE S 21° 36' 40" W, with said alley right of way line and the southeast line of said Lots 10 and 11, Block 4, University Addition and with the southeast line of said Protz tract, at 64.37 feet passing the southeast corner of said Lehrer tract, a 1/2 inch steel rod with Telco-Cap found, and continuing with said alley right of way line and with the southeast line of said Lots 11, 12 and 13, Block 4, University Addition and with the southeast line of said Lehrer tract, a total distance of 144.45 feet to the southeast corner of said Lehrer tract and the northeast corner of said Molina tract, a 1/2 inch steel rod with plastic cap stamped "DAVIS & MCDILL" set;

THENCE N 68° 29' 41" W, through said Lot 13, Block 4, University Addition, 149.66 feet (Plat 150 feet) to the point of beginning and containing approximately 0.497 acre of land

Bearings hereon are based on the Texas Coordinate System of 1983, Texas North Central Zone per GPS observations.

SURVEYOR'S CERTIFICATE

This is to certify that I, Stuart G. Hamilton, a Registered Public Land Surveyor of the State of Texas, have plotted the subdivision hereon from an actual survey on the ground and that all corners, angle points, and points of curve have been properly marked on the ground, and that this plat correctly represents that survey made by me.

PRELIMINARY. THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Stuart G. Hamilton
Registered Professional Land Surveyor
Number 4480

Date

REPLAT
UNIVERSITY ADDITION
Lots 11R and 12R
0.497 Acre

Being a replat of a portion of Lot 10, all of Lot 11 and 12, and a portion of Lot 13, Block 4 of the University Addition, an addition to the City of Waxahachie, Texas, according to the plat recorded in Cabinet A, Slide 35, Plat Records, Ellis County, Texas
Zoning: Single Family-2 District (SF-2)
2 Residential Lots
SUB-144-2022

Revisions	By

Davis & McDill, LLC



Date 11/29/2022
Scale, 1" = 20'
Drawn D. McDill
Job 222-0112
Sheet 1
of 2 sheets

(7+8)

OWNER'S CERTIFICATE

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WE, Andrew Pratz, Colin Pratz and Shelly Lehrer, hereby adopt this replat designating the herein above described property as University Addition, Lots 11R and 12R, being a replat of a portion of Lot 10, all of Lot 11 and 12, and a portion of Lot 13, Block 4 of the University Addition, an addition to the City of Waxahachie, Texas according to the plat recorded in Cabinet A, Slide 35, Plat Records, Ellis County, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, and use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas.

WITNESS, my hand, this the _____ day of _____, 20____.

By:

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Shelly Lehrer, Owner

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Shelly Lehrer, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary _____ My Commission Expires On: _____

WITNESS, my hand, this the _____ day of _____, 20____.

By:

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Andrew Pratz, owner

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Andrew Pratz, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Notary Public _____

My Commission Expires On: _____

Witness my hand on this _____ day of _____, 20____.

By:

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Colin Pratz, owner

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Colin Pratz, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public _____ My Commission Expires On: _____

Witness my hand on this _____ day of _____, 20____.

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

APPROVED BY: Planning and Zoning Commission City of Waxahachie

By: _____ PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Chairperson

Date

STATE OF TEXAS,
COUNTY OF ELLIS

APPROVED BY: City Council City of Waxahachie

By: _____ PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Mayor

Date

ATTEST: _____ PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Date

DRAINAGE NOTES

- (1) BLOCKING THE FLOW OF WATER OR CONSTRUCTING IMPROVEMENTS IN THE DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
- (2) THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVELING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE COURSES ALONG OR ACROSS SAID LOTS.
- (3) CITY OF WAXAHACHIE WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF SAID DRAINAGEWAYS OR FOR THE CONTROL OF CROSSING.
- (4) CITY OF WAXAHACHIE WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOOD CONDITIONS.

SURVEYOR'S CERTIFICATE

This is to certify that I, Stuart G. Hamilton, a Registered Public Land Surveyor of the State of Texas, have plotted the subdivision hereon from an actual survey on the ground and that all lot corners, angle points, and points of curve have been properly marked on the ground, and that this plat correctly represents that survey made by me.

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Stuart G. Hamilton
Registered Professional Land Surveyor
Number 4460

THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN RED INK

REPLAT
UNIVERSITY ADDITION
Lots 11R and 12R
0.497 Acre

Being a replat of a portion of Lot 10, all of Lot 11 and 12, and a portion of Lot 13, Block 4 of the University Addition, an addition to the City of Waxahachie, Texas, according to the plat recorded in Cabinet A, Slide 35, Plat Records, Ellis County, Texas
Zoning: Single Family-2 District (SF-2)
2 Residential Lots
SUB-144-2022

NOTE:
PROPERTY IS IN THE JURISDICTION OF THE CITY OF WAXAHACHIE, TEXAS AND IS SUBJECT TO THEIR PLATTING RULES AND REGULATIONS

OWNERS:
Shelly Lehrer
308 E. University Ave
Waxahachie, TX
Andrew Pratz
Colin Pratz
310 E. University Ave
Waxahachie, TX

Revisions	By

Davis & McDill, LLC



Date 11/30/2022
Scale: N/A
Drawn: D. McDill
Job: 221-0224
Sheet: 2
of 2 sheets

SURVEYING - LAND PLANNING - FLOODPLAIN MANAGEMENT
P.O. BOX 402, WAXAHACHIE, TEXAS 75168
PHONE: 972-330-1185
A Texas Licensed Surveying Firm # 10194881

(9+10)

Planning & Zoning Department

Plat Staff Report

Case: SUB-169-2022



MEETING DATE(S)

Planning & Zoning Commission:

March 15, 2023

CAPTION

Public Hearing on a request by Larry and Ina Kollie for a **Replat** of Lots 1 and 2, Block 217, Town Addition to create Lots 1R and 2R, Block 217, Town Addition, 2 residential lots, being 2.915 acres, located at 1208 E. Marvin Road (Property ID 171506) – Owner: Larry and Ina Kollie (SUB-169-2022)

RECOMMENDED MOTION

*"I move to approve SUB-169-2023 for a **Replat** of Lots 1 and 2, Block 217, Town Addition, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."*

APPLICANT REQUEST

The Applicant is requesting to replat the subject property (2.915 acres) into 2 lots for residential use.

CASE INFORMATION

Applicant:

Larry and Ina Kollie

Property Owner(s):

Larry and Ina Kollie

Site Acreage:

2.915 acres

Number of Lots:

2 lots

Number of Dwelling Units:

1 unit

Park Land Dedication:

The cash-in-lieu for parkland dedication is \$400 (1 additional residential lot at \$400)

Adequate Public Facilities:

Adequate public facilities are available to serve the subject property

SUBJECT PROPERTY

General Location:

1208 E. Marvin Road

Parcel ID Number(s):

171506

Current Zoning:

Single Family-3 (SF-3)

Existing Use:

A single-family residence exists on lot 1R, and lot 2R is undeveloped land

Platting History:

The subject property was initially platted as part of the Town Addition of Waxahachie

Site Aerial:**PLANNING ANALYSIS**

The Applicant is requesting to replat the subject property (2.915 acres) into 2 lots for residential use.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning Department recommends approval of the Plat.

ATTACHED EXHIBITS

1. Replat

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. The Applicant has received a letter of acceptance from the Public Works Department confirming that all utilities, infrastructure, and other required improvements have been installed, inspected, and accepted by the City.
2. The Applicant has paid the parkland dedication fee.

STAFF CONTACT INFORMATION*Prepared by:*

Eleana Tuley, AICP
Senior Planner
eleana.tuley@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A
Senior Director of Planning
jennifer.pruitt@waxahachie.com

EAST MARVIN AVENUE
CENTERLINE - ASPHALT PAVEMENT
110' A.S. PER CITY THODOGRAPHIC PLAN

Lot 1R
Block 217
2.256 Acs.
95.589 Sals
Lorraine M. Fisher et al
Lot 1, Block 217
TOWN ADDITION
Cabinet E, Side 212 PRECT

Lot 2R
Block 217
0.50 Ac.
21.472 Sals
N 84°18'17" E 177.01'
N 85°03'20" W 176.85'
CENTERLINE - CONCRETE PAVEMENT
110' A.S. PER CITY THODOGRAPHIC PLAN

WYATT STREET

ENNIS STREET

Lot 1
BLD 108
BLD 211

Lot 2
BLD 212
BLD 213

Lot 2R
BLD 214
BLD 215
BLD 216
BLD 217
BLD 218
BLD 219
BLD 220
BLD 221
BLD 222
BLD 223
BLD 224
BLD 225
BLD 226
BLD 227
BLD 228
BLD 229
BLD 230
BLD 231
BLD 232
BLD 233
BLD 234
BLD 235
BLD 236
BLD 237
BLD 238
BLD 239
BLD 240
BLD 241
BLD 242
BLD 243
BLD 244
BLD 245
BLD 246
BLD 247
BLD 248
BLD 249
BLD 250
BLD 251
BLD 252
BLD 253
BLD 254
BLD 255
BLD 256
BLD 257
BLD 258
BLD 259
BLD 260
BLD 261
BLD 262
BLD 263
BLD 264
BLD 265
BLD 266
BLD 267
BLD 268
BLD 269
BLD 270
BLD 271
BLD 272
BLD 273
BLD 274
BLD 275
BLD 276
BLD 277
BLD 278
BLD 279
BLD 280
BLD 281
BLD 282
BLD 283
BLD 284
BLD 285
BLD 286
BLD 287
BLD 288
BLD 289
BLD 290
BLD 291
BLD 292
BLD 293
BLD 294
BLD 295
BLD 296
BLD 297
BLD 298
BLD 299
BLD 300
BLD 301
BLD 302
BLD 303
BLD 304
BLD 305
BLD 306
BLD 307
BLD 308
BLD 309
BLD 310
BLD 311
BLD 312
BLD 313
BLD 314
BLD 315
BLD 316
BLD 317
BLD 318
BLD 319
BLD 320
BLD 321
BLD 322
BLD 323
BLD 324
BLD 325
BLD 326
BLD 327
BLD 328
BLD 329
BLD 330
BLD 331
BLD 332
BLD 333
BLD 334
BLD 335
BLD 336
BLD 337
BLD 338
BLD 339
BLD 340
BLD 341
BLD 342
BLD 343
BLD 344
BLD 345
BLD 346
BLD 347
BLD 348
BLD 349
BLD 350
BLD 351
BLD 352
BLD 353
BLD 354
BLD 355
BLD 356
BLD 357
BLD 358
BLD 359
BLD 360
BLD 361
BLD 362
BLD 363
BLD 364
BLD 365
BLD 366
BLD 367
BLD 368
BLD 369
BLD 370
BLD 371
BLD 372
BLD 373
BLD 374
BLD 375
BLD 376
BLD 377
BLD 378
BLD 379
BLD 380
BLD 381
BLD 382
BLD 383
BLD 384
BLD 385
BLD 386
BLD 387
BLD 388
BLD 389
BLD 390
BLD 391
BLD 392
BLD 393
BLD 394
BLD 395
BLD 396
BLD 397
BLD 398
BLD 399
BLD 400
BLD 401
BLD 402
BLD 403
BLD 404
BLD 405
BLD 406
BLD 407
BLD 408
BLD 409
BLD 410
BLD 411
BLD 412
BLD 413
BLD 414
BLD 415
BLD 416
BLD 417
BLD 418
BLD 419
BLD 420
BLD 421
BLD 422
BLD 423
BLD 424
BLD 425
BLD 426
BLD 427
BLD 428
BLD 429
BLD 430
BLD 431
BLD 432
BLD 433
BLD 434
BLD 435
BLD 436
BLD 437
BLD 438
BLD 439
BLD 440
BLD 441
BLD 442
BLD 443
BLD 444
BLD 445
BLD 446
BLD 447
BLD 448
BLD 449
BLD 450
BLD 451
BLD 452
BLD 453
BLD 454
BLD 455
BLD 456
BLD 457
BLD 458
BLD 459
BLD 460
BLD 461
BLD 462
BLD 463
BLD 464
BLD 465
BLD 466
BLD 467
BLD 468
BLD 469
BLD 470
BLD 471
BLD 472
BLD 473
BLD 474
BLD 475
BLD 476
BLD 477
BLD 478
BLD 479
BLD 480
BLD 481
BLD 482
BLD 483
BLD 484
BLD 485
BLD 486
BLD 487
BLD 488
BLD 489
BLD 490
BLD 491
BLD 492
BLD 493
BLD 494
BLD 495
BLD 496
BLD 497
BLD 498
BLD 499
BLD 500
BLD 501
BLD 502
BLD 503
BLD 504
BLD 505
BLD 506
BLD 507
BLD 508
BLD 509
BLD 510
BLD 511
BLD 512
BLD 513
BLD 514
BLD 515
BLD 516
BLD 517
BLD 518
BLD 519
BLD 520
BLD 521
BLD 522
BLD 523
BLD 524
BLD 525
BLD 526
BLD 527
BLD 528
BLD 529
BLD 530
BLD 531
BLD 532
BLD 533
BLD 534
BLD 535
BLD 536
BLD 537
BLD 538
BLD 539
BLD 540
BLD 541
BLD 542
BLD 543
BLD 544
BLD 545
BLD 546
BLD 547
BLD 548
BLD 549
BLD 550
BLD 551
BLD 552
BLD 553
BLD 554
BLD 555
BLD 556
BLD 557
BLD 558
BLD 559
BLD 560
BLD 561
BLD 562
BLD 563
BLD 564
BLD 565
BLD 566
BLD 567
BLD 568
BLD 569
BLD 570
BLD 571
BLD 572
BLD 573
BLD 574
BLD 575
BLD 576
BLD 577
BLD 578
BLD 579
BLD 580
BLD 581
BLD 582
BLD 583
BLD 584
BLD 585
BLD 586
BLD 587
BLD 588
BLD 589
BLD 590
BLD 591
BLD 592
BLD 593
BLD 594
BLD 595
BLD 596
BLD 597
BLD 598
BLD 599
BLD 600
BLD 601
BLD 602
BLD 603
BLD 604
BLD 605
BLD 606
BLD 607
BLD 608
BLD 609
BLD 610
BLD 611
BLD 612
BLD 613
BLD 614
BLD 615
BLD 616
BLD 617
BLD 618
BLD 619
BLD 620
BLD 621
BLD 622
BLD 623
BLD 624
BLD 625
BLD 626
BLD 627
BLD 628
BLD 629
BLD 630
BLD 631
BLD 632
BLD 633
BLD 634
BLD 635
BLD 636
BLD 637
BLD 638
BLD 639
BLD 640
BLD 641
BLD 642
BLD 643
BLD 644
BLD 645
BLD 646
BLD 647
BLD 648
BLD 649
BLD 650
BLD 651
BLD 652
BLD 653
BLD 654
BLD 655
BLD 656
BLD 657
BLD 658
BLD 659
BLD 660
BLD 661
BLD 662
BLD 663
BLD 664
BLD 665
BLD 666
BLD 667
BLD 668
BLD 669
BLD 670
BLD 671
BLD 672
BLD 673
BLD 674
BLD 675
BLD 676
BLD 677
BLD 678
BLD 679
BLD 680
BLD 681
BLD 68

[illegible]

Being a relator of Lots 1 and 2, BLOCK 217,
TOWN ADDITION, an addition to the City of
Waxahachie, Texas, according to the plat
thereof recorded in Cabinet E, Slide 212, Plat
Records, Ellis County, Texas and being in the
Benjamin B. Davis Survey, Abstract Number
290, City of Waxahachie, Ellis County, Texas.
2 Single Family Lots
Zoning: SF-3
Case No. SUB-169-2022

Date: 2/13/2023
Scale: 1" = 50'
Drawn: DWH
Job: 222-0007
Sheet 1
of 2 sheets.

P O BOX 428, WAXAHACHIE, TEXAS 75168
PHONE 972-938-1183

(9+10)

OWNER'S CERTIFICATE

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS,

THAT we, Lawrence A. Kille and wife, Pat and Marcom Kille, acting herein by and through its duly authorized officers, does hereby adopt the plat designating the herein above described property as REPLAT - LOT 1R AND LOT 2R, BLOCK 212, TOWN ADDITION, an addition to the City of Waxahachie, Texas, being a replat of Lots 1 and 2 of Block 212, Plat Records, Ellis County, Texas, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, and use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, installing, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time procuring permission from anyone.

This plat approved subject to all existing ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas.

WITNESS my hand, this the _____ day of _____, 20____.

By _____

"Preliminary, this document shall not be recorded for any purpose."

Lawrence A. Kille, Owner

STATE OF TEXAS §

COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Lawrence A. Kille, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

"Preliminary, this document shall not be recorded for any purpose."

Notary _____ by Commission Expires On _____

WITNESS my hand, this the _____ day of _____, 20____.

"Preliminary, this document shall not be recorded for any purpose."

Pat Marcom Kille, Owner

STATE OF TEXAS §

COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Pat Marcom Kille, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

"Preliminary, this document shall not be recorded for any purpose."

Notary _____ by Commission Expires On _____

WITNESS my hand, this the _____ day of _____, 20____.

OWNER
Lawrence A. Kille
Pat and Marcom Kille
1208 E. Main Ave
Waxahachie, TX 75165
972-933-9837

STATE OF TEXAS
COUNTY OF ELLIS

APPROVED BY Planning and Zoning Commission City of Waxahachie

By: "Preliminary, this document shall not be recorded for any purpose."

Chairperson _____ Date _____

Attest: "Preliminary, this document shall not be recorded for any purpose."

_____ Date _____

NOTE:
PROPERTY IS IN THE JURISDICTION OF THE CITY OF
WAXAHACHIE, TEXAS AND IS SUBJECT TO THEIR
PLATTING RULES AND REGULATIONS

GENERAL NOTES:

1. 100-year Flood Note
NO 100-year Floodplain
Per FEMA Map # 48139C0190 F
Zone: X UNSHADED
Dated: June 3, 2013
2. Internal lot corners monumented with
1/2" steel rods set and marked with
"DAVIS & MCDILL", unless otherwise
noted.
3. Bearings herein are based on the
Texas Coordinate System of 1983,
Texas North Central Zone per GPS
observations.
4. This survey substantially complies with
the current Texas Society of
Professional Surveyors Standards and
Specifications for a Category 1B
Cession III (2) Survey.

SURVEYOR'S CERTIFICATE

This is to certify that I, Stuart G. Hamilton, a Registered Public Land Surveyor of the State of Texas, have plotted the subdivision herein from an actual survey on the ground and that all lot corners, angle points, and points of turn have been properly marked on the ground and that this plat correctly represents that survey made by me.

"Preliminary, this document shall not be recorded for any purpose."

Stuart G. Hamilton
Registered Professional Land Surveyor
Number: 4480

THIS SURVEY IS VALID
ONLY WITH ORIGINAL
SIGNATURE IN RED INK

REPLAT LOT 1R AND LOT 2R, BLOCK 212 TOWN ADDITION 2.915 ACRES

Being a replat of Lots 1 and 2, BLOCK 212,
TOWN ADDITION, an addition to the City of
Waxahachie, Texas, according to the plat
thereof recorded in Cabinet E, Slide 212, Plat
Records, Ellis County, Texas and being in the
Benjamin B. Davis Survey, Abstract Number
290, City of Waxahachie, Ellis County, Texas.
2 Single Family Lots
Zoning: SF-3
Case No. SUB-169-2022



LOCATION MAP SCALE: 1" = 1000'

DRAINAGE NOTES:

- (1) BLOCKING THE FLOW OF WATER OR
CONSTRUCTING IMPROVEMENTS IN THE
DRAINAGE EASEMENTS AND TIEING OR
OBSTRUCTION OF THE FLOODWAY IS
PROHIBITED.
- (2) THE EXISTING CREEKS OR DRAINAGE
CHANNELS TRAVELING ALONG OR ACROSS
THE ADDITION WILL REMAIN AS OPEN
CHANNELS AND WILL BE MAINTAINED BY THE
INDIVIDUAL OWNERS OF THE LOT OR LOTS
THAT ARE TRAVERSED BY OR ADJACENT TO
THE DRAINAGE COURSES ALONG OR ACROSS
SAID LOTS.

- (3) CITY OF WAXAHACHIE WILL NOT BE RESPONSIBLE
FOR THE MAINTENANCE AND OPERATIONS OF
SAID DRAINAGE WAYS OR FOR THE CONTROL
OF EROSION.
- (4) CITY OF WAXAHACHIE WILL NOT BE RESPONSIBLE
FOR ANY DAMAGE, PERSONAL INJURY OR
LOSS OF LIFE OR PROPERTY OCCASIONED
BY FLOODING OR FLOOD CONDITIONS.

Revisions By

Davis & McDill LLC
SURVEYING - LAND PLANNING - FLOODPLAIN MANAGEMENT
P.O. BOX 428, WAXAHACHIE, TEXAS 75165
PHONE: 972-933-9837
A Texas Licensed Surveying Firm # 0186484



Date 2/13/2023

Scale N/A

Drawn DWH

Job: 222-0007

Sheet 2

of 2 sheets

Planning & Zoning Department

Plat Staff Report

Case: SUB-172-2022



MEETING DATE(S)

Planning & Zoning Commission: March 15, 2023

CAPTION

Consider a request by Michael Holmes, Freedom Church, for a **Replat** of Lot 1 and a portion of Lot 3, Block 1, Northgate Plaza, 2 lots, being 18.57 acres, located at 507 North Highway 77 (Property ID 175004) – Owner: Benbaroukh, LLC (SUB-172-2022)

RECOMMENDED MOTION

*"I move to approve SUB-172-2022 for a **Replat** of Lot 1 and a portion of Lot 3, Block 1, Northgate Plaza, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."*

APPLICANT REQUEST

The Applicant is requesting to replat the subject property (18.57 acres) to create a new lot for Freedom Fellowship International Assembly of God, which currently exists on Lot 6 on the proposed plat. Currently, the church is on the same lot as the Northgate Plaza shopping center.

CASE INFORMATION

<i>Applicant:</i>	Michael Holmes, Freedom Church
<i>Property Owner(s):</i>	Benbaroukh, LLC
<i>Site Acreage:</i>	18.57 acres
<i>Number of Lots:</i>	2 lots
<i>Number of Dwelling Units:</i>	0 units
<i>Park Land Dedication:</i>	N/A
<i>Adequate Public Facilities:</i>	Adequate public facilities are available to serve the subject property.

SUBJECT PROPERTY

<i>General Location:</i>	507 North Highway 77
<i>Parcel ID Number(s):</i>	175004
<i>Current Zoning:</i>	Planned Development-18-General Retail (PD-18-GR)
<i>Existing Use:</i>	Northgate Plaza Shopping Center is on Lot 1R, and Freedom Fellowship International Assembly of God Church is on Lot 6.
<i>Platting History:</i>	The subject property was initially platted in 1988.

Site Aerial:



PLANNING ANALYSIS

The Applicant is requesting to replat the subject property (18.57 acres) to create a new lot for Freedom Fellowship International Assembly of God, which currently exists on Lot 6 on the proposed plat. Currently, the church is on the same lot as the Northgate Plaza shopping center. Both lots meet the minimum lot standards of the governing zoning and have adequate parking to serve the uses on each lot.

Since the Applicant is replatting the subject property, he is also abandoning utility and access easements that no longer serve the site. Therefore, the Applicant must contact the franchise utility companies to verify that no franchise utilities are in the easements being abandoned by the plat. As a condition of approval, the Applicant must provide documentation from each franchise utility provider (Oncor, AT&T, Charter, and Atmos) before recording the plat with the County.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning Department recommends approval of the replat, subject to the condition below.

1. The Applicant shall provide written documentation from franchise utility providers (Oncor, AT&T, Charter, and Atmos) to confirm that they do not have any franchise utilities in the easements being abandoned by the plat. The Applicant shall provide this documentation to Staff before recording the plat with the County.

ATTACHED EXHIBITS

1. Replat

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. The Applicant shall provide written documentation from franchise utility providers (Oncor, AT&T, Charter and Atmos) to confirm that they do not have any franchise utilities in the easements being abandoned by the plat. The Applicant shall provide this documentation to Staff before recording the plat with the County.

STAFF CONTACT INFORMATION

Prepared by:

Eleana Tuley, AICP

Senior Planner

eleana.tuley@waxahachie.com

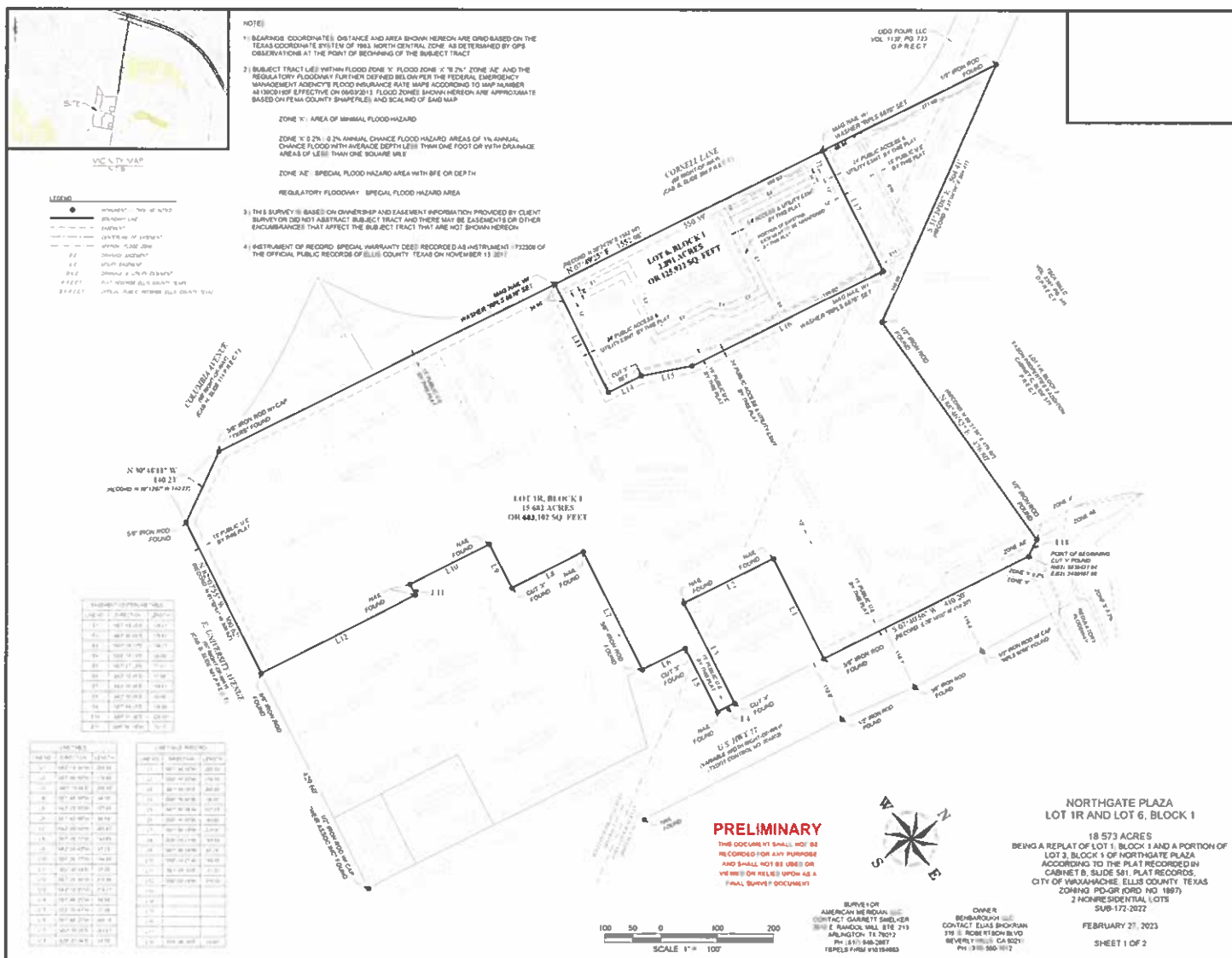
Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

(11)



(11)

LEGAL DESCRIPTION

WHEREAS, BENBAROUH LLC, IS THE OWNER OF THAT CALLED 18.5726 ACRE TRACT OF LAND DESCRIBED UNDER INSTRUMENT NUMBER 1732309 OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS, SAID TRACT SITUATED IN THE WILLIAM BASKINS SURVEY, ABSTRACT NUMBER 148 AND THE JOHN ODOCH SURVEY, ABSTRACT NUMBER 383 OF ELLIS COUNTY, TEXAS AND BEING ALL OF LOT 1, BLOCK 1 OF NORTHGATE PLAZA, FOURTH REPLAT, AN ADDITION TO THE CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS AS RECORDED IN CABINET 8, SLIDE 581 OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS AND THAT REMAINDER PORTION OF LOT 1, BLOCK 1 OF NORTHGATE PLAZA, AN ADDITION TO THE CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS AS RECORDED IN CABINET 8, SLIDE 52 OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CUT 'X' FOUND IN THE WEST LINE OF HIGHWAY 377 (A VARIABLE WIDTH RIGHT-OF-WAY), HAVING A TEXAS STATE PLANE COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, GRID COORDINATE VALUE OF N: 6856437.84, E: 3489167.80 FEET FOR REFERENCE.

THENCE FROM SAID POINT OF BEGINNING, WITH THE WEST LINE OF HIGHWAY 377, S 07°40'56" W, A DISTANCE OF 419.20 FEET TO A 5/8" IRON ROD FOUND FOR CORNER, ALSO BEING THE NORTHEAST CORNER OF LOT 3R, BLOCK 1 OF NORTHGATE PLAZA, AN ADDITION TO THE CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS AS RECORDED IN CABINET 8, SLIDE 52 OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS,

THENCE, DEPARTING THE WEST LINE OF HIGHWAY 377, N 82°18'04" W A DISTANCE OF 200.00 FEET TO A NAIL FOUND FOR CORNER, ALSO BEING THE NORTHWEST CORNER OF SAID LOT 3R,

THENCE, S 07°40'56" W A DISTANCE OF 175.00 FEET TO A NAIL FOUND FOR CORNER, ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 3R,

THENCE, S 82°18'04" E, A DISTANCE OF 200.00 FEET TO A CUT 'X' FOUND FOR CORNER IN THE WEST LINE OF HIGHWAY 377, ALSO BEING THE SOUTHEAST CORNER OF SAID LOT 3R,

THENCE, WITH THE WEST LINE OF HIGHWAY 377, S 07°40'56" W, A DISTANCE OF 34.00 FEET TO A NAIL FOUND FOR CORNER, ALSO BEING THE NORTHEAST CORNER OF A TRACT DESCRIBED IN VOLUME 1957, PAGE 1494 OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS,

THENCE, DEPARTING THE WEST LINE OF HIGHWAY 377, N 82°28'00" W, A DISTANCE OF 127.00 FEET TO A CUT 'X' FOUND FOR CORNER,

THENCE, S 07°40'56" W A DISTANCE OF 84.80 FEET TO A 5/8" IRON ROD FOUND FOR CORNER, ALSO BEING A COMMON CORNER OF LOT 4, BLOCK 1 OF SAID NORTHGATE PLAZA,

THENCE, WITH THE COMMON LINE BETWEEN LOT 1 AND LOT 4 THE FOLLOWING COURSES & DISTANCES

N 82°30'42" W, A DISTANCE OF 225.97 FEET TO A NAIL FOUND FOR CORNER,

S 07°29'17" W, A DISTANCE OF 143.65 FEET TO A CUT 'X' FOUND FOR CORNER,

N 82°30'43" W, A DISTANCE OF 87.29 FEET TO A NAIL FOUND FOR CORNER,

S 07°29'17" W, A DISTANCE OF 158.80 FEET TO A NAIL FOUND FOR CORNER,

S 82°30'43" E, A DISTANCE OF 21.30 FEET TO A NAIL FOUND FOR CORNER,

S 07°29'38" W, A DISTANCE OF 318.80 FEET TO A 5/8" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID LOT 1 ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 4 IN THE NORTH LINE OF EAST UNIVERSITY AVENUE (A 60 FOOT WIDE RIGHT-OF-WAY), FROM WHICH A 1/2" IRON ROD WITH A CAP STAMPED "MER ASSOC INC" FOUND FOR THE SOUTHEAST CORNER OF LOT 2A, BLOCK 1 OF SAID NORTHGATE PLAZA RECORDED IN CABINET 8, SLIDE 581 OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS, BEARS S 82°07'55" E, A DISTANCE OF 429.80 FEET.

THENCE, WITH THE NORTH LINE OF EAST UNIVERSITY AVENUE, N 81°07'55" W, A DISTANCE OF 300.82 FEET TO A 5/8" IRON ROD FOUND FOR THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID LOT 1,

THENCE, DEPARTING NORTH LINE OF EAST UNIVERSITY AVENUE, N 30°48'11" W, A DISTANCE OF 140.23 FEET TO A 5/8" IRON ROD WITH A CAP STAMPED "TURS" FOUND FOR CORNER,

THENCE, N 07°49'25" E, A DISTANCE OF 1552.98 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID LOT 1,

THENCE, S 31°38'08" E, A DISTANCE OF 504.41 FEET TO A 1/2" IRON ROD FOUND FOR CORNER,

THENCE, N 88°48'52" E, A DISTANCE OF 478.80 FEET TO A 1/2" IRON ROD FOUND IN THE WEST LINE OF HIGHWAY 377,

THENCE, WITH THE WEST LINE OF HIGHWAY 377, S 29°21'34" E, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING, CONTAINING 18.573 ACRES OF LAND MORE OR LESS

OWNERS DEDICATION

NOW THEREFORE, KNOWN BY ALL MEN BY THESE PRESENTS

THAT BENBAROUH LLC DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS LOT 1R AND LOT 6, BLOCK 1, NORTHGATE PLAZA, BEING A REPLAT OF LOT 1, BLOCK 1 AND A PORTION OF LOT 3, BLOCK 1 OF NORTHGATE PLAZA ACCORDING TO THE PLAT RECORDED IN CABINET 8, SLIDE 581, PLAT RECORDS, CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS, AND DOES HEREBY DEDICATE IN FEE SIMPLE, THE STREETS, ALLEYS, AND COMMON AREAS SHOWN THEREON, THE STREETS, ALLEYS ARE DEDICATED FOR STREET PURPOSES THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSE INDICATED ON THIS PLAT, NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF WAXAHACHE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND CITY OF WAXAHACHE'S USE THEREOF. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHE AND PUBLIC UTILITY COMPANIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METER, AND ADDING TO OR REMOVING ALL PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF WAXAHACHE, TEXAS.

WITNESS, OUR HANDS, THIS _____ DAY OF _____, 20____.

ELIAS SHOKRAIN, MANAGING MEMBER DATE
BENBAROUH LLC

STATE OF TEXAS §
COUNTY OF ELLIS §

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE ON THIS DATE PERSONALLY APPEARED _____ OWNERS AGENT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____

APPROVED BY PLANNING AND ZONING COMMISSION CITY OF WAXAHACHE

BY CHAIRPERSON DATE

ATTEST DATE

SURVEYORS CERTIFICATE

I, NOW ALL MEN BY THESE PRESENTS THAT I, GARRETT J. SHELKER, REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE FOUND OR PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WAXAHACHE.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE
AND SHALL NOT BE USED OR
VIEWED OR RELIED UPON AS A
FINAL SURVEY DOCUMENT.

GARRETT J. SHELKER, TFLS
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6879

SURVEYOR
AMERICAN WERDAN LLC
CONTACT: GARRETT J. SHELKER
2012 E. RANDOLPH HILL, STE. 213
AHLINGTON, TX 77801
PH: 409.746.2857
TEXT: 409.746.2857

OWNER
BENBAROUH LLC
CONTACT: ELIAS SHOKRAIN
119 S. ROBERTSON BLVD
BEVERLY HILLS, CA 90211
PH: 310.566.1012

NORTHGATE PLAZA LOT 1R AND LOT 6, BLOCK 1

18.573 ACRES
BEING A REPLAT OF LOT 1, BLOCK 1 AND A PORTION OF
LOT 3, BLOCK 1 OF NORTHGATE PLAZA
ACCORDING TO THE PLAT RECORDED IN
CABINET 8, SLIDE 581, PLAT RECORDS,
CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS.
ZONING: PD-CR (ORD. NO. 1887)
2 NONRESIDENTIAL LOTS
SUB-172-2022

FEBRUARY 27, 2023

SHEET 2 OF 2

(12+13)



Memorandum

To: Honorable Mayor and City Council

From: Jennifer Pruitt, Senior Director of Planning

Thru: Michael Scott, City Manager

Date: March 8, 2023

Re: SUB-57-2022- Leo Hightower Lots Phase 2 – Replat & ROW Abandonment

On February 27, 2023, the applicant requested to continue case no. SUB-57-2022 from the March 15, 2023 Planning and Zoning Commission agenda and the March 20, 2023 City Council meeting agenda to the April 26, 2023 Planning and Zoning Commission meeting agenda and the May 1, 2023 City Council meeting agenda.

(14+15)

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-165-2022



MEETING DATE(S)

Planning & Zoning Commission: March 15, 2023

City Council: March 20, 2023

CAPTION

Public Hearing on a request by Jeff Head, Evolving Texas, for a **Specific Use Permit (SUP)** for a Franchised Private Utility (Oncor Electric) and Outdoor Storage use within a Light Industrial (LI-1) zoning district located directly north of the property at 3841 S Interstate 35 (Property ID 184700) - Owner: Oncor Electric Delivery Company, LLC (ZDC-165-2022)

RECOMMENDED MOTION

"I move to recommend approval of ZDC-165-2022, a Specific Use Permit (SUP) for a Franchised Private Utility (Oncor Electric) and Outdoor Storage use, subject to the conditions the staff report with elevation option _____, authorizing the City Manager and or Mayor to execute all documents accordingly."

APPLICANT REQUEST

The Applicant is requesting a specific use permit for a franchised private utility (Oncor Electric) and outdoor storage use on a 14.8-acre tract of land located directly north of the property at 3841 S Interstate 35.

CASE INFORMATION

Applicant: Jeff Head, Evolving Texas

Property Owner(s): Oncor Electric Delivery Company, LLC

Site Acreage: 14.8 acres

Current Zoning: Light Industrial-1 District (LI-1)

Requested Zoning: LI-1 with a specific use permit (SUP) for a Franchised Private Utility (Oncor Electric) and Outdoor Storage use

SUBJECT PROPERTY

General Location: Generally located directly north of the property at 3841 S Interstate 35

Parcel ID Number(s): 184700

Existing Use: Undeveloped Land

(14+15)

Development History:

A plat (SUB-154-2022) for the subject property was approved on December 13, 2022.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	LI-1	Undeveloped Land
East	PD-O	Undeveloped Land
South	LI-1	Pro-Master Electric
West	FD	Future Development District

Future Land Use Plan:

Mixed-Use Nonresidential

Comprehensive Plan:

Similar to Mixed Use Residential, land designated with this land use are intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with the remaining 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use.

Thoroughfare Plan:

The primary access to the subject property is from South Highway 77, a Major Thoroughfare (110' right-of-way) on the Thoroughfare Plan. The Applicant has dedicated an additional 10 feet along the street frontage to contribute to the ultimate right-of-way width for South Highway 77.

Site Image:



PLANNING ANALYSIS

Proposed Use

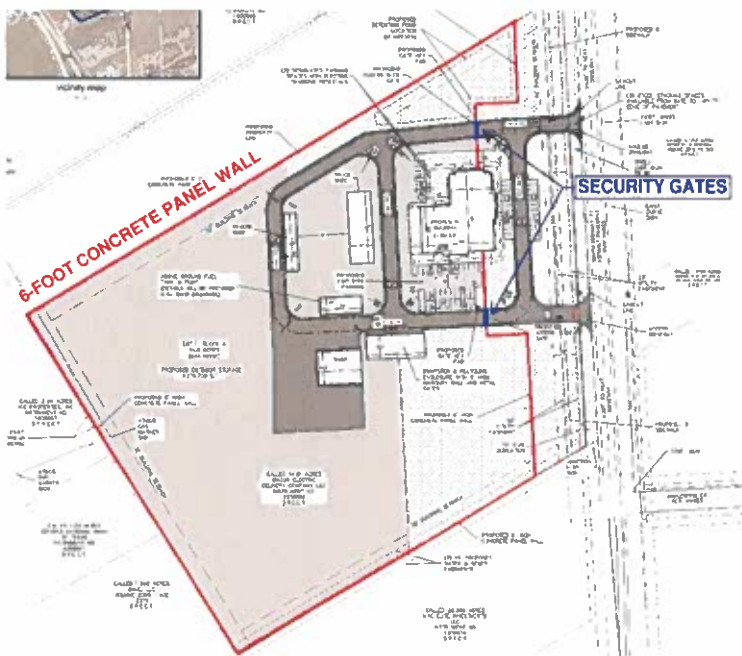
The Applicant is requesting a specific use permit for a franchised private utility (Oncor Electric) and outdoor storage use on a 14.8-acre tract of land directly north of the property at 3841 S Interstate 35. The main building, which is 17,318 square feet, will serve as an administrative office for Oncor Electric. The outdoor storage behind the main building includes two accessory structures, a small repair shop, and an above-ground fuel tank and pumps. The accessory structure will house the company's service vehicles and trailers. The Applicant has also indicated to Staff that the electric company will store materials, such as poles, cross arms, wires, cables, conduits, and transformers, in the outdoor storage area. To screen the outdoor storage area from the public right-of-way and adjoining properties, the Applicant proposes constructing a 6-foot concrete panel wall with the appearance of a split-face CMU masonry wall along the site's perimeter.

Following the initial submission of plans to the City, the Applicant has made revisions to ensure compliance with the City's development standards. These revisions include incorporating a 6-foot concrete screening wall, meeting the minimum landscaping requirements, building articulation requirements, and utilizing a concrete surface material for the outdoor storage area. Based on these enhancements, Staff recommends approval of the specific use permit since the improvements elevate the site's aesthetic appeal and overall quality.

A. 6-foot Concrete Panel Wall with Split Face CMU Design



B. Site Location for 6-foot Concrete Panel Wall



Proposed Elevations

The Applicant has provided two sets of architectural elevations. Both options are composed of 100 percent split-face CMU, but use a different color scheme. A digital material board is included with each option to show the actual color of the exterior finishing materials.

Option 1 – This option utilizes a brown color scheme, with a light brown CMU on majority of the building and a dark brown CMU on the lower and top segments of the building. The two accessory structures and the repair shop are metal buildings that match the color of the main building.



Option 2 – This option utilizes a gray color scheme, with a light gray CMU on majority of the building and a dark gray CMU on the lower and top segments of the building. The two accessory structures and the repair shop are metal buildings that match the color of the main building.



PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 11 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun, and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents associated with the request, the Planning Department recommends approval of the SUP request with the conditions listed below.

1. The Applicant agrees to execute a mutually agreed upon Development Agreement for the development.
2. The Applicant shall obtain a permit from the City of Waxahachie Building Department before construction.

ATTACHED EXHIBITS

1. Location Map (Exhibit A)
2. Site Plan (Exhibit B)
3. Landscape Plan (Exhibit C)
4. Option 1 - Architectural Elevations (Exhibit D)
5. Option 2 - Architectural Elevations (Exhibit D)
6. Screening Wall Rendering (Exhibit E)
7. Operational Plan

STAFF CONTACT INFORMATION

Prepared by:

Eleana Tuley, AICP

Senior Planner

eleana.tuley@waxahachie.com


Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

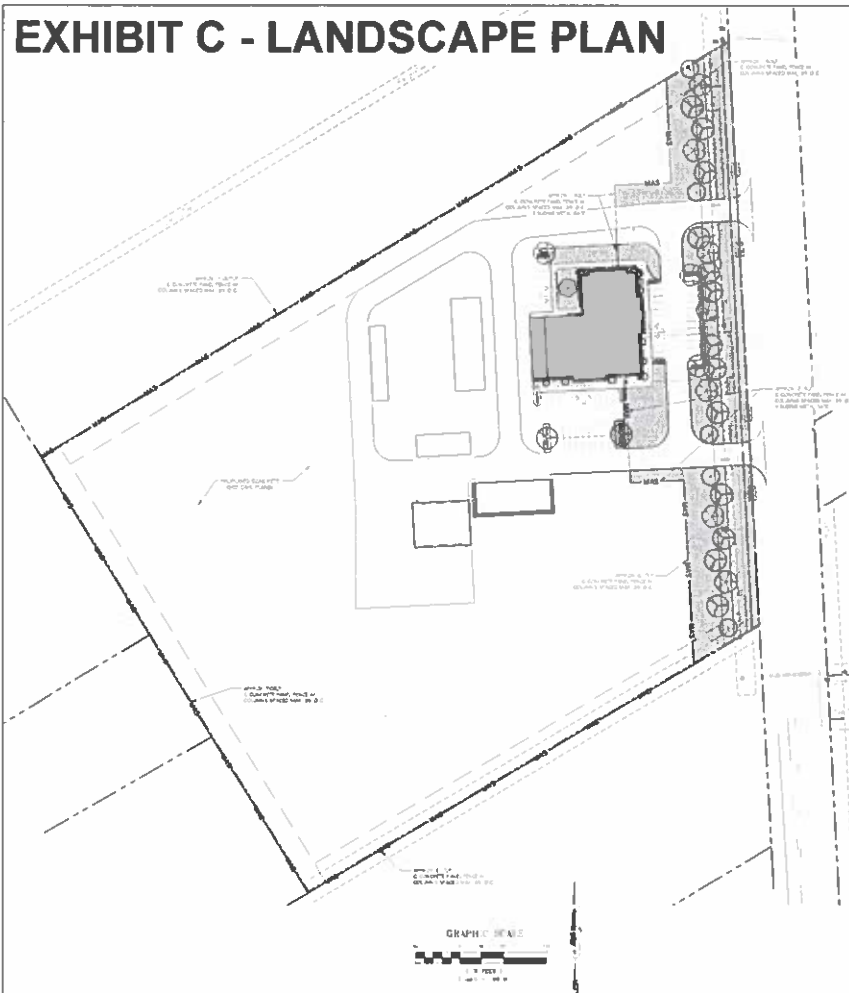
[illegible]

 ZDC-165-2022 (SUP)
 City Limits

[illegible]

(14+15)

EXHIBIT C - LANDSCAPE PLAN



CITY REQUIREMENTS		REVISION	DATE
1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN	1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN	1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN	1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN
2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN	2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN	2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN	2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN
3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN	3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN	3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN	3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN
4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN	4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN	4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN	4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN
5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN	5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN	5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN	5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN
6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN	6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN	6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN	6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN
7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN	7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN	7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN	7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN
8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN	8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN	8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN	8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN
9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN	9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN	9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN	9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN
10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN	10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN	10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN	10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN

PLANT SPECIFICATIONS		REVISION	DATE
1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN	1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN	1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN	1. MINIMUM TREE SPECIFICATIONS FOR LANDSCAPE DESIGN
2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN	2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN	2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN	2. MINIMUM SHRUB SPECIFICATIONS FOR LANDSCAPE DESIGN
3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN	3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN	3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN	3. MINIMUM FLOWER SPECIFICATIONS FOR LANDSCAPE DESIGN
4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN	4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN	4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN	4. MINIMUM GRASS SPECIFICATIONS FOR LANDSCAPE DESIGN
5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN	5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN	5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN	5. MINIMUM WALKWAY SPECIFICATIONS FOR LANDSCAPE DESIGN
6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN	6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN	6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN	6. MINIMUM RETAINING WALL SPECIFICATIONS FOR LANDSCAPE DESIGN
7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN	7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN	7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN	7. MINIMUM FENCE SPECIFICATIONS FOR LANDSCAPE DESIGN
8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN	8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN	8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN	8. MINIMUM LIGHTING SPECIFICATIONS FOR LANDSCAPE DESIGN
9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN	9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN	9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN	9. MINIMUM IRRIGATION SPECIFICATIONS FOR LANDSCAPE DESIGN
10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN	10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN	10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN	10. MINIMUM MAINTENANCE SPECIFICATIONS FOR LANDSCAPE DESIGN



CONCRETE PANEL FENCE W/ COLUMNS

SHEET
SUP
LANDSCAPE
PLAN



ONCOR SERVICE CENTER
HIGHWAY 77
WAXAHACHIE, TX 75167

LandArch Studio, LLC
G. I. Joseph Vaughn
4600 Chard View Ct
Houston, TX 77060
1-800-827-3577

(14+15)

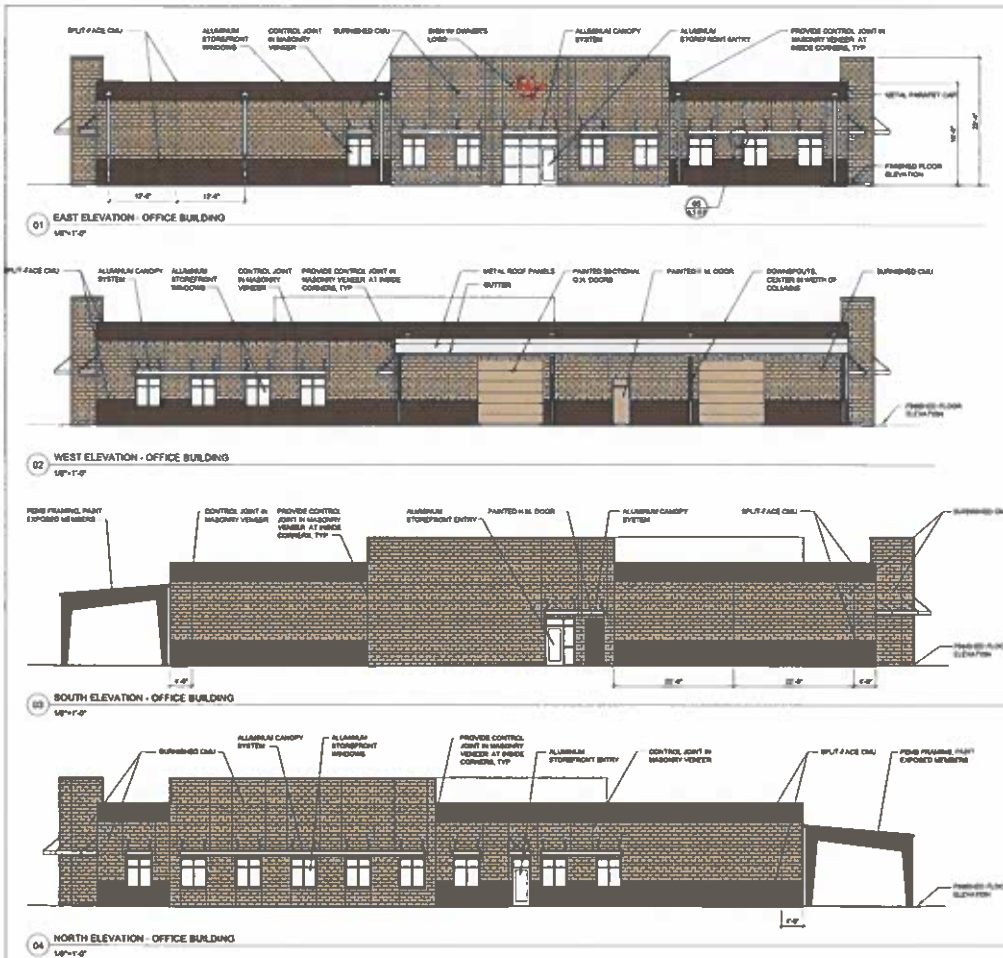


EXHIBIT D - ARCHITECTURAL ELEVATIONS

ONCOR
WAXAHACHIE
DISTRIBUTION
SERVICE CENTER

4800 HWY 77
WAXAHACHIE, TEXAS 75147



ROE
DESIGN GROUP, LLC

1216 CLOVER LAKE
FORT WORTH, TEXAS 76107
817.861.1481
dave@roedesigngroup.com
www.roedesigngroup.com

THIS DRAWING WAS PRODUCED
BY DAVIS J. ROE, AN ARCHITECT
REGISTERED IN TEXAS
REGISTRATION NUMBER IS 12076
THIS DOCUMENT IS INCOMPLETE
AND MAY NOT BE USED FOR
REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

REVISIONS

REVISIONS

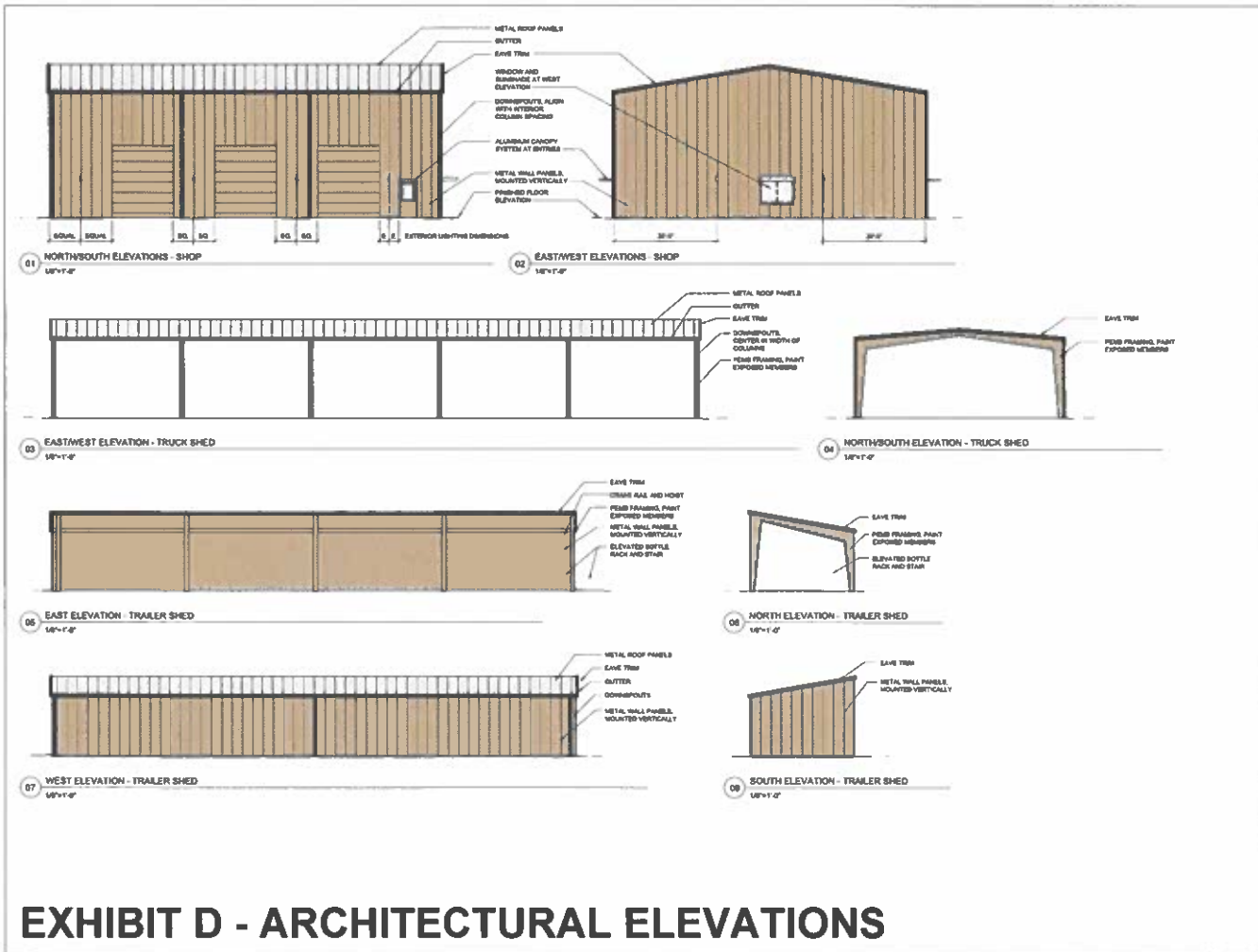
ADD PROJECT NUMBER 22007.02

A3.01

EXTERIOR ELEVATIONS
BROWN SCHEME

© 2022 ROE DESIGN GROUP, LLC

(14+15)



ONCOR
WAXAHACHIE
DISTRIBUTION
SERVICE CENTER
HIGHWAY 77
WAXAHACHIE, TEXAS 75167



1216 CLOVER LAKE
FORT WORTH, TEXAS 76117
817.881.1454
djr@roe-designgroup.com
www.roe-designgroup.com

THIS DRAWING WAS PRODUCED
BY DANIEL J. ROE, AN ARCHITECT
REGISTERED IN TEXAS
REGISTRATION NUMBER 1112596
THIS DOCUMENT IS INCOMPLETE
AND MAY NOT BE USED FOR
REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

REVISED

REVISIONS

RDO PROJECT NUMBER 12007.02

A3.02
EXTERIOR ELEVATIONS
BROWN SCHEME

ONCOR WAXAHACHIE

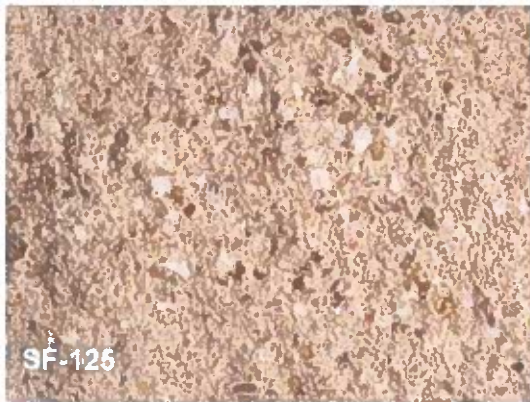
EXHIBIT D - ARCHITECTURAL ELEVATIONS

Selections will vary depending on the manufacturer.

Colors are to be used as a sample for exterior selection.

OPTION 1

BROWN SCHEME



LIGHT CMU



DARK CMU

(14 + 15)

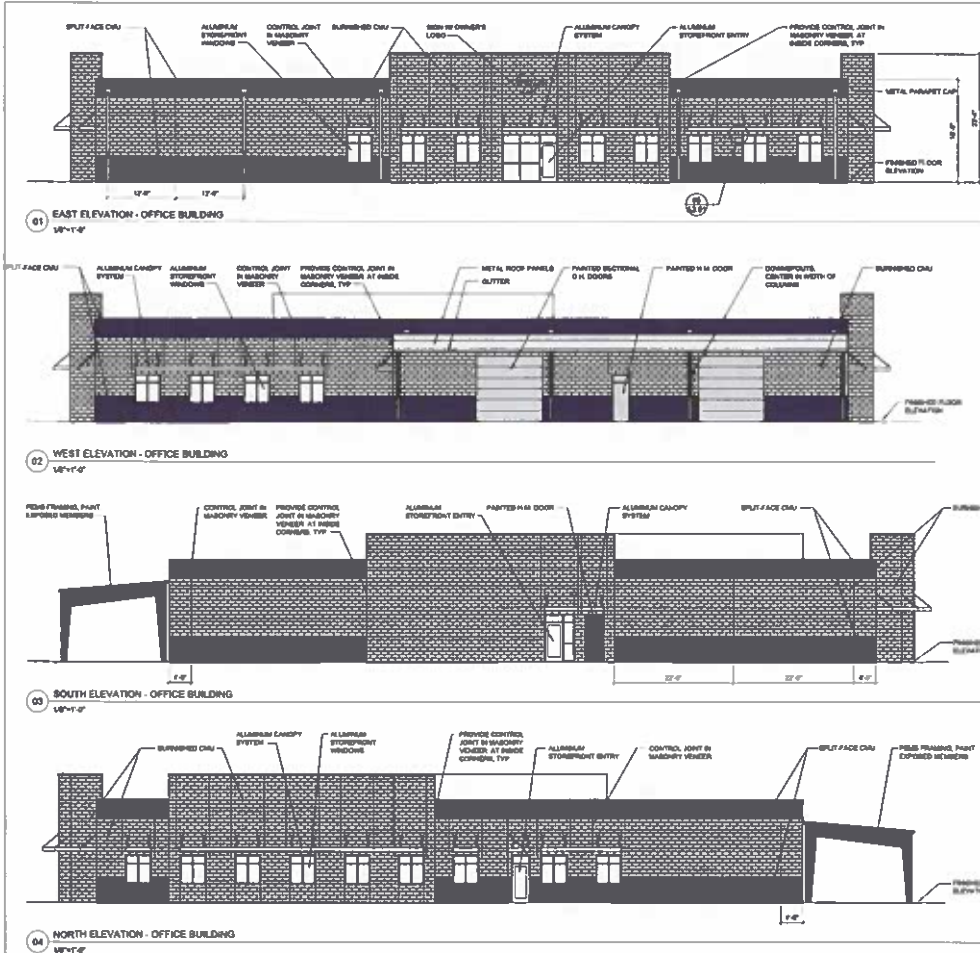


EXHIBIT D - ARCHITECTURAL ELEVATIONS

ONCOR
WAXAHACHEE
DISTRIBUTION
SERVICE CENTER
100 HWY 77
WAXAHACHEE, TEXAS 75147



1216 CLOVER LAKE
FORT WORTH, TEXAS 76107
917.881.1451
daniel@roedesigngroup.com
www.roedesigngroup.com

THIS DRAWING WAS PRODUCED BY DANIEL J. ROE, AN ARCHITECT REGISTERED IN TEXAS. REGISTRATION NUMBER IS 12896. THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.

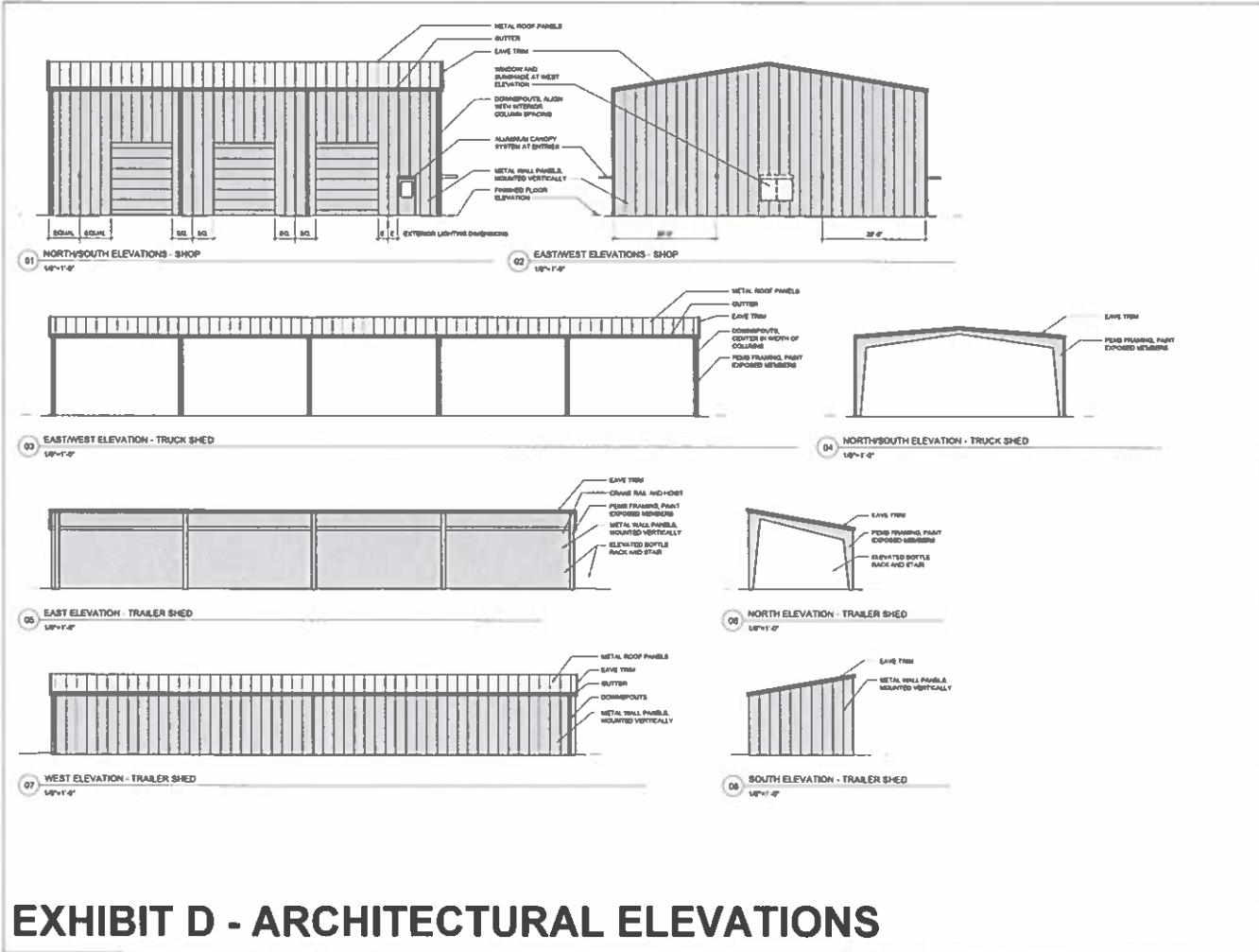
REVISIONS

REVISIONS

RDC PROJECT NUMBER 22067 R2

A3.01
EXTERIOR ELEVATIONS
GRAY SCHEME

Copyright © 2022 RDC DESIGN GROUP, LLC



ONCOR
WAXAHACHIE
DISTRIBUTION
SERVICE CENTER
HIGHWAY 77
WAXAHACHIE, TEXAS 75167



ROE
DESIGN GROUP, L.L.C.

1218 CLOVER LAKE
FORT WORTH, TEXAS 76107
817.581.1401
dave@roedesigngroup.com
www.roedesigngroup.com

THIS DRAWING WAS PRODUCED
BY DANIEL J. ROE, AN ARCHITECT
REGISTERED IN TEXAS.
REGISTRATION NUMBER IS 12976.
THIS DOCUMENT IS INCOMPLETE
AND MAY NOT BE USED FOR
REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION.

REVISIONS

REVISIONS

RDC PROJECT NUMBER 22007 00

A3.02
EXTERIOR ELEVATIONS
GRAY SCHEME

© 2017 ROE DESIGN GROUP, L.L.C.

EXHIBIT D - ARCHITECTURAL ELEVATIONS

Selections will vary depending on the manufacturer.

Colors are to be used as a sample for exterior selection.

OPTION 2

GRAY SCHEME



LIGHT CMU



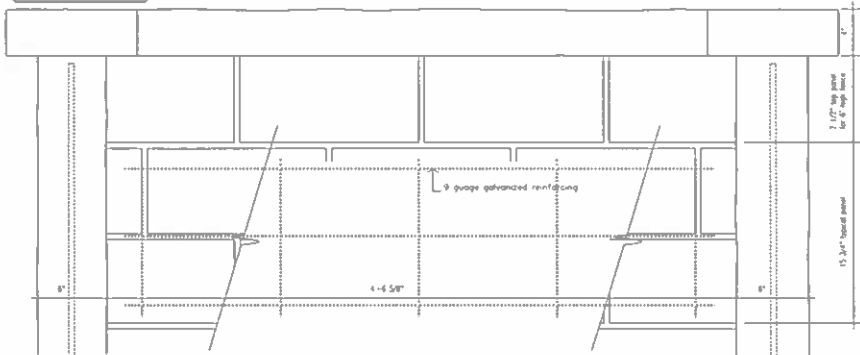
DARK CMU

(14+15)



FENCECRETE AMERICA, INC.

manufacturers of precast concrete fencing and masonry wall systems
15089 tradesmen drive san antonio, texas 78249 210-492-7911 800-229-7811 www.fencecrete.com



Partial Fence Elevation

scale: 1-1/2" = 1'-0"



Split-Face CMU Style Concrete Fence

footing 18" diameter, 24" deep (min.)
3000 p.s.i. concrete, poured
according to local soil conditions

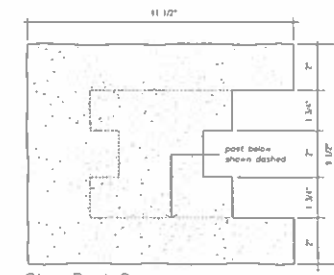
Post Reinforcing
6" high fence
2 each #4 rebar
8" high fence
4 each #4 rebar

EXHIBIT E - SCREENING WALL



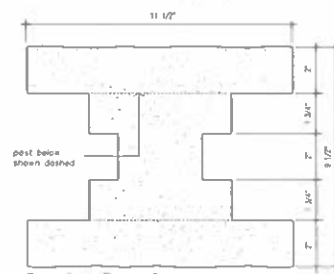
Caprail Elevation

scale 3" = 1'-0"



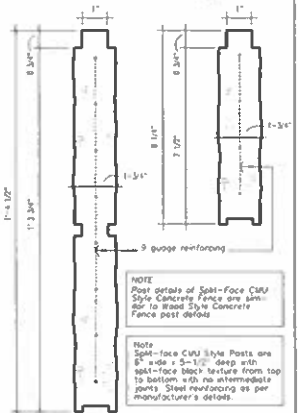
Stop Post Cap

scale 3" = 1'-0"



Running Post Cap

scale 3" = 1'-0"



Typical Panel Sections

scale 3" = 1'-0"



Caprail Section

scale 3" = 1'-0"

notes

1. The caprail height can be from 6 to a maximum of 12'-0". Additional heights are available upon special order.
2. All fence concrete shall be 5000 p.s.i.
3. All reinforcement shall be #5 1/2" x 1/2" grade 60. Special reinforcement is available upon special order.
4. Concrete footing, 12" - 18" diameter, 24" deep (min.), 3000 p.s.i. concrete, depth varies according to local soil conditions.
5. Split-face CMU style panels can be precast in a variety of textures. All exposed sides have split-face black-ice texture.
6. Gates shall have additional steel supports adjacent to concrete columns.
7. All steel reinforcement is preplaced with steel spacers so as to allow for maximum concrete coverage.
8. A special line segment is used to tie the line spiral and post caps in place. This segment requires special tools for removal.

We reserve the right to alter the design or specifications without incurring any obligation, all rights reserved.
Fencecrete America, Inc.

(14+15)

Oncor Service Center

Waxahachie, TX

January 12, 2023

Operations Plan

- Number of employees 80 to 90
- Monday through Friday 7am to 3:30pm daily operation. Occasionally overtime work after hours and some weekends.
- Crews load materials each morning for the days' work and go out to build jobs to customers.
- Office staff works on designing jobs, acquiring easements etc... other staff works on customer service issues.
- Storeroom receives material on trucks from vendor and issues material to crews for construction.
- List of materials to be stored in the Outside Storage Area
 - poles, cross arms, wire, cable, conduit and transformers
- Traffic busy times are generally heaviest in the morning as crews load material for the day.
- The proposed slide gates will open for access via a Gate Key Pad (see site plan for Gate Key Pad locations). The gates will be normally closed.

(116+17)

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-178-2022



MEETING DATE(S)

Planning & Zoning Commission: March 15, 2023

City Council: March 20, 2023

CAPTION

Public Hearing on a request by Anna Carrillo, Carrillo Engineering, for a **Zoning Change** from a General Retail zoning district to **Planned Development-General Retail**, located at the northeast corner of US Highway 77 and E North Grove Boulevard (Property ID: 191121, 262125, and 262126) – Owner: High Five Trust – BJA (Mark) (ZDC-178-2022) Staff: Zack King

RECOMMENDED MOTION

"I move to recommend approval of ZDC-178-2022, a Zoning Change request from a General Retail zoning district to a Planned Development-General Retail zoning district (North Grove Center), located at the northeast corner of US Highway 77 and E North Grove Boulevard, subject to the conditions of the staff report."

APPLICANT REQUEST

The applicant requests approval of a Zoning Change from a General Retail zoning district to Planned Development-General Retail zoning district to allow for the development of allows a full-service grocery store (e.g.: Tom Thumb), a convenience store with gasoline sales, a self-storage facility, and general retail establishments with drive-throughs.

CASE INFORMATION

Applicant: Anna Carrillo, Carrillo Engineering

Property Owner(s): High Five Trust – BJA (Mark)

Site Acreage: 20.01 acres

Current Zoning: General Retail & Planned Development (Ord. 2733, 2841, & 2870)

Requested Zoning: Planned Development-General Retail (PD-GR)

SUBJECT PROPERTY

General Location: The northeast corner of US Highway 77 and E North Grove Boulevard

Parcel ID Number(s): 191121, 262125, and 262126

Existing Use: The subject property is currently undeveloped

(114+17)

Development History:

The southern portion of the subject property is currently located in the Retail/Commercial district of the North Grove Planned Development (Ord. 2733, 2841, & 2870).

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	General Retail (GR)	Undeveloped
East	Planned Development-Single Family 2 & 3 (PD-SF-2 & 3)	Single Family Residences
South	Planned Development-General Retail (PD-GR)	Undeveloped
West	General Retail (GR)	Community National Bank

Future Land Use Plan:

Retail

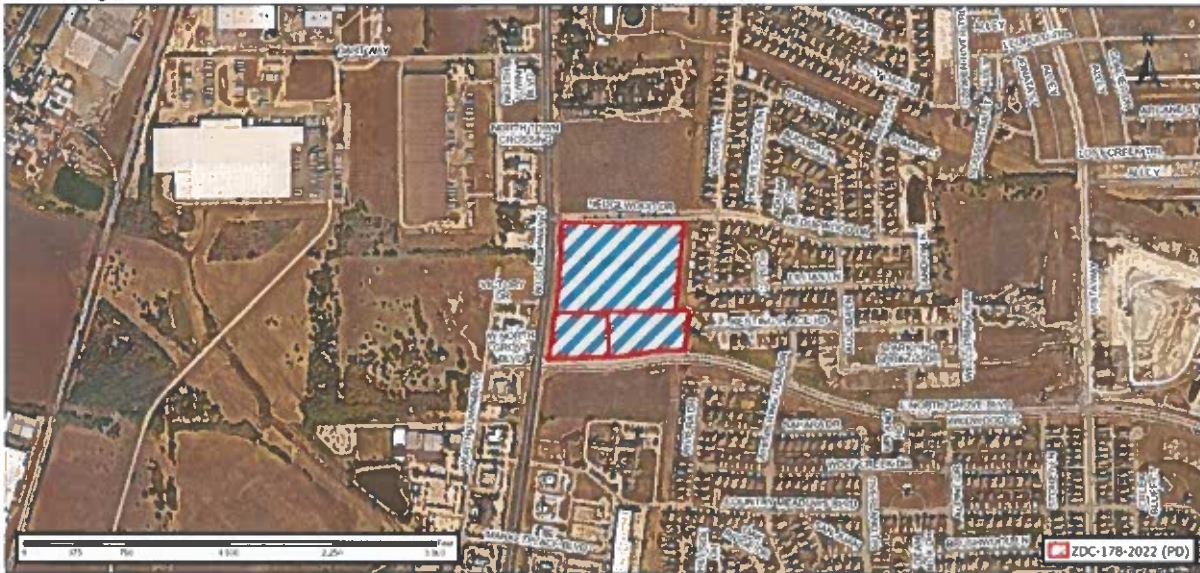
Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

Thoroughfare Plan:

The subject property is accessible via Hedgewood Drive, E North Grove Boulevard, and N US Highway 77.

Site Image:



PLANNING ANALYSIS

Purpose of Request:

The applicant is requesting approval of a Planned Development to allow for a mixed-use commercial development on approximately 20 acres. Per the City of Waxahachie Zoning Ordinance, a Planned Development request is required to be approved by City Council. The subject property is currently unplatted; but the applicant has submitted a plat application (SUB-15-2023) to the Planning Department for review, at a future date. Prior to submitting the Planned Development request, the applicant conducted a neighborhood meeting to provide the community with information on the development and identify any community concerns.

Proposed Use:

The North Grove Center Planned Development is proposed to include a full-service grocery store (e.g.: Tom Thumb), a convenience store with gasoline sales, a self-storage facility, and general retail establishments with drive-throughs.

The applicant intends to develop the property in three (3) phases. Phase 1 will consist of infrastructure improvements to the site. Phase 2 will occur immediately following the completion of Phase 1 and will consist of the development of lots 2, 7, 9, and 10. Construction during Phase 2 will include the full-service grocery store (e.g.: Tom Thumb), convenience store and gas station, self-storage facility, and one strip retail center with a drive-through. The applicant has no anticipated completion date for Phase 3 of the development; which will include lots 3, 4, 5, 6, and 8. Development on these tracks will require the approval of separate Detailed Site Plans; but no specific users are contemplated at this time. Additional detail regarding the phasing of the development can be referenced in Section XI of the Development Standards below.

The specific allocation of uses within the North Grove Center Planned Development can be referenced in Table 1 below.

Table 1: Proposed Uses

Lot Number	Proposed Use	Base Zoning District	Lot Area (Acres)	% of Total Area
Lot 1	Storm Water Detention	General Retail (GR)	1.809	9.04%
Lot 2	General Retail with Mini-Warehouse	General Retail (GR)	2.775	13.86%
Lot 3	General Retail with Drive-Thru	General Retail (GR)	1.043	5.21%
Lot 4	General Retail with Drive-Thru	General Retail (GR)	1.314	6.57%
Lot 5	General Retail with Drive-Thru	General Retail (GR)	1.002	5.00%
Lot 6	General Retail with Drive-Thru	General Retail (GR)	1.113	5.56%
Lot 7	General Retail with Convenience Store and Fuel Sales	General Retail (GR)	1.243	6.21%
Lot 8	General Retail with Drive-Thru	General Retail (GR)	1.381	6.90%
Lot 9	General Retail with Drive-Thru and Outdoor Display	General Retail (GR)	6.773	33.84%
Lot 10	General Retail with Drive-Thru	General Retail (GR)	1.565	7.82%
TOTAL			20.017	100.00%

Proposed Use (Grocery Store – Lot 9):

The applicant has proposed a roughly 60,000-square-foot Tom Thumb grocery store for Lot 9 of the North Grove Center PD. The Tom Thumb will serve as a full-service grocery store offering online grocery order pickup, a pharmacy with a drive-thru and a deli area. The grocery store will also have a roughly 600 square foot outdoor display area and outdoor seating. Tom Thumb is anticipated to operate initially from 6:00am to 11:00pm; but can operate 24 hours a day if there is additional demand. A total of 150 employees are expected to staff the Tom Thumb. A total of 320 parking spaces are proposed for the grocery store, with up to ten (10) total spaces designated for electric vehicle use and up to seven (7) total spaces designated for online order pickup.

Grocery Store – Elevation/Façade

- The grocery store is proposed to feature painted concrete masonry units (CMUs), Nichiha panels, and window glazing as the primary exterior construction materials. A total of four (4) colors are proposed to be utilized for the CMU. The Nichiha panels utilize two colors, cedar and tobacco. Exhibit B can be referenced for additional detail regarding the proposed elevations.

Proposed Use (Mini-Warehouse – Lot 2):

The proposed Mini-Warehouse facility is currently anticipated to operate under the Store House Storage brand. The structure is a 130,000-square-foot, fully indoor, climate-controlled storage facility that is anticipated to be staffed daily from 9:00am to 6:00pm, with tenant access allowed from 6:00am to 10:00am. The facility is proposed to be fully gated, with all loading and unloading occurring behind the gated entrance. Adequate on-site parking has been provided for this use.

Mini-Warehouse – Elevation/Façade

- The mini-warehouse facility is proposed to utilize a façade comprised primarily of stucco, thin stone veneer, and window glazing. A total of 96% of the façade will be comprised of masonry stucco or thin stone veneer. The varying stucco colors and articulation proposed for the facility serve to eliminate monotony in the façade. Exhibit B can be referenced for additional detail on the proposed elevations.

Proposed Use (Convenience Store & Gas Station – Lot 7):

The proposed Convenience Store and Gas Station is anticipated to operate under the Tom Thumb Express brand. Twelve (12) fuel pumps are proposed to be open for public use 24/7; while the typical convenience store hours will be 7:00am-9:00pm. Adequate on-site parking is proposed for this use.

Convenience Store & Gas Station – Elevation/Façade

- The convenience store & gas station is proposed to utilize a complimentary façade with the grocery store. The proposed materials for the convenience store include painted concrete masonry units (CMU's), Nichiha panels, and window glazing. The fuel pump canopy is proposed to utilize the Nichiha panels with a cedar finish. Exhibit B can be referenced for additional detail regarding the proposed elevations.

Proposed Use (Multi-Tenant Retail Building & Drive-Through – Lot 10):

A 11,000 square-foot multi-tenant retail building is proposed on Lot 10. Specific users are not contemplated for the retail building at this time, but provisions have been made to allow for a single drive-through establishment to operate in the northernmost suite. Adequate parking is available if all suites are occupied by retail or office users. However, the applicant has requested that the proposed parking be considered sufficient for all potential uses allowable in the General Retail district, including restaurants. If all suites are occupied by restaurants, there is a potential for the proposed parking to be up to ten (10) spaces short of the requirement for this lot.

Multi-Tenant Retail Building & Drive-Through – Elevation/Façade

- The façade of the multi-tenant retail building on Lot 10 is designed to compliment the design of the grocery store; but will not utilize the same exterior construction materials. The façade is comprised by 100% masonry materials (stucco & thin stone veneer) and window glazing, with minor aluminum accents. Exhibit B can be referenced for additional detail regarding the proposed elevations.

Architectural Standards (Phase 3):

As noted above, the applicant has proposed specific elevation and façade plans for Phase 2 of the development. Specific elevation and façade plans have not been prepared for Phase 3 due to the uncertainty regarding the future development of these lots. However, the applicant still wishes to maintain a consistent design throughout the development. With this in mind, the applicant has proposed architectural standards to serve as a guide for material and color palette selections with Phase 3 development. The compatibility of proposed building materials shall be determined by the Planning Director at the time of Site Plan submittal for Phase 3 development.

Setbacks:

The applicant has proposed to modify the setback requirements of the General Retail zoning district with this Planned Development request. Specifically, the applicant is requesting to reduce the front setback requirement from 40' to 25' and the internal side setback from 20' to 10' for all lots. Additionally, the applicant has proposed to increase the rear setback from 20' to 25' for all lots adjacent to residential zoning.

Landscaping:

The applicant has provided a Landscape Plan (Exhibit C) that identifies the proposed landscaping for Phase 2, with the exception of Lot 1. The applicant has not proposed any landscaping for Lot 1 due to its exclusive use for stormwater detention. Due to the size of the proposed buildings and the subsequent parking requirements for each lot, the applicant has been unable to meet the minimum landscaping requirements of the Waxahachie Zoning Ordinance.

However, staff believes the applicant has provided the landscaping necessary to adequately screen the development. Specifically, the applicant has provided ample trees along the outside of the 8' masonry screening wall to further buffer the site from adjacent residences. Additionally, the applicant has provided street trees along Hedgewood Drive, Highway 77, and E North Grove Boulevard. Lots included in Phase 3 will be required to adhere to the landscape requirements established by Section 5.04 of the Waxahachie Zoning Ordinance.

Screening:

The subject property backs up to existing residences in the Arbors and Oasis at North Grove neighborhoods. In order to properly screen the existing residences from the proposed grocery store and mini-warehouse facility, the applicant has proposed to construct an 8' masonry screening wall. The screening wall will be constructed of prefabricated concrete panels designed to mimic a stone wall. Additionally, the applicant is proposing to install an ornamental aluminum fence along the perimeter of the detention pond on Lot 1. Additional detail regarding the proposed screening can be referenced in Section VII of the Development Standards.

Access:

The North Grove Center Planned Development is proposed to have a total of five (5) points of access. Three (3) drives will be available off of E North Grove Boulevard to provide direct access to the Tom Thumb proposed on Lot 10. Curb cuts and dedicated turn lanes will be provided on E North Grove Boulevard for two of these access points. One (1) point of access is proposed off of Highway 77. The applicant is proposing a deceleration lane on Highway 77 along with this access point. Finally, a single point of access, and a dedicated turn lane, will be provided for the development on Hedgewood Drive. A private drive will extend through the center of the development to provide cross-access between each proposed lot. This access drive will be memorialized with a mutual access easement. Finally, the applicant is pursuing options to install a traffic signal at the intersection of Hedgewood Drive and Highway 77 in order to improve traffic flow in and around the site.

Signage:

The applicant is proposing to construct multiple freestanding monument signs for the shopping center. Multi-tenant monument signs are proposed on Lots 3, 6, and 7; while single-tenant monument signs are proposed on Lots 4, 5, 6, 8, and 9. The single-tenant monument signs are proposed to meet the requirements of the Waxahachie Zoning Ordinance. The multi-tenant monument signs are proposed to increase the maximum allowable height to up to 15' and the maximum allowable size up to 205 square feet. Additional detail regarding the proposed signage for the development can be referenced in Section IX of the Development Standards.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 27 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the Zoning Change request, subject to the conditions noted below.

Conditions:

1. A mutually agreed upon Development Agreement shall be required for the development.
2. The applicant shall receive all necessary building permits from the Building & Community Services Department prior to construction.

ATTACHED EXHIBITS

1. Development Standards
2. Exhibit A - Concept Site Plan
3. Exhibit B – Building Elevations
4. Exhibit C – Landscape Plan
5. Exhibit D – Signage Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION***Prepared by:***

Zack King
Senior Planner
zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A
Senior Director of Planning
jennifer.pruitt@waxahachie.com

(11u+17)

North Grove Center Development Standards

- **Section I. Purpose and Intent**

North Grove Center is a retail development purposefully designed to facilitate quality retail development while still preserving surrounding architectural standards. The development has been designed to incorporate greenspace between the residential and proposed retail uses, mobility between different retail uses, sidewalks throughout the development, landscape throughout the site, and a signage plan.

North Grove Center will offer a variety of retail uses such as a grocery store, restaurants, general retail uses, a convenience store, neighborhood-oriented retail, and self-storage.

The shopping center development plan is intended to both establish guidelines stringent enough to ensure quality, uniform development, but also adaptable enough to be able to accommodate changes in market demand and future uses.

- **Section II. The use or the combination of uses proposed**

The land use allocation for the total development is shown below. The site plan for the development can be found on **Exhibit A**. Unless otherwise outlined in these development standards, use requirements and design guidelines shall default to the respective base zoning district for each lot. The permitted uses for each lot shall include the uses of its respective base zoning in addition to any itemized uses.

Lot Number	Proposed Use	Base Zoning District	Lot Area (Acres)	% of Total Area
Lot 1	Storm Water Detention	General Retail (GR)	1.809	9.04%
Lot 2	General Retail with Mini-Warehouse	General Retail (GR)	2.775	13.86%
Lot 3	General Retail with Drive-Thru	General Retail (GR)	1.043	5.21%
Lot 4	General Retail with Drive-Thru	General Retail (GR)	1.314	6.57%
Lot 5	General Retail with Drive-Thru	General Retail (GR)	1.002	5.00%
Lot 6	General Retail with Drive-Thru	General Retail (GR)	1.113	5.56%
Lot 7	General Retail with Convenience Store and Fuel Sales	General Retail (GR)	1.243	6.21%
Lot 8	General Retail with Drive-Thru	General Retail (GR)	1.381	6.90%
Lot 9	General Retail with Drive-Thru and Outdoor Display	General Retail (GR)	6.773	33.84%
Lot 10	General Retail with Drive-Thru	General Retail (GR)	1.565	7.82%
TOTAL			20.017	100.00%

Detention

The detention pond designated in Lot 1 is designed to mitigate for stormwater runoff from the development. Ownership of this lot shall be tied to ownership of Lot 9. Maintenance and upkeep of the pond and this lot shall be dictated through a private declaration of easements, conditions, covenants, and restrictions. Access for this lot shall come from an access easement through the internal shopping center drive and Lot 10. All uses under the General Retail (GR) classification are permitted.

(16+17)

Mini-Warehouse

A mini-warehouse use is permitted on Lot 2 and shall operate under the Store House Storage name. Store House Storage offers a safe, secure storage experience. The facility shall be 100% indoor and climate-controlled. The building has an area of +/- 130,000 SF. We estimate that 17 parking stalls are required. The site plan proposes 17 parking stalls including several parallel spaces adjacent to the building. The facility shall keep office hours daily from 9 AM – 6 PM. Tenant access is allowed daily from 6 AM – 10 PM. The facility is expected to hire 2 store managers, who shall be onsite and oversee the facility during office hours. Access to the site shall come from the internal shopping center drive access easement that spans from Hedgewood Dr to North Grove Blvd. All loading and unloading shall take place at the side entry doors outside of the fire lane and behind the perimeter fence and gate system. Traffic around the building is to circulate in one-way direction to ensure safe circulation. All access points to the building shall be controlled through a centralized access system. The site is to be fully gated and secured. During office business hours, the leasing office shall be open to the public. Each tenant shall be issued a unique access code, which shall grant access through entry gates and facility doors. Every entry is date and time stamped with the accompanying access code used. Knox boxes shall be provided to allow first responder access.

Convenience Store and Fuel Sales

A convenience store use is allowed on Lot 7 in addition to all other uses permitted in the GR zoning district. This use category allows for both convenience store operation as well as gasoline and diesel sales. This store is intended to be operated under the same brand as the grocery store on Lot 9 initially, but the facility could be rebranded in the future as market forces dictate. The convenience store typical store hours are from 7AM to 9PM. The convenience store shall sell food and beverage for off-site consumption as well as daily-need convenience items. The fuel pumps shall be self-service and will be open for public use 24/7. The fuel station site plan shows 12 fuel pumps stations. We estimate that 17 parking stalls will be required, and the site plan proposes 25 parking stalls, including the fuel pump stations as parking stalls. Access for the site is to be derived from the drive on Hwy 77 that aligns with Victory Dr through a public access easement. The convenience store shall not allow overnight parking nor diesel stations built for semi-trucks. Beer and wine sales for off-site consumption are permitted on Lot 7.

General Retail with Drive-Thru

General Retail shall include all permitted uses under the General Retail (GR) classification in the Waxahachie zoning code, specifically restaurants, grocery stores, banks, and retail shops. Where denoted, drive-thru's are permitted. General retail with drive-thru uses are permitted, but site plan approval shall be required for all lots that do not show a building footprint on **Exhibit A** (Lot 3, Lot 4, Lot 5, Lot 6, and Lot 8). A Tom Thumb grocery store is shown on Lot 9, and a multi-tenant retail building is shown on Lot 10. Operational plans for both uses are below:

➤ Grocery Store (Tom Thumb) with Drive-Thru and Outdoor Display

- A +/- 59,483 SF Tom Thumb grocery store is located on Lot 9. The Tom Thumb store includes a traditional grocery store, online grocery order pickup, a pharmacy with both in-store and drive-thru pickup options, a mercantile deli and coffee offering, and outdoor display and seating. Outdoor display shall be permitted on Lot 9; an estimated +/- 600 SF display area is shown on **Exhibit A**. Beer and wine sales are permitted on Lot 9. Typically, Tom Thumb hours

(1k + 17)

of operation are from 6AM to 11PM, but Tom Thumb does operate 24HR stores where the needed due to sales volume. Tom Thumb is estimated to have a total of 150 employees. We estimate that the grocery store will require 298 parking stalls, and the site plan proposes approximately up to 320 parking stalls. Ingress and egress for the Tom Thumb store will come from directly from North Grove Blvd as well as from the internal shopping center drive and Lot 10 through public access easements

➤ **Multi-Tenant Retail Building**

- A 11,000 SF multi-tenant retail building is shown on Lot 10. This building will provide neighborhood-oriented retail services and shops. We expect 3 – 6 different retail users for this building. The building shows a drive-thru with capacity to stack 6 vehicles for the northernmost retail user to utilize. All tenants will utilize a shared dumpster behind the building. We estimate this retail building will need 88 parking stalls, and the site plan proposes 85 parking stalls. Given that the exact end users are undetermined, this lot will require a variance for up to 10 parking spaces. Access to this lot will come from public access easements through the internal shopping center drive as well as through Lot 9.

• ***Section III. Area and Height Regulations (density, lot area, width, depth, coverage, yard depths and widths, height)***

The following chart indicates area, height, density, and yard requirements for each of the lots. For lots with building footprints on **Exhibit A**, new construction shall follow the yards that are shown on the site plan. All other lots on **Exhibit A** that do not show a building footprint shall follow the yard requirements set forth below. Any lot design aspect that is not specifically called out by the following chart shall default to the design requirements for each lot's respective base zoning district.

(16 + 17)

Lot Number	Use Category	Base Zoning	Maximum Lot Coverage	Minimum Lot Area	Minimum Lot Width	Minimum Lot Depth	Yard Sizes - Front - Side ** - Rear	Maximum Height
Lot 1	Detention	General Retail (GR)	N/A	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story
Lot 2	General Retail with Mini-Warehouse	General Retail (GR)	55%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	2 stories
Lot 3	General Retail with Drive-Thru	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - No setback rear setback required so long as adequate fire lanes and circulation can be met	1 story
Lot 4	General Retail with Drive-Thru	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story
Lot 5	General Retail with Drive-Thru	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story
Lot 6	General Retail with Drive-Thru	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story
Lot 7	General Retail with Convenience Store and Fuel Sales	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story
Lot 8	General Retail with Drive-Thru	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story

(14+17)

Lot 9	General Retail with Drive-Thru and Outdoor Display	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street - 20'; 25' when adjacent to residential	1 story
Lot 10	General Retail with Drive-Thru	General Retail (GR)	40%	7,000 SF	60'	100'	- 25' - 10'; 20' if adjacent to a street 20'; 25' when adjacent to residential	1 story

***No side yard is required when platted adjacent to other retail and non-residential uses provided:*

- 1. Adequate fire lanes and circulation is provided on site; and*
- 2. Appropriate building codes can be met*

- **Section IV. Building Elevations**

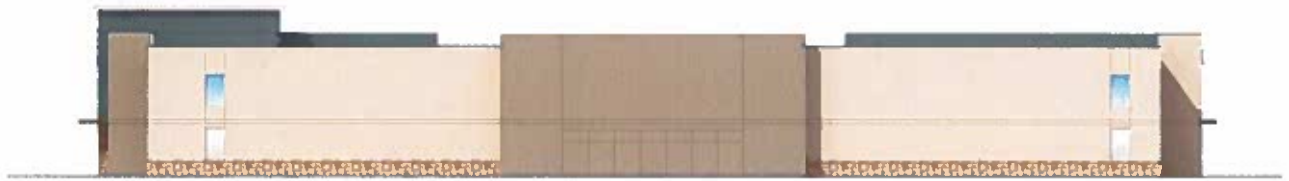
Building elevations are provided below as well as **Exhibit B** to provide examples of the type of building facades that shall be constructed as well as materials and color palettes.

Mini-Warehouse

Below are the architectural elevations for the mini-warehouse facility shown on Lot 2. The building shall conform to the materials and colors shown below as well as on **Exhibit B**.



(11+17)

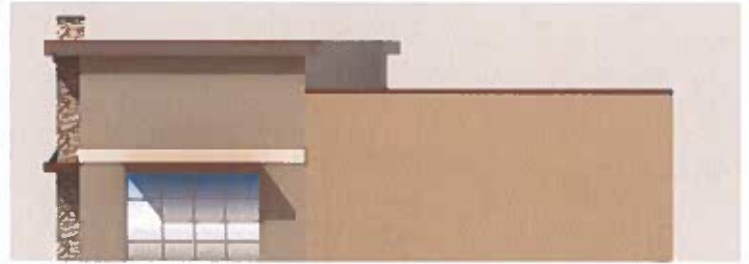
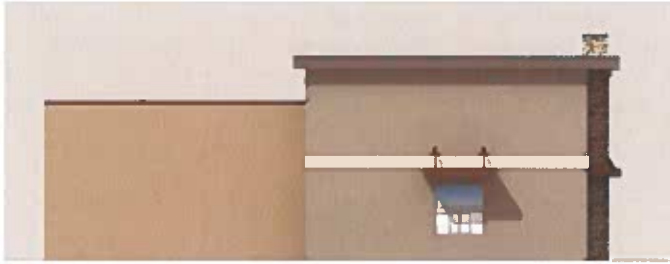


Multi-tenant building with Drive-Thru

Below are the elevations for the multi-tenant retail building with drive-thru, which is permitted on Lot 10. The building materials and color palette are intended to be an extension of the grocery shown on Lot 9.



(16+17)



General Retail with Drive-Thru

Below are renderings and elevations for the grocery store to be located on Lot 9.



(1u+17)



(16 + 17)



(11u+17)



Convenience Store

Below are elevations and renderings for the convenience store, which shall be constructed on Lot 7. The building materials and color palettes are intended to be an extension of the design of the grocery store located on Lot 9.



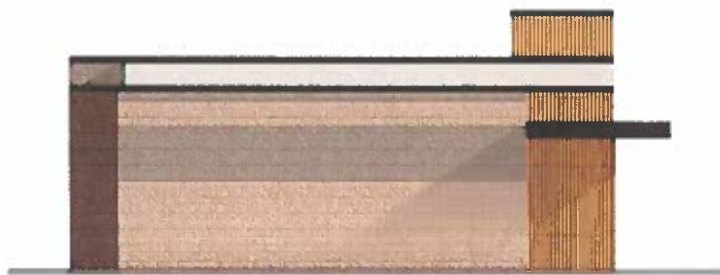
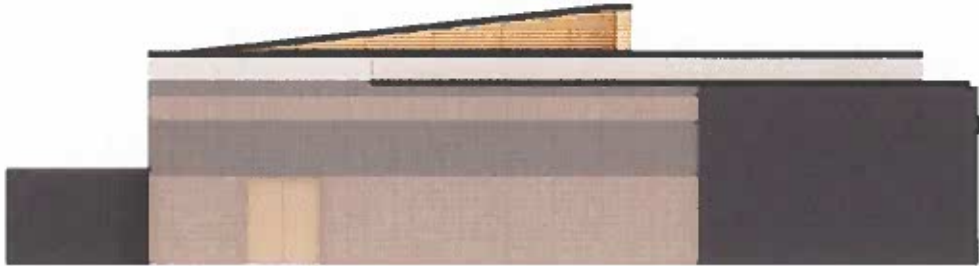
(14+17)



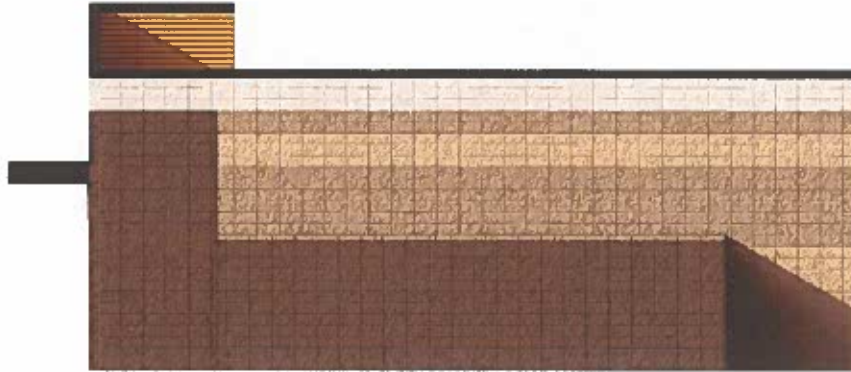
(16+17)



(14+17)



(14+17)



- **Section V. Parking, Loading, and Drive-Thru's**

Off-street parking requirements for the shopping center shall be dictated by the use and governed by the City of Waxahachie's standards. As noted in the operational plan for the multi-tenant retail building on Lot 10, a variance for up to 10 parking stalls is requested due to the exact retail users being undetermined. No parking or loading within any fire lane is permitted at any time.

Drive-Thru's are permitted on Lot 3, Lot 4, Lot 5, Lot 6, Lot 8, Lot 9, and Lot 10. Stacking requirements for each lot is as follows:

Lot Number	Proposed Use	Drive-Thru Stacking Requirements
Lot 3	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided
Lot 4	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided
Lot 5	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided
Lot 6	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided
Lot 8	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided
Lot 9	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided
Lot 10	General Retail with Drive-Thru	A minimum of six (6) stacking spaces shall be provided

All buildings shall meet Waxahachie's minimum loading requirements. The grocery store on Lot 9's loading area is designed to be screened on three (3) sides to accommodate after-hours shipment deliveries.

- **Section VI. Access**

Access for the shopping center shall come from US Hwy 77, North Grove Blvd, and Hedgewood Dr. A private, internal drive, spanning from N Grove Blvd to Hedgewood Dr shall be constructed to serve as the chief thoroughfare for the center. A public access easement shall be granted in this drive, allowing through access to all lots for both patrons of the center as well as emergency services. The internal drive shall also serve as a fire lane, and no on-street parking

(11u+17)

or loading shall be permitted on this drive. All platted lots shall have access either from a public street or through the public access easement, which shall provide adequate access to each lot. All lots except for Lot 1 and Lot 10 currently front public streets, and these lots will be granted access through the public access easement. Cross-access between lots is encouraged when feasible. Sidewalks shall be constructed both along the perimeter of the shopping center and between lots to allow for increased pedestrian safety and activity.

- **Section VII. Landscaping and Screening**

Landscape shall be provided for each platted lot, exclusive of Lot 1, so long as the lot is utilized for stormwater detention. The grass in the detention pond shall be adequately maintained and cut regularly. Grass shall also be provided in adjacent public right-of-way's. The landscape for the development shall follow the landscape plan shown in **Exhibit C**. Landscape for future development shall follow the general guidelines set forth in **Exhibit C**. Landscape plans for Lots 3-6 and Lot 8, which shall be developed in future phases, will be required for consideration and approval with the respective site plans. In interim phase, these lots shall be revegetated to a minimum of 70% coverage with grass via seeding and/or hydromulching.

Lots with retail uses and residential adjacency shall provide 8' masonry screening walls between retail and residential uses. Masonry screening walls shall be constructed using pre-engineered and prefabricated concrete-panel walls. The screening walls shall have a textured finish and have an earth-tone color. An example of the proposed screening wall is below.



The detention pond on Lot 1 is to have an aluminum panel fence around the pond to ensure safety and security; a gate shall be provided to allow access for maintenance. An example of the aluminum panel fence to be installed is provided below.

(16 + 17)



All dumpsters shall be screened from public view with a masonry enclosure and gates. Masonry dumpster enclosures shall complement the style of the overall development and shall be constructed with split face block. The color of the dumpster enclosure shall be consistent with the colors used for the principal building on the lot. All free-standing dumpster enclosures shall also be screened by evergreen shrubs at least 3' in height. Rooftop mechanical equipment visible from right-of-way shall be screened from public view.

A rendering of the visibility corridor from the Hwy 77 & North Grove Blvd intersection is shown in **Exhibit A**.

- **Section VIII. Accessory Buildings**

Accessory Buildings for non-residential uses are permitted, so long as they are lesser in height than the main building, conform to the minimum exterior construction standards for the main building on the lot or tract and shall be architecturally compatible in design and constructed of the same exterior finishes and colors as the main building.

- **Section IX. Signage**

The only type of freestanding signs allowed in the shopping center are monument signs. The shopping center will utilize a mixture of multi-tenant and single-tenant monument signs throughout the development. The signage plan with monument sign elevations is shown on **Exhibit D**.

Directional signage is permitted and shall follow City guidelines.

(16+17)

Multiple-tenant monument signs on Lot 3 and Lot 6 shall conform to the following regulations:

Maximum Size	125 square feet
Maximum Height	Twelve (12) feet measured from grade
Setbacks:	Fifteen (15) feet from street right-of-way
	Fifteen (15) feet from property lines other than those property lines fronting public right-of-way
	250 feet from any other monument sign on the same platted lot, measured along the right-of-way

The multiple-tenant monument sign on Lot 7 shall conform to the following regulations:

Maximum Size	205 square feet
Maximum Height	Fifteen (15) feet measured from grade
Setbacks:	Fifteen (15) feet from street right-of-way
	Fifteen (15) feet from property lines other than those property lines fronting public right-of-way
	250 feet from any other monument sign on the same platted lot, measured along the right-of-way

The multi-panel signs located on Lot 3, Lot 6, and Lot 7 will all maintain the same architectural style. The multi-panel sign on Lot 3 is intended to serve a future multi-tenant building on its respective lot. Lot 6's multi-panel sign will serve signage for the Lot 6 tenant, the tenants in the Lot 10 multi-tenant retail building, and the tenant on Lot 9. Lot 7's multi-tenant sign will provide signage for both the convenience store located on the lot as well as the grocery store located on Lot 9.

Single tenant monument signs shall conform to the following regulations:

Maximum Size	Eighty (80) square feet
Maximum Height	Eight (8) feet measured from grade
Setbacks:	Fifteen (15) feet from street right-of-way
	Fifteen (15) feet from property lines other than those property lines fronting public right-of-way
	250 feet from any other monument sign on the same platted lot, measured along the right-of-way

Lot 4, Lot 5, Lot 8, and Lot 9 will all provide signage to serve the tenants of their respective lots.

The design of all monument signs shall meet Waxahachie requirements. A sandstone base is to be used throughout the shopping center.

- **Section X. Lighting**

(16 + 17)

The interior drive spanning from North Grove Blvd to Hedgewood shall provide light standards consistent with Waxahachie's lighting requirements. Consistent with Waxahachie's code, for lots greater than three (3) acres, the maximum height of light standards is 30'; for all lots less than three (3) acres, the maximum height of light standards is 20'. All lights shall meet Waxahachie's requirements for residential light intensity and screening. All light standards shall be placed on the site with a setback equal to its height from all adjacent residential property. Light standards used throughout the development shall be consistent with the images shown below. All light standards shall have a bronze finish.



(1u +17)



When facing residential properties, building and site lighting shall be shielded down, away from the residential lots. All lighting shall meet Waxahachie's requirements for intensity and glare.

- **Section XI. Project Phasing and Schedule**

The development of this shopping center shall occur in 3 phases. Phase I is the construction of the critical infrastructure for the shopping center. Phase I includes all offsite construction (turn lanes, deceleration lanes, median breaks, drive approaches), mass grading of the entire site, the internal drive that spans from North Grove Blvd to Hedgewood Dr, the drive that extends into the site from Hwy 77, all stormwater pipe as well as the detention pond, sanitary sewer extensions, and water extensions. We anticipate Phase I construction to take 5-8 months to complete. Phase II will immediately follow Phase I and will consist of construction of Tom Thumb on Lot 9, the mini-warehouse facility on Lot 2, the convenience store on Lot 7, and the retail building on Lot 10. The construction of these four Phase II projects is intended to happen simultaneously. During construction, the Lot 2 and Lot 10 projects will both stage from Lot 3. Lot 7 and Lot 9 will stage from their own respective lots. We anticipate construction of the mini-warehouse facility on Lot 2 to take 10 months, the convenience store on Lot 7 to take 6 months, the grocery store shown on Lot 9 to take 12 months, and the retail building on Lot 9 to take 9 months. Phase III shall consist of all other future retail uses for the remaining lots. Timing of these Phase III project is unknown and will be subject to future retail demand. The colored site plan below is a visual representation of the different phases of the project. Phase I is depicted in yellow, Phase II is shown in blue, and Phase III is shown in green.

[illegible]

The plat for the overall development is to be submitted with an accompanying set of civil construction documents. Upon approval of the civil construction drawings, Phase I construction shall begin. Mass grading of overall site will take place first; all other Phase I construction shall follow the mass grading. Site work for future phase projects shall be allowed to happen concurrently with the Phase I construction. Vertical building construction on Phase II & III projects shall not be permitted until all Phase I infrastructure is accepted by the Public Works Department; vertical building construction for Phase II & III projects may proceed once the plat is filed and building permits have been issued.

(16+17)

Early morning construction is anticipated for concrete placement. Prior notice shall be given to Waxahachie building department for their approval.

Section XII. Management Associations

Each lot shall be responsible for maintaining their respective building, parking field, screening walls, irrigation, and landscape. Common area maintenance responsibilities of the shopping center shall be spelled out through a private declaration of easements, conditions, covenants, and restrictions. Common areas for the shopping center are defined as the detention pond, all drives encompassed in a public access easement, site lighting on undeveloped lots, and temporary vegetation on undeveloped lots. The common areas, detention pond, and multi-tenant monument signs shall be maintained by the executor of the declaration, the owner of Lot 9.

• Section XIII. Architectural Standards

To maintain standards that promote uniformity in the development while still allowing design flexibility to accommodate future retail uses, the following architectural standards shall govern new, vertical construction in the shopping center.

- All buildings shall have a definitive bottom, middle, and top.
- All lots on Exhibit A that show a building footprint shall conform to the horizontal articulations shown on the building envelopes. All other lots on Exhibit A that do not show building footprints shall adhere to Waxahachie's requirements for horizontal articulation.
- All lots that show elevations on **Exhibit B** shall conform to the vertical articulations shown on the elevations. For all other lots that do not provide an elevation on Exhibit B, no horizontal wall shall extend for a distance greater than three (3) times the height of the wall without changing height by a minimum of ten (10) percent of the wall's height.

The materials and colors in **Exhibit B** have been chosen to ensure architectural compatibility between Phase II buildings. Building materials for buildings not shown on **Exhibit B** shall generally conform to the following standards to ensure design continuity throughout all phases. The following materials and color palettes are intended to a guide for future development that ensures a consistent appearance while still allowing enough flexibility for retail users to adapt their prototypes to. Strict adherence to the exact materials and/or colors is not required, so long as the proposed materials and/or colors provide the same appearance. The compatibility of the proposed building materials for Phase III buildings shall be determined administratively by the Director of Planning at the time of Site Plan submittal.

• Stone

- Eldorado Stacked Stone - Dry Creek

(1u+17)



- **EIFS/Stucco**

- *Primary Colors:*

- Color: Sherwin Williams – Felted Wool (SW 9171)



- Color: Sherwin Williams – Grecian Ivory (SW 7541)



- *Accent Colors:*

- Color: Sherwin Williams – Iron Ore (SW 7069)



(14+17)

- Color: Sherwin Williams – Bunglehouse Blue (SW 0048)



- **Storefront**

- Color: Clear Anodized



- Color: Medium Bronze



- **Brick**

- Color: Similar colors to EIFS & Stucco paint selections

- **Concrete block**

- Split Face CMU (Painted)

- Paint Colors:

- Sherwin Williams – Felted Wool (SW 9171)

(16 + 17)



- Color: Sherwin Williams – Grecian Ivory (SW 7541)



- Color: Sherwin Williams – Iron Ore (SW 7069)



- Color: Sherwin Williams – Purpoise (SW 7047)



- Color: Sherwin Williams – Urban Jungle (SW 9117)

(14+17)



- Integrally Colored CMU
 - Echelon Masonry – Split Face CMU
 - Malibu Sand



- Mission White



- White Limestone



(16 + 17)

- Hillcrest Gray



- Fiber Cement Board

- Nichiha Vintage Wood

- Color: Cedar

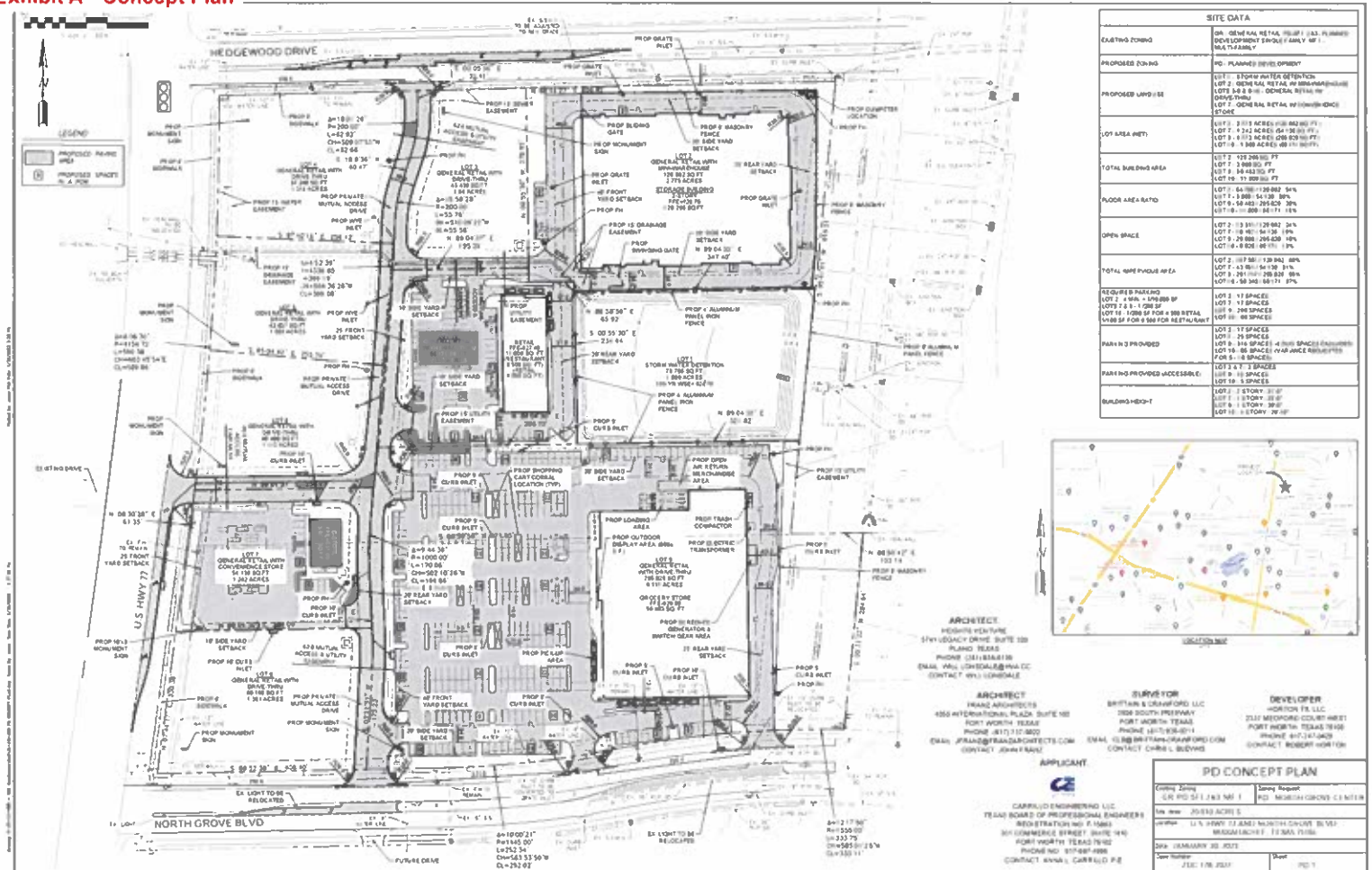


- Nichiha Roughsawn

- Color: Tobacco

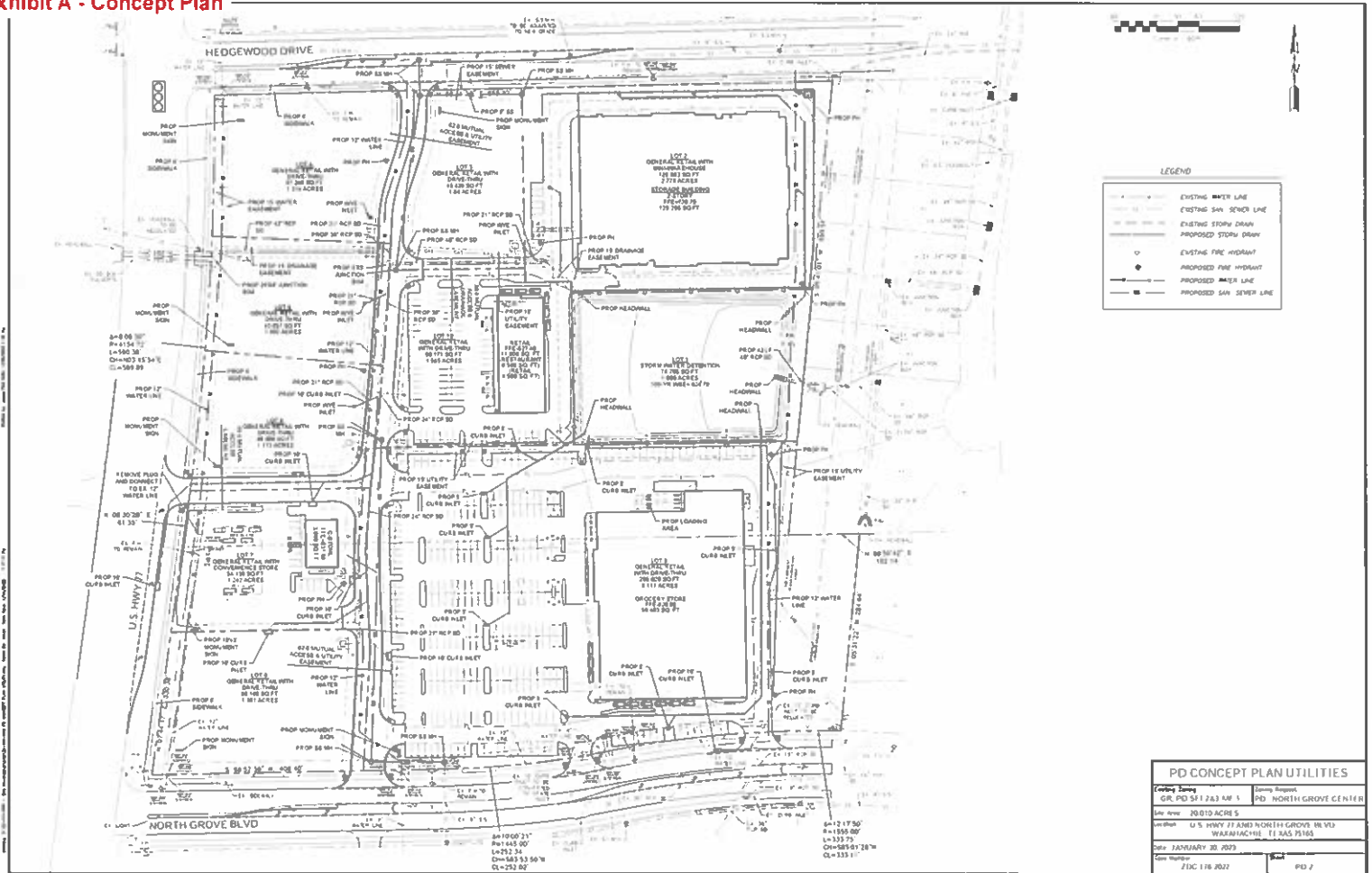


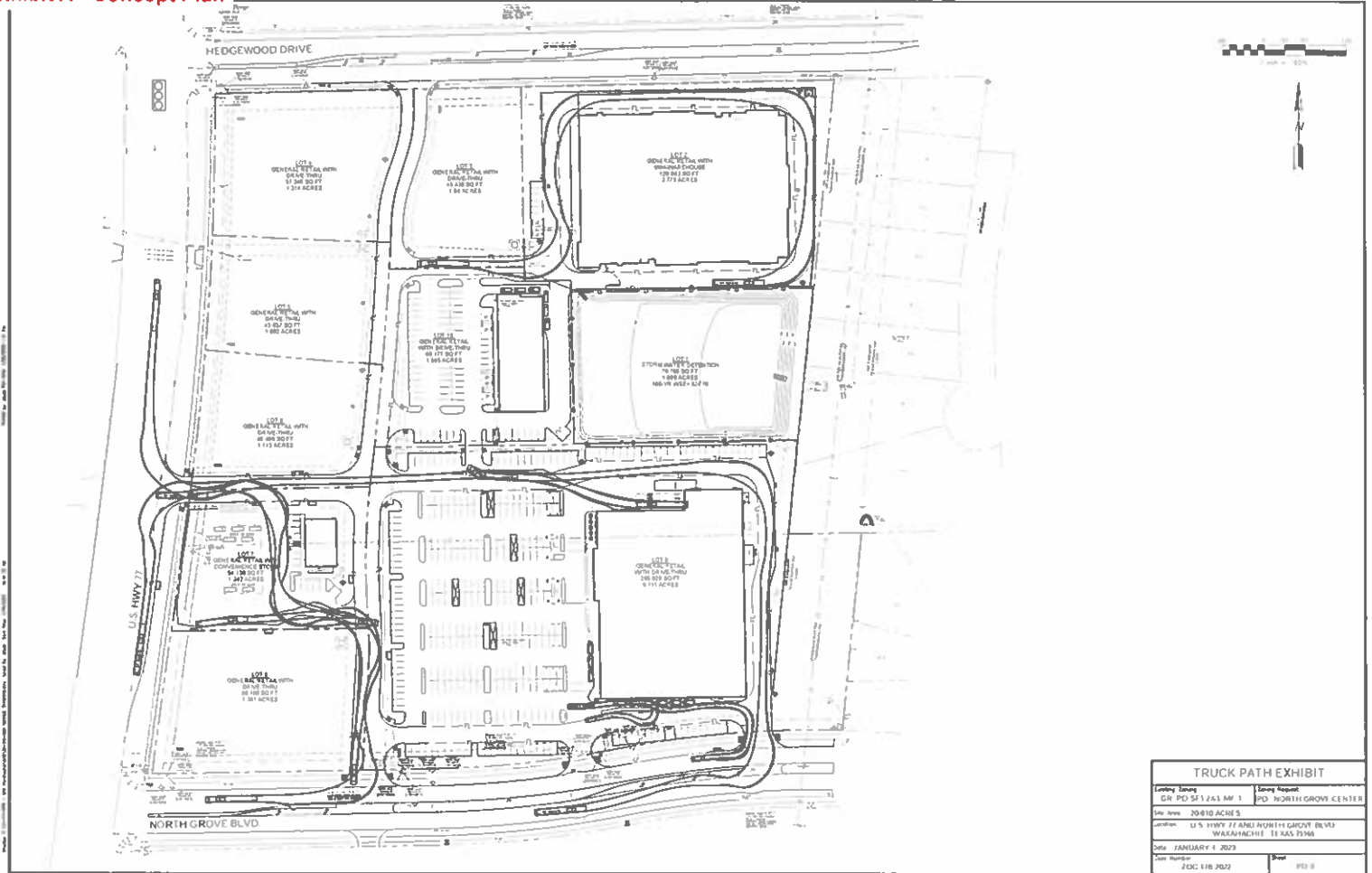
Exhibit A - Concept Plan



(14+17)

Exhibit A - Concept Plan





(16+17)

Exhibit A - Concept Plan



(16 + 17)

Exhibit A - Concept Plan



Exhibit B - Building Elevations

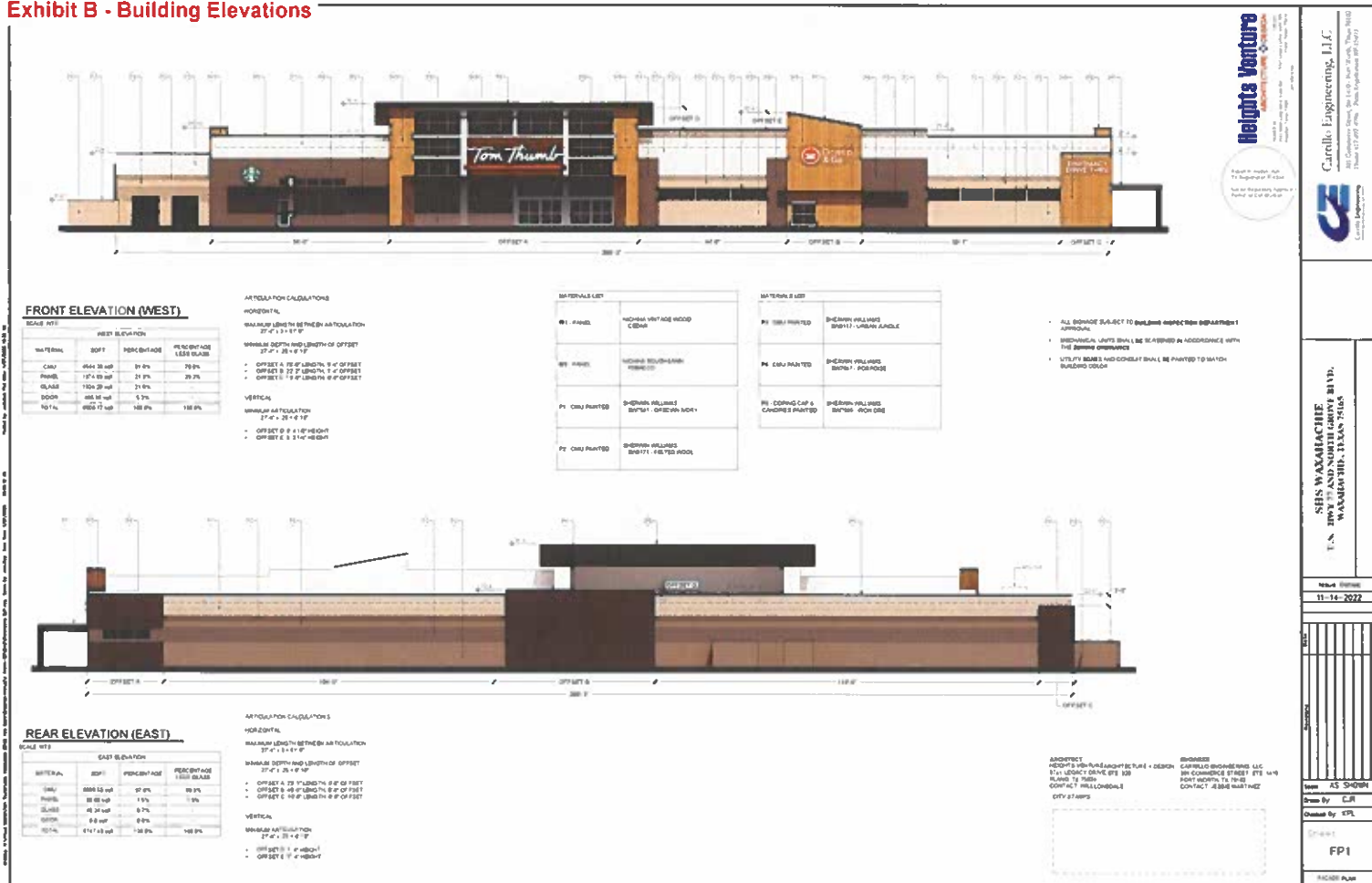
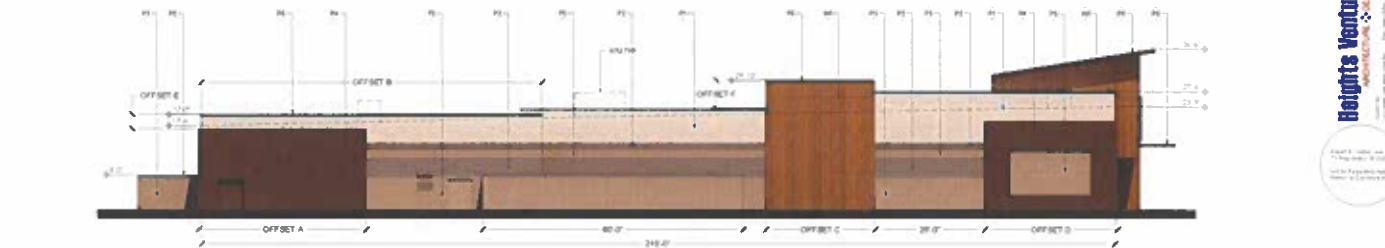


Exhibit B - Building Elevations



RIGHT ELEVATION (NORTH)

NOTES ON THE TABLE			
MATERIAL	WGT	PERCENTAGE	PERCENTAGE LESS LOSS
CAN	1000 00 00	11 1%	75 4%
PAPER	1317 00 00	21 2%	21 2%
GLASS	0 0 0	0 0%	
IRON	100 0 00	1 1%	
TOTAL	1000 00 00	100 0%	100 0%

ARTICLE FOR CALCULATIONS.

HORIZONTAL

27 4' ± 2 × 21' 5"

- OFFICIAL A. B. S. LENGTH, 5' 6" OFFICIAL
- OFFICIAL 6. 70' 5" LENGTH, 20' 0" OFFICIAL

- OFFICE C. 30/5/20
- OFFICE C. 30/5/20

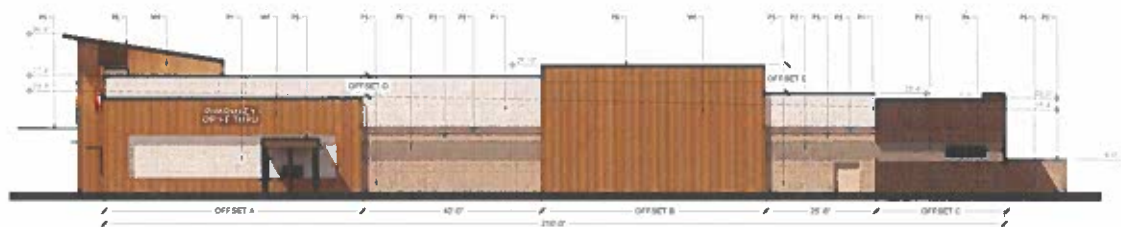
VERIFICAR

- OFFSETS 3-4 = EL
• OFFSETS 5-6 = EL

G6P75R4.5 LIST	
01 PPHB	INCRESS VHTAGE MOOD CENNA
02 PPHB	INCRESS POLY-LENN YOBAGED
P1 CBL PPHB75	SH-CHENN VILLAGE BETHA1 CIGARET ACORY
P2 CBL PPHB75	SH-CHENN VILLAGE BETHA1 PPL125 ACOL

6472RACS LIST	
P3 CAP PRINTED	04/09/98 WILLIAMS BUREAU, LINDA, JANICE
P4 CAP PRINTED	04/09/98 WILLIAMS BUREAU, ROBERT
P5 CAPS CAP 5 LAWYERS PRINTED	04/09/98 WILLIAMS BUREAU, BOWEN

- ALL BIDDERS SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
- MECHANICAL UNITS SHALL BE REDESIGNED TO ACCOMMODATE WITH THE EXISTING STRUCTURE
- UTILITY COVERS AND CONDUIT SHALL BE INSTALLED TO MEET ALL CITY STANDARDS



LEFT ELEVATION (SOUTH)

SOLAR LEADERS			
MANUFACTURER	WATT	PERCENTAGE	PERCENTAGE IN CLASS
CH2	35.35 w	31.0%	15.0%
PERKINS	30.25 w	27.5%	10.7%
CLASS	27.30 w	27%	
DOOR	22.8 w	21%	
DOYAL	21.35 w	18.8%	20.0%

ad hoc từ đơn (single word)

442

MEASURE LENGTH BETWEEN ARTILLARY
27 d = 3.96 ft

- OFF SET = 40' 0" LENGTH, 0' 0" OFFSET
- OFF SET = 57' 4" LENGTH, 0' 0" OFFSET

• **Small Group** 10-15 min

VERTICAL

- $\text{DPH SAT} = 5.0 \text{ g H}_2\text{O/g}$
- $\text{DPH SAT} = 5.0 \text{ g H}_2\text{O/g}$

ARCHITECT
MICHIELS WITH TULLY ARCHITECTURE - DESIGN
5141 LEGACY DRIVE STE 120
PLANO TX 75064
CONTACT MICHELLE LONSDALE
CITY STAFF

OWNER
CARROLL G BRONKHORST LLC
300 CLARKING STREET STE 1410
PORT WORTH TX 76070
CONTACT JESSIE MARTINEZ

Heights Venture

Carlisle Industries, Inc.



C. S. HWY 77 AND NORTH CROOK BLVD.,
WAXAHACHIE, TEXAS 75165

1944 1945

1-14-2077

1111

1111

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

1119

1114

1111

1111

||| ||| ||| ||| |||

1111

07	CA
----	----

by KPL

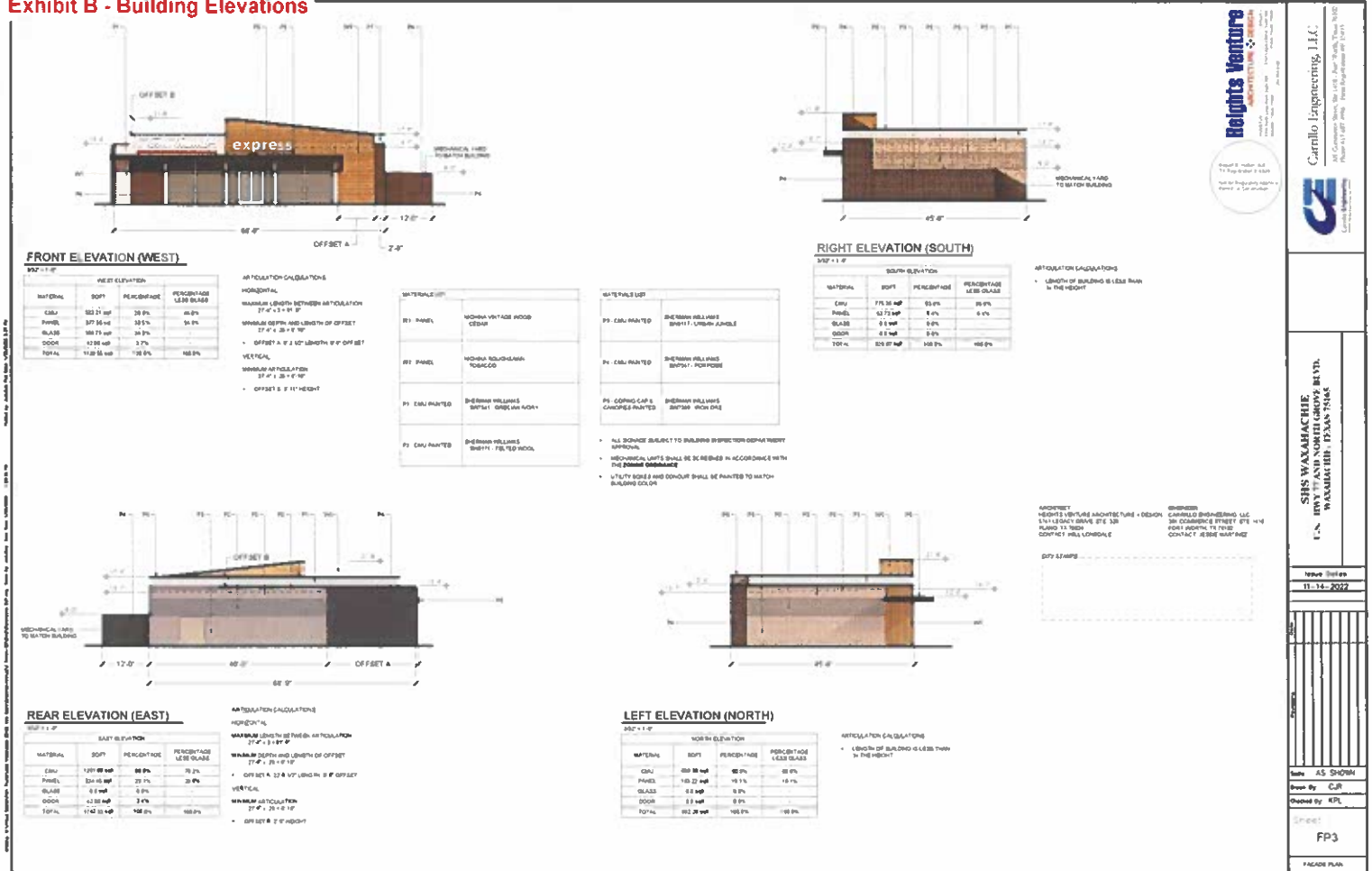
224

FPZ

READING PLAN

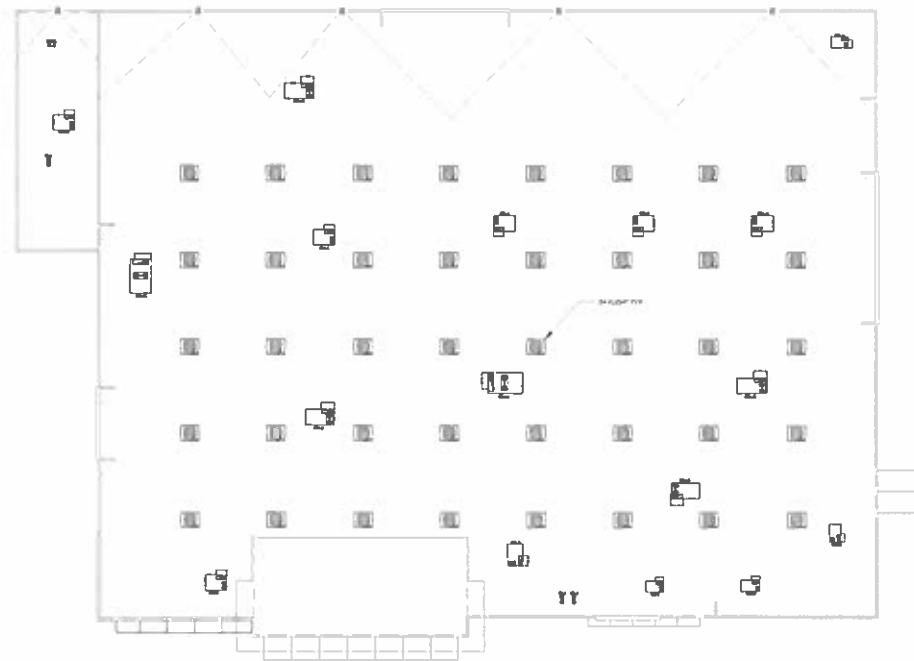
(16+17)

Exhibit B - Building Elevations



(16+17)

Exhibit B - Building Elevations



FOODSTORE ROOF PLAN

Heights Ventures

Carroll Engineering, LLC

Carroll Engineering, LLC
140 Commerce Street, Suite 1000, New York, NY 10014
Phone: 212.312.1234 Fax: 212.312.1235



SRS WAKARACHE
U.S. HWY 77 AND NORTH GARDEN BLVD.
WAKARACHE, TEXAS 75165

Sheet Series
11-14-2022

NO.	DESCRIPTION
1	AS SHOWN
2	CAR
3	FP4

Sheet
FP4

ROOF PLAN

(16+17)

Exhibit B - Building Elevations



(16+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE • DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR
01/30/2023

(16+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE + DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR
11/07/22

(16+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE • DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR
11/07/22

(16+17)

Exhibit B - Building Elevations



(14+17)

Exhibit B - Building Elevations



Heights Venture
ARCHITECTURE + DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR - C STORE
11/09/22

(14+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE • DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR - C STORE
11/09/22

(16+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE • DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR - C STORE
11/09/22

(14+17)

Exhibit B - Building Elevations



Heights Venture
ARCHITECTURE • DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR - C-STORE
11/09/22

(16+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE + DESIGN

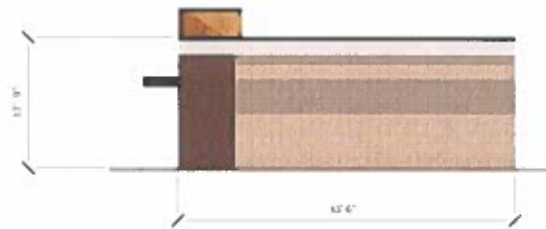
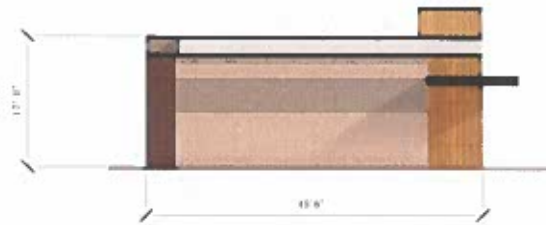
Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR - C STORE
11/09/22

(14+17)

Exhibit B - Building Elevations



Heights Venture

ARCHITECTURE • DESIGN

Not for regulatory approval, permitting, or construction
Robert R. Holton, AIA TX #14938

GROCERY CENTER

WAXAHACHIE, TX
EXTERIOR - C STORE
11/09/22

(16+17)

Exhibit B - Building Elevations



Exhibit B - Building Elevations



6 EXTERIOR ELEVATION WEST

[illegible]

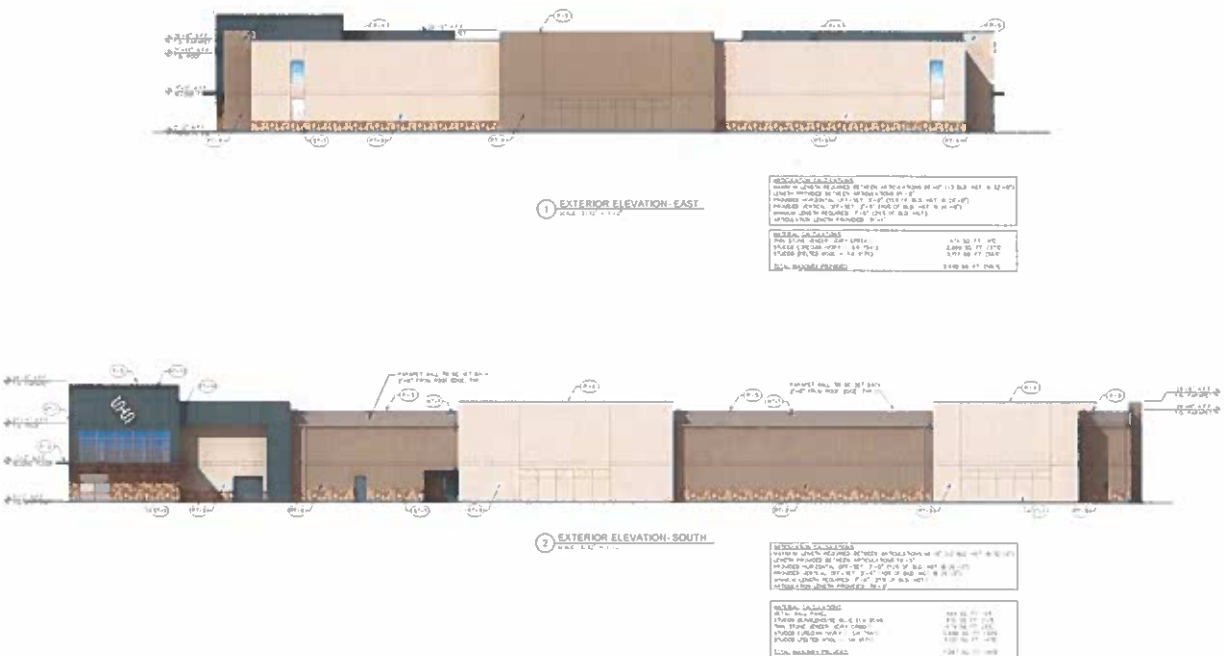
2 EXTERIOR ELEVATION NORTH

[illegible]

EXTERIOR FINISH SCHEDULE		
1	1000	1000
2	1000	1000
3	1000	1000
4	1000	1000
5	1000	1000
6	1000	1000
7	1000	1000
8	1000	1000
9	1000	1000
10	1000	1000
11	1000	1000
12	1000	1000
13	1000	1000
14	1000	1000
15	1000	1000
16	1000	1000
17	1000	1000
18	1000	1000
19	1000	1000
20	1000	1000
21	1000	1000
22	1000	1000
23	1000	1000
24	1000	1000
25	1000	1000
26	1000	1000
27	1000	1000
28	1000	1000
29	1000	1000
30	1000	1000
31	1000	1000
32	1000	1000
33	1000	1000
34	1000	1000
35	1000	1000
36	1000	1000
37	1000	1000
38	1000	1000
39	1000	1000
40	1000	1000
41	1000	1000
42	1000	1000
43	1000	1000
44	1000	1000
45	1000	1000
46	1000	1000
47	1000	1000
48	1000	1000
49	1000	1000
50	1000	1000
51	1000	1000
52	1000	1000
53	1000	1000
54	1000	1000
55	1000	1000
56	1000	1000
57	1000	1000
58	1000	1000
59	1000	1000
60	1000	1000
61	1000	1000
62	1000	1000
63	1000	1000
64	1000	1000
65	1000	1000
66	1000	1000
67	1000	1000
68	1000	1000
69	1000	1000
70	1000	1000
71	1000	1000
72	1000	1000
73	1000	1000
74	1000	1000
75	1000	1000
76	1000	1000
77	1000	1000
78	1000	1000
79	1000	1000
80	1000	1000
81	1000	1000
82	1000	1000
83	1000	1000
84	1000	1000
85	1000	1000
86	1000	1000
87	1000	1000
88	1000	1000
89	1000	1000
90	1000	1000
91	1000	1000
92	1000	1000
93	1000	1000
94	1000	1000
95	1000	1000
96	1000	1000
97	1000	1000
98	1000	1000
99	1000	1000
100	1000	1000

(16+17)

Exhibit B - Building Elevations



1 EXTERIOR ELEVATION - EAST

FINISH SCHEDULE

FINISH	DESCRIPTION	QTY
1	BRICK	1,100
2	CONCRETE	1,100
3	GLASS	1,100
4	WOOD	1,100

2 EXTERIOR ELEVATION - SOUTH

FINISH SCHEDULE

FINISH	DESCRIPTION	QTY
1	BRICK	1,100
2	CONCRETE	1,100
3	GLASS	1,100
4	WOOD	1,100

EXTERIOR FINISH SCHEDULE

FINISH	DESCRIPTION	QTY
1	BRICK	1,100
2	CONCRETE	1,100
3	GLASS	1,100
4	WOOD	1,100

Exhibit C - Landscape Plan



(16+17)

Exhibit C - Landscape Plan

PLANT SCHEDULE STORAGE BUILDING									
TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	08	8	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	4" CAL	POT			SINGLE TRUNK FULL AND MATCHED	
	UPD	22	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	4" CAL	POT	10-12	8-10	SINGLE TRUNK FULL AND MATCHED	
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	44	NATCHES CRANE MYRTLE LARGE TREE BIA INDICA X FAURIE NATCHES	2" CAL	POT	8-10	6-8		
	08	47	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	3 GAL	POT	24-30"	24"	FULL MATCHED 30" O.C.	
	UPD	21	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	3 GAL	POT	18-24"	12-18"	FULL MATCHED 30" O.C.	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"		
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"	FULL MATCHED TRIANGULAR SPACED 12" O.C.	
POPPLES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	200	BERKSHIRE GRASS-BOD BRADSHAW CYNODON DACTYLON X 115 HYBRID					SOLID BOD STAGGERED JOINTS THREE AND GREEN TWO GAIRS BETWEEN BOD PIECES	
PLANT SCHEDULE RETAIL									
TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	08	4	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	4" CAL	POT			SINGLE TRUNK FULL AND MATCHED	
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	7	CHINESE PISTACHE SINGLE TRUNK PISTACHIA CHINESE	4" CAL	POT	14-18	6-8	SINGLE TRUNK FULL AND MATCHED WITH BRANCH HEIGHT 7' 0"	
	UPD	15	NEW LOT RED OAK CERES X NEW LOT	4" CAL	POT			SINGLE TRUNK FULL AND MATCHED	
	UPD	7	NATCHES CRANE MYRTLE LARGE TREE BIA INDICA X FAURIE NATCHES	2" CAL	POT	8-10	6-8		
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	10	ROSE EXETER ABELLA ABELLA X ROSE EXETER	3 GAL	POT	24-30"	24"	FULL MATCHED 30" O.C.	
	UPD	20	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	3 GAL	POT	18-24"	12-18"	FULL MATCHED 30" O.C.	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"		
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"	FULL MATCHED TRIANGULAR SPACED 12" O.C.	
POPPLES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	200	BERKSHIRE GRASS-BOD BRADSHAW CYNODON DACTYLON X 115 HYBRID					SOLID BOD STAGGERED JOINTS THREE AND GREEN TWO GAIRS BETWEEN BOD PIECES	
PLANT SCHEDULE GROCERY STORE LOT #9									
TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	34	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	4" CAL	POT	10-12	8-10	SINGLE TRUNK FULL AND MATCHED	
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	11	CHINESE PISTACHE SINGLE TRUNK PISTACHIA CHINESE	4" CAL	POT	14-18	6-8	SINGLE TRUNK FULL AND MATCHED WITH BRANCH HEIGHT 7' 0"	
	UPD	4	NEW LOT RED OAK CERES X NEW LOT	4" CAL	POT			SINGLE TRUNK FULL AND MATCHED	
	UPD	42	NATCHES CRANE MYRTLE LARGE TREE BIA INDICA X FAURIE NATCHES	2" CAL	POT	8-10	6-8		
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	8	ROSE EXETER ABELLA ABELLA X ROSE EXETER	3 GAL	POT	24-30"	24"	FULL MATCHED 30" O.C.	
	UPD	100	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	3 GAL	POT	24-30"	24"	FULL MATCHED 30" O.C.	
	UPD	150	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	3 GAL	POT	18-24"	12-18"	FULL MATCHED 30" O.C.	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	200	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"		
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"	FULL MATCHED TRIANGULAR SPACED 12" O.C.	
POPPLES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	200	BERKSHIRE GRASS-BOD BRADSHAW CYNODON DACTYLON X 115 HYBRID					SOLID BOD STAGGERED JOINTS THREE AND GREEN TWO GAIRS BETWEEN BOD PIECES	
PLANT SCHEDULE C-STORE LOT #7									
TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	8	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	4" CAL	POT	10-12	8-10	SINGLE TRUNK FULL AND MATCHED	
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	6	NATCHES CRANE MYRTLE LARGE TREE BIA INDICA X FAURIE NATCHES	2" CAL	POT	8-10	6-8		
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS	
	UPD	10	ROSE EXETER ABELLA ABELLA X ROSE EXETER	3 GAL	POT	24-30"	24"	FULL MATCHED 30" O.C.	
	UPD	20	SHRUBBARD KEEB OAK QUERCUS SHRUBBARD	3 GAL	POT	18-24"	12-18"	FULL MATCHED 30" O.C.	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"		
	UPD	100	NEW GOLD LANTANA LANTANA X NEW GOLD	1 GAL	POT		12" x 12"	FULL MATCHED TRIANGULAR SPACED 12" O.C.	
POPPLES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER				
	UPD	200	BERKSHIRE GRASS-BOD BRADSHAW CYNODON DACTYLON X 115 HYBRID					SOLID BOD STAGGERED JOINTS THREE AND GREEN TWO GAIRS BETWEEN BOD PIECES	

Carroll Engineering, LLC
10000 Carroll Road, Suite 100
Houston, Texas 77055
Phone: 281-461-1111
Fax: 281-461-1112



Professional Engineer
No. 10000
State of Texas
Exp. 12/31/2024

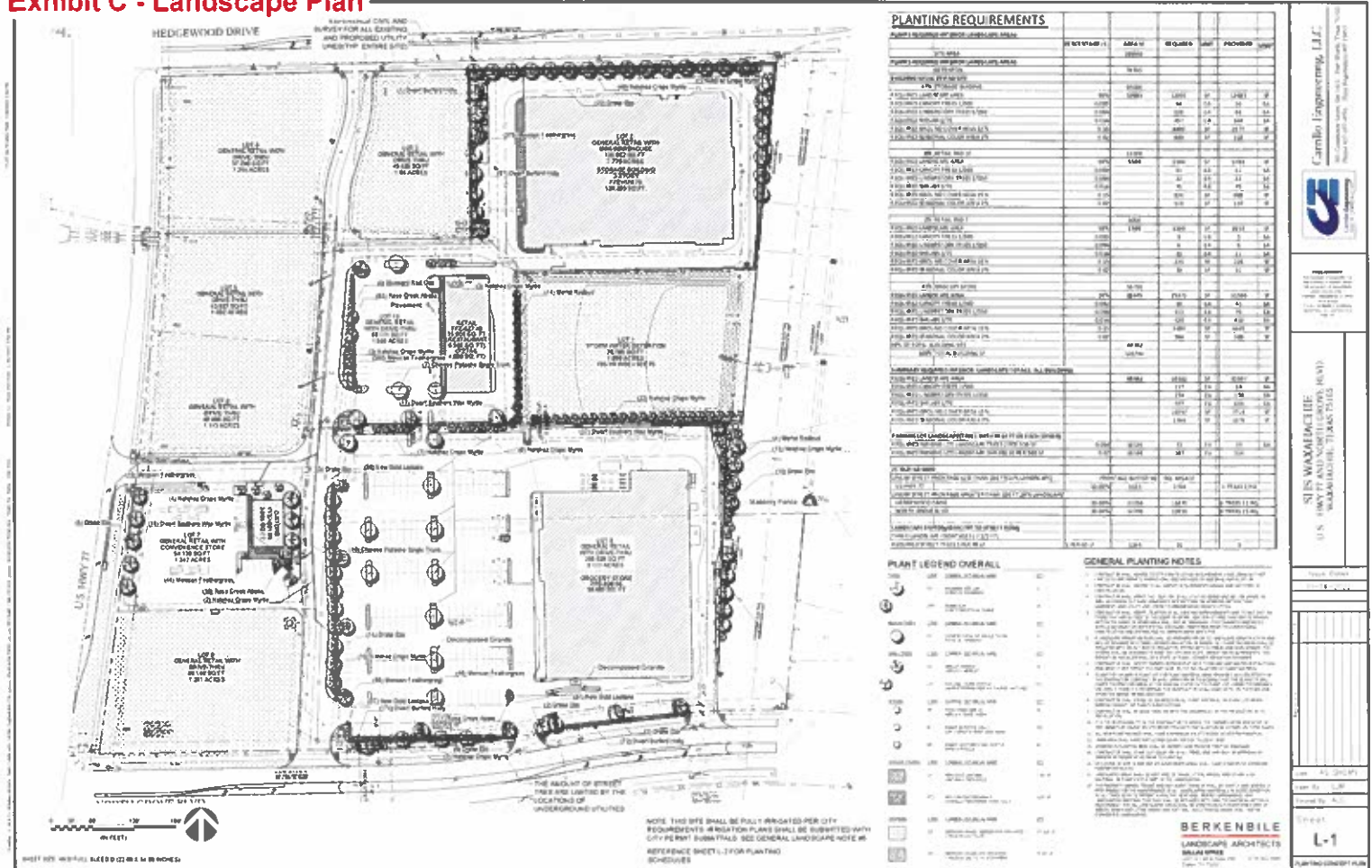
SHS WAXALACHIE
10000 NORTH GROVE BLVD
WAXALACHIE, TEXAS 75165

Scale: 1" = 10'-0"
North Arrow
Date: 10/10/2024
Drawn By: JLC
Checked By: JLC

Sheet
L-2 C
PLANTING CONCEPT PLAN

BERKENBIL
LANDSCAPE ARCHITECTS
2000 W. 10th Street, Suite 100
Dallas, Texas 75201
Phone: 214-761-1111
Fax: 214-761-1112

Exhibit C - Landscape Plan



(16+17)

Exhibit C - Landscape Plan

PLANT SCHEDULE STORAGE BUILDING

TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
01	8	BRUNSWICK RED OAK QUERCUS BRUNSWICKA	4" CAL	POT				SINGLE TRUNK FULL AND MATCHED
02	22	ORANGE ELM ULMUS PARVIFOLIA ORANGE	4" CAL	POT	10-12	8-10		SINGLE TRUNK FULL AND MATCHED
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
03	40	NATCHES CRANE WHITE LARGE FLOREDA INDICA 5 FAURER NATCHES	2" CAL	POT	6-10	6-8		
04	31	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" CAL	POT	24-30"	24"		FULL MATCHED 3P O C
05	247	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" CAL	POT	12-18"	12-18"		FULL MATCHED 3P O C
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
06	148	NEW GOLD LANTANA LANTANA X NEON GOLD	1" GAL	POT			12" x 6"	
07	189	MEXICAN FEATHER GRASS HABERELLA TENUESCENS POLY TALL	1" GAL	POT			12" x 6"	FULL MATCHED TRIANGULAR SPACED 12" O C
POPPERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
08	2205 SF	BERKENSIA GRASS AND IRRIGATED CYNODON DACTYLON 419 HYBRID						SOLID SOB STAGGERED JOINTS THICK AND GREEN NO GAPS BETWEEN SOB PIECES

PLANT SCHEDULE RETAIL

TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
01	4	BRUNSWICK RED OAK QUERCUS BRUNSWICKA	4" CAL	POT				SINGLE TRUNK FULL AND MATCHED
MEDIUM TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
02	7	CHARLES PRITCHARD SINGLE TRUNK PETALAE CHIRIENSE	4" CAL	POT	14-16	6-8		SINGLE TRUNK FULL AND MATCHED WITH BRANCH HEIGHT 7-8"
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
03	15	WELSH RED OAK QUERCUS ROSEA	4" CAL	POT				SINGLE TRUNK FULL AND MATCHED
04	1	NATCHES CRANE WHITE LARGE FLOREDA INDICA 5 FAURER NATCHES	2" CAL	POT	8-10	6-8		
05	48	ROSE CRACK ABELIA ABELIA X ROSEA CRACK	3" GAL	POT	24-30"	24"		FULL MATCHED 3P O C
06	29	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" GAL	POT	12-18"	12-18"		FULL MATCHED 3P O C
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
07	64	NEW GOLD LANTANA LANTANA X NEON GOLD	1" GAL	POT			12" x 6"	
08	189	MEXICAN FEATHER GRASS HABERELLA TENUESCENS POLY TALL	1" GAL	POT			12" x 6"	FULL MATCHED TRIANGULAR SPACED 12" O C
POPPERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
09	2220 SF	BERKENSIA GRASS AND IRRIGATED CYNODON DACTYLON 419 HYBRID						SOLID SOB STAGGERED JOINTS THICK AND GREEN NO GAPS BETWEEN SOB PIECES

PLANT SCHEDULE GROCERY STORE LOT #9

TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
01	34	ORANGE ELM ULMUS PARVIFOLIA ORANGE	4" CAL	POT	10-12	8-10		SINGLE TRUNK FULL AND MATCHED
MEDIUM TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
02	11	CHARLES PRITCHARD SINGLE TRUNK PETALAE CHIRIENSE	4" CAL	POT	14-16	6-8		SINGLE TRUNK FULL AND MATCHED WITH BRANCH HEIGHT 7-8"
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
03	4	WELSH RED OAK QUERCUS ROSEA	4" CAL	POT				SINGLE TRUNK FULL AND MATCHED
04	40	NATCHES CRANE WHITE LARGE FLOREDA INDICA 5 FAURER NATCHES	2" CAL	POT	8-10	6-8		
05	31	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" GAL	POT	24-30"	24"		FULL MATCHED 3P O C
06	189	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" GAL	POT	12-18"	12-18"		FULL MATCHED 3P O C
07	136	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" GAL	POT	12-18"	12-18"		FULL MATCHED 3P O C
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
08	203	NEW GOLD LANTANA LANTANA X NEON GOLD	1" GAL	POT			12" x 6"	
09	189	MEXICAN FEATHER GRASS HABERELLA TENUESCENS POLY TALL	1" GAL	POT			12" x 6"	FULL MATCHED TRIANGULAR SPACED 12" O C
POPPERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
10	2220 SF	BERKENSIA GRASS AND IRRIGATED CYNODON DACTYLON 419 HYBRID						SOLID SOB STAGGERED JOINTS THICK AND GREEN NO GAPS BETWEEN SOB PIECES

PLANT SCHEDULE C-STORE LOT #7

TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
01	8	ORANGE ELM ULMUS PARVIFOLIA ORANGE	4" CAL	POT	10-12	8-10		SINGLE TRUNK FULL AND MATCHED
SMALL TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
02	1	NATCHES CRANE WHITE LARGE FLOREDA INDICA 5 FAURER NATCHES	2" CAL	POT	8-10	6-8		
03	48	ROSE CRACK ABELIA ABELIA X ROSEA CRACK	3" GAL	POT	24-30"	24"		FULL MATCHED 3P O C
04	17	SHAW BUTTORD HOLLY ILEX CORNUTA BUTTORDIANA	3" GAL	POT	12-18"	12-18"		FULL MATCHED 3P O C
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
05	15	NEW GOLD LANTANA LANTANA X NEON GOLD	1" GAL	POT			12" x 6"	
06	189	MEXICAN FEATHER GRASS HABERELLA TENUESCENS POLY TALL	1" GAL	POT			12" x 6"	FULL MATCHED TRIANGULAR SPACED 12" O C
POPPERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER			
11	2220 SF	BERKENSIA GRASS AND IRRIGATED CYNODON DACTYLON 419 HYBRID						SOLID SOB STAGGERED JOINTS THICK AND GREEN NO GAPS BETWEEN SOB PIECES

BERKENBIL

LANDSCAPE ARCHITECTS

2000 N. W. 10th Ave. Ft. Lauderdale, FL 33304

Phone: 754.571.1111 Fax: 754.571.1112

Carroll Engineering, LLC
10000 Carrollton Road, Carrollton, TX 75006
Phone: 972.467.0000 Fax: 972.467.0001

SHS WAXMACTIDE
WAY 17 AND NORTH GROVE
WAXMACTIDE, TEXAS 75105

Drawn By: L.W.
Checked By: R.C.

Sheet

L-2

PLANTING CONCEPT PLAN

(14+17)

SALES REPRESENTATIVE: Orlando Batista | PROJECT MANAGER: Rebecca Williams

Exhibit D - Signage Plan

SIGN PACKAGE PROPOSAL

WAXAHACHIE, TX

Tom Thumb

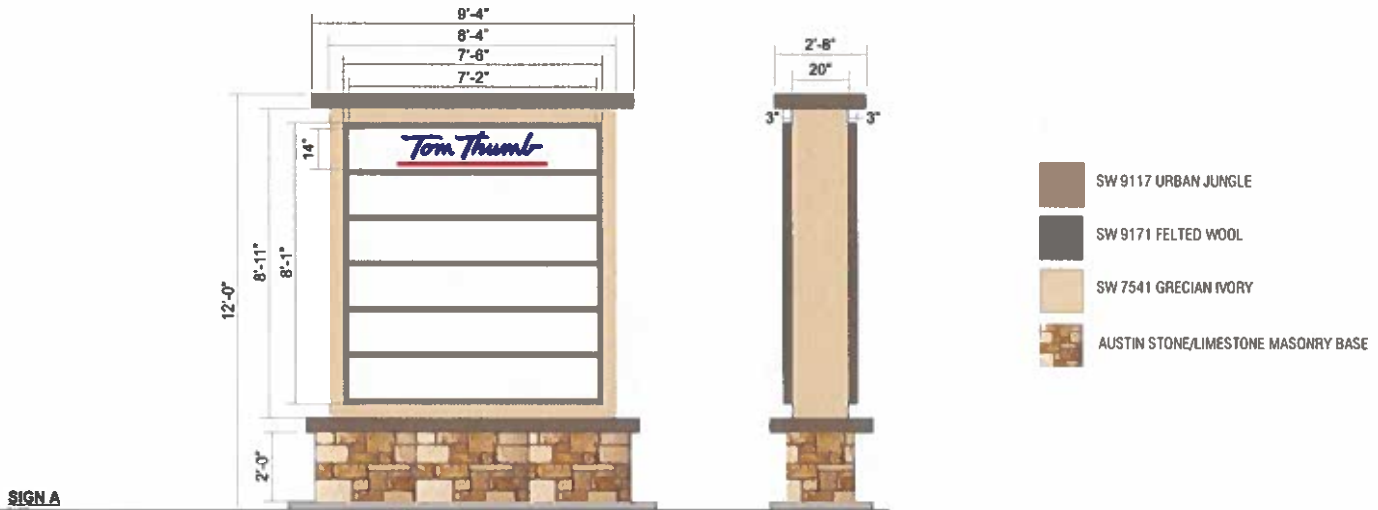
1800 Old Sycamore Ave. Huntsville, TX 77340 | Office: 1936.435.0988 | Toll Free 1.855.661.7446 | Fax: 1.936.435.1113 | www.ExtremeSignsUSA.com



(16+17)

SIGN A - LOT 3 & LOT 6 - QTY. 2, D/F LED ILLUM. MULTI-TENANT PLYON SIGN

Exhibit D - Signage Plan



SCOPE OF WORK:

- MANUFACTURE & INSTALL NEW D/F LED ILLUM. MULTI-TENANT PYLON

- OVERALL HEIGHT: 12'-0"
- OVERALL WIDTH: 9'-4"
- TOTAL SQ. FT.: 112 ft²

CALL OUTS

- 1 .125 ALUM.
- 2 WHITE ACRYLIC
- 3 X
- 4 X

COLOR SCHEDULE

- A ☐ X
- B ☐ X
- C ☐ X
- D ☐ X

JOB #: 221247-05

CLIENT:	Horton TX Developments - Waxahachie SUP CONCEPT	11/14/22	AR	REVISION 3	11/21/22	AR
SALES REP:	Orlando B.	REVISION 1		REVISION 4		
ADDRESS:	Waxahachie SUP	REVISION 2	11/16/22	AR	REVISION 5	1/27/23

CLAUSE: BY APPROVING THIS WORK YOU ARE APPROVING ALL COLORS, SIZES AND SPELLING OF PROPOSED. IF ERRORS ARE FOUND AFTER APPROVAL IS RECEIVED AND PRODUCT HAS STARTED YOU THE CUSTOMER ARE RESPONSIBLE FOR ALL ADDITIONAL FEES

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

APPROVAL SIGNATURE

DATE

PG 2 OF 6

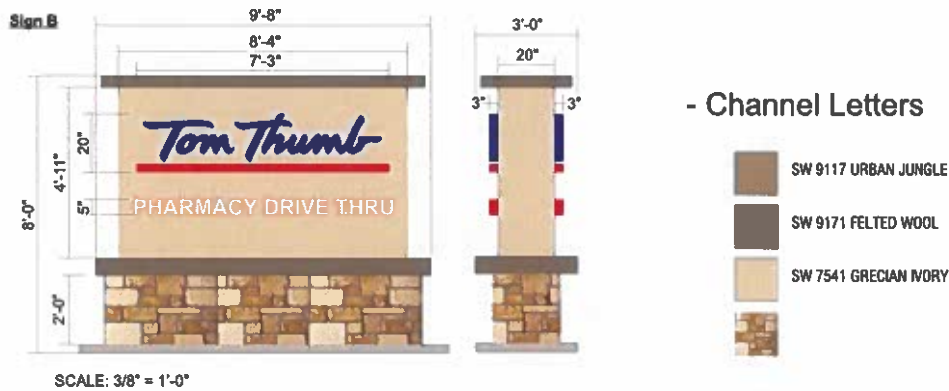
1800 Old Sycamore Ave
Huntsville, TX 77343
Office: 1936-435-0988
Toll Free: 1-855-661-7445
Fax: 1936-435-1113
www.ExtremeSignsUSA.com



(16+17)

SIGN B - LOT 9- QTY. 3, D/F SINGLE TENANT MONUMENT SIGN W/LED ILLUM. CHANNEL LETTERS

Exhibit D - Signage Plan



SCOPE OF WORK:
- MANUFACTURE & INSTALL NEW D/F MONUMENT
WITH LED ILLUM. CHANNEL LETTERS

- OVERALL HEIGHT: 8'-0"
- OVERALL WIDTH: 9'-8"
- TOTAL SQ. FT.: 77 ft²

CALL OUTS

- 1 .125 ALUM.
- 2 ACRYLIC
- 3 X
- 4 X

COLOR SCHEDULE

- A BLUE (COLOR TBD)
- B RED (COLOR TBD)
- C WHITE
- D X

JOB #: 221247-05

CLIENT:	Horton TX Developments - Waxahachie SUP	CONCEPT:	11/14/22	AR	REVISION 3	11/21/22	AR
SALES REP:	Orlando B.	REVISION 1			REVISION 4	12/6/22	AR
ADDRESS:	Waxahachie SUP	REVISION 2	11/16/22	AR	REVISION 5	1/27/23	AR

APPROVAL SIGNATURE

DATE

1800 Old Sycamore Ave
Huntsville TX 77340
Office: 1936-435-0988
Toll Free: 1-855-661-7415
Fax: 1936-435-1113
www.ExtremeSignsUSA.com



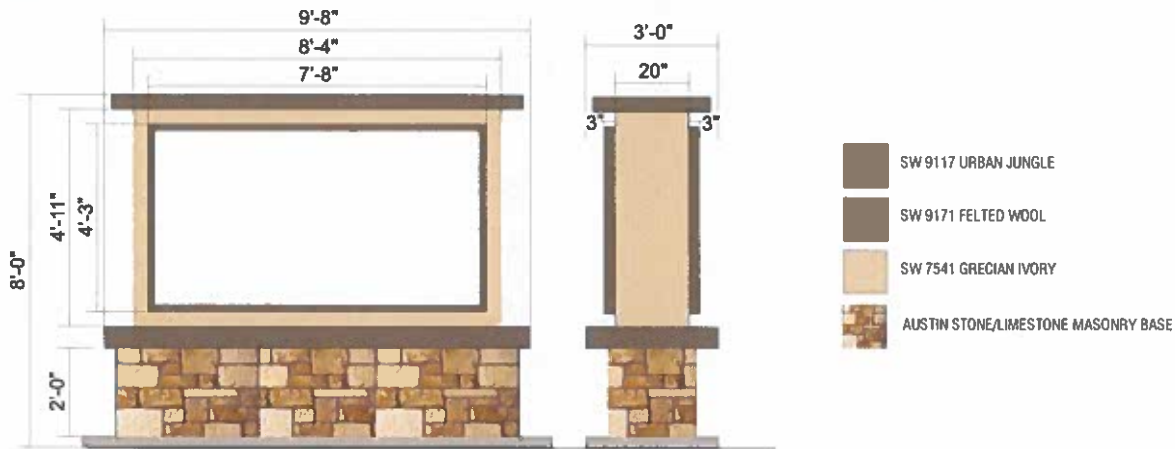
PG 3 OF 6

CLAUSE: BY APPROVING THIS ARTWORK YOU ARE APPROVING ALL COLORS, SIZES AND SPELLING OF PROPOSED IF ERRORS ARE FOUND
AFTER APPROVAL IS RECEIVED AND PRODUCTION HAS STARTED, YOU THE CUSTOMER ARE RESPONSIBLE FOR ALL ADDITIONAL FEES
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

(14+17)

SIGN C - LOTS 4, 5 AND 8 - QTY. 3, D/F SINGLE TENANT MONUMENT SIGN W/LED ILLUM. S/F CABINET

Exhibit D - Signage Plan



SCOPE OF WORK:
- MANUFACTURE & INSTALL NEW D/F MONUMENT
WITH S/F LED ILLUM. CABINET
- OVERALL HEIGHT: 8'-0"
- OVERALL WIDTH: 9'-8"
- TOTAL SQ. FT.: 77 ft²

CALL OUTS

- 1 .125 ALUM.
- 2 WHITE ACRYLIC
- 3 X
- 4 X

COLOR SCHEDULE

- A ☐ X
- B ☐ X
- C ☐ X
- D ☐ X

JOB #: 221247-05

PG 4 OF 6

CLIENT:	Horton TX Developments - Waxahachie SUP	CONCEPT:	11/14/22	AR	REVISION 3	11/21/22	AR
SALES REP:	Orlando B.	REVISION 1			REVISION 4	12/6/22	AR
ADDRESS:	Waxahachie SUP	REVISION 2	11/16/22	AR	REVISION 5	1/27/23	AR

APPROVAL SIGNATURE

DATE

CLAUDE BY APPROVING THIS SIGNAGE, YOU ARE APPROVING ALL COLORS, SIZES AND SPELLING OF PROPOSED. IF ERRORS ARE FOUND AFTER APPROVAL IS RECEIVED AND PRODUCTION HAS STARTED, YOU THE CUSTOMER ARE RESPONSIBLE FOR ALL ADDITIONAL FEES.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

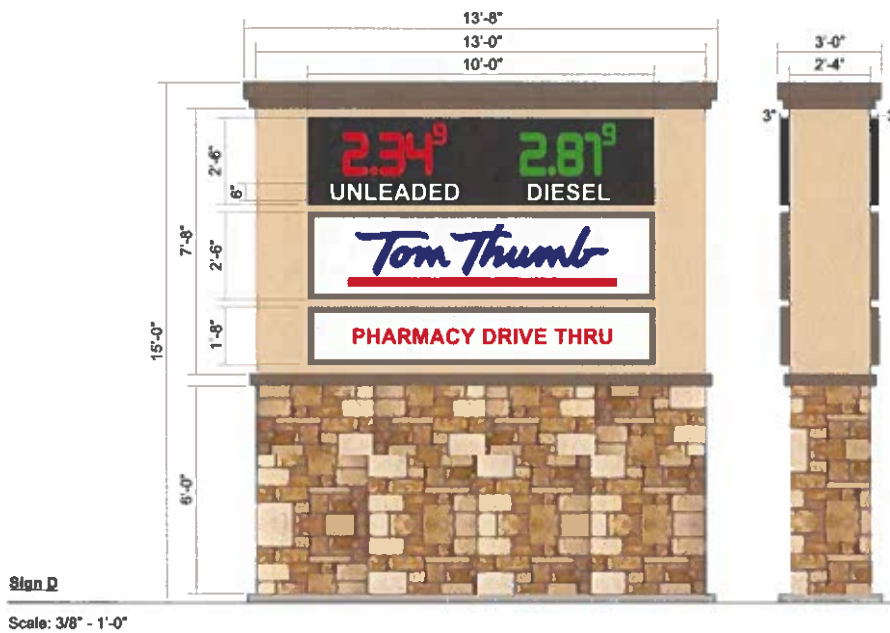
1800 Old Sycamore Ave
Huntsville TX 77340
Office: 1936-435-0988
Toll Free: 1-855-661-7446
Fax: 1-936-435-1113
www.ExtremeSignsUSA.com



(16+17)

SIGN D - LOT 7 - QTY. 1, D/F LED ILLUM. MONUMENT & FUEL PRICER

Exhibit D - Signage Plan



JOB #: 221247-05

CLIENT:	Horton TX Developments - Waxahachie SUP CONCEPT.	11/14/22	AR	REVISION 3	11/21/22	AR	
SALES REP:	Orlando B.	REVISION 1		REVISION 4	12/6/22	AR	
ADDRESS:	Waxahachie SUP	REVISION 2	11/16/22	AR	REVISION 5	1/27/23	AR

CLAUSE: BY APPROVING THIS ART A OR, YOU ARE APPROVING ALL COLORS, SIZES AND SPELLING OF PROPOSED. IF ERRORS ARE FOUND AFTER APPROVAL IS RECEIVED AND PRODUCTION HAS STARTED, YOU THE CUSTOMER ARE RESPONSIBLE FOR ALL ADDITIONAL FEES.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 900 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

APPROVAL SIGNATURE

DATE

1800 Old Sycamore Ave
Huntsville, TX 77340
Office: 1936 435 0988
Toll Free: 1 855 661 7446
Fax: 1936 435 1113
www.ExtremeSignsUSA.com



PG 5 OF 6

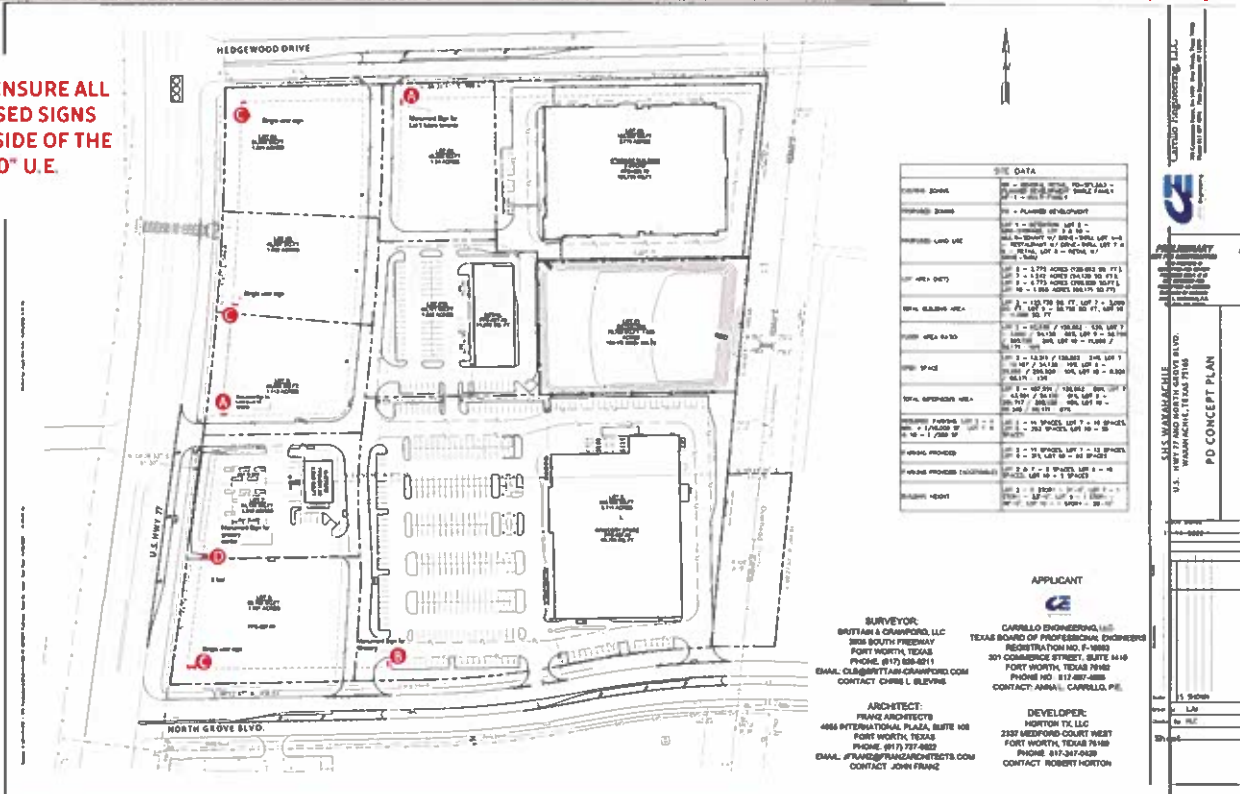


(16+17)

SITE MAP

Exhibit D - Signage Plan

PLEASE ENSURE ALL
PROPOSED SIGNS
ARE OUTSIDE OF THE
15'-0" U.E.



JOB #: 221247-05

CLIENT: Horton TX Developments - Waxahachie SUP CONCEPT: 11/14/22 AR REVISION 3: 11/21/22 AR
SALES REP: Orlando B. REVISION 1: 11/16/22 AR REVISION 4: 12/6/22 AR
ADDRESS: Waxahachie SUP REVISION 2: 11/16/22 AR REVISION 5: 1/27/23 AR

CLAUSE BY APPROVING THIS WORK YOU ARE APPROVING ALL COLORS, SIZES AND SPELLING OF PROPOSED IF ERRORS ARE FOUND AFTER APPROVAL IS RECEIVED AND PRODUCTION HAS STARTED YOU THE CUSTOMER ARE RESPONSIBLE FOR ALL ADDITIONAL FEES

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

APPROVAL SIGNATURE

DATE

1800 OLA SCYMORE AVE
HUNTSVILLE, TX 77340
Office: 1936-435-0988
Toll Free: 1855-661-7445
Fax: 1936-435-1113
www.ExtremeSignsUSA.com

