

A G E N D A

The Waxahachie Planning & Zoning Commission will hold a special meeting on ***Friday, February 24, 2023 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
David Hudgins
Erik Test
Ron Ansell

1. Call to Order
2. Invocation
3. ***Public Comments:*** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.
4. ***Convene*** into Executive Session for consultation with attorney regarding pending or contemplated litigation as permitted under Section 551.071, Texas Government Code
5. ***Reconvene*** and take any necessary action
6. ***Consider*** a request by Christopher Hernandez, Kimley-Horn & Associates, Inc., for a Plat of Haven Ranch Phase 1, 172 Residential Lots & 13 Open Space HOA X Lots, being 190.886 acres, located west of the intersection of Harrington Road and Hunter Pass, situated in the William Stewart Survey, Abstract 956, the James Young Survey, abstract 1199, and the Norman H. Whittenberg Survey, Abstract 1128, an addition to the City of Waxahachie and the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 180774, 183003, 190570, 192730, 236611, 236612, 289474, 289475, 289476, & 289477) – Owner: GRBK EDGEWOOD LLC (SUB-126-2022) Staff: Zack King
7. Adjourn

The P&Z reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4006 or (TDD) 1-800-RELAY TX.

Notice of Potential Quorum

***One or more members of the Waxahachie City Council may be present at this meeting.
No action will be taken by the City Council at this meeting.***

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Planning & Zoning Department

Plat Staff Report

Case: SUB-126-2022



MEETING DATE(S)

Planning & Zoning Commission:

February 24, 2023

CAPTION

Consider the request by Christopher Hernandez, Kimley-Horn & Associates, Inc., for a Plat of Haven Ranch Phase 1, 172 Residential Lots & 13 Open Space HOA X Lots, being 190.886 acres, located west of the intersection of Harrington Road and Hunter Pass, situated in the William Stewart Survey, Abstract 956, the James Young Survey, abstract 1199, and the Norman H. Whittenberg Survey, Abstract 1128, an addition to the City of Waxahachie and the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 183003, 192730, 236610, 236611, 236612, 289474, 289475, 289476, & 289477) – Owner: GRBK EDGEWOOD LLC (SUB-126-2022) Staff: Zack King.

RECOMMENDED MOTION

"I move to disapprove SUB-126-2022, a Plat of Haven Ranch Phase 1, with the conditions of the staff report."

CASE HISTORY

The applicant originally provided a plat submittal that the Planning & Zoning Commission heard at the October 25, 2022, meeting at the applicant's request. The commission voted 5-0 to disapprove the proposed plat with conditions. Following the aforementioned disapproval, on Friday, February 10, 2023, the applicant provided a formal response and plat resubmittal to staff. This resubmittal was provided to address the conditions of disapproval that were identified by the Planning & Zoning Commission on October 25, 2022.

The review of the applicant's resubmittal was completed by staff on February 17, 2023. Staff determined that the applicant's resubmittal failed to address the conditions of disapproval identified by the Planning & Zoning Commission. Staff considers the resubmittal provided by the applicant to be incomplete.

APPLICANT REQUEST

The applicant requests to plat the subject property into 172 residential lots and 13 open-space HOA X lots.

CASE INFORMATION

Applicant:

Christopher Hernandez, Kimley-Horn & Associates, Inc.

Property Owner(s):

GRBK EDGEWOOD LLC

Site Acreage:

190.886 acres

Number of Lots:

185 lots

Number of Dwelling Units:

172 units

Park Land Dedication:

N/A (All residential units proposed within the ETJ)

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Adequate Public Facilities:

Insufficient information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Sections 5.1 & 5.8 of the Waxahachie Subdivision Ordinance and Section V of the Ellis County Subdivision and Development Standards.

SUBJECT PROPERTY

General Location:

West of the intersection of Harrington Road and Hunter Pass

Parcel ID Number(s):

180774, 183003, 190570, 192730, 236611, 236612, 289474, 289475, 289476, & 289477

Current Zoning:

Future Development (FD) & N/A (ETJ)

Existing Use:

The subject property is currently undeveloped

Platting History:

The subject property is part of the William Stewart Survey, Abstract 956, the James Young Survey, abstract 1199, and the Norman H. Whittenberg Survey, Abstract 1128. A small portion of the subject property is currently platted as Lots 1-4 of the Harrington Acres #2 addition.

Site Aerial:



PLANNING ANALYSIS:

The applicant proposes to plat the subject property into 172 residential lots and 13 open-space HOA X lots. A small portion of the subject property is currently located within the Waxahachie City Limits; however, all residential lots proposed with the plat are located within the Waxahachie ETJ. In order to provide multiple points of access to the planned residential lots, the applicant proposes extending Harrington Road to the site and dedicating an 80' right-of-way (ROW) from E Haven Road to the site. The applicant has provided multiple preliminary utility plans with the resubmittal. It is important to note that the proposed preliminary wastewater plans do not comply with the City's Wastewater Master Plan and have not been approved by the Public Works and Engineering Director.

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STAFF CONCERNS

The plat application is currently deemed to be incomplete & not filed due to the applicant's failure to address all conditions of disapproval identified by the Planning & Zoning Commission on October 25th, 2022. The conditions of disapproval identified by the Planning & Zoning Commission have been listed below. The applicant has failed to address the bolded conditions below.

Supplemental Documentation:

- **No information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Section 2.4(c)(13) & 5.1 of the Waxahachie Subdivision Ordinance and Section V – Special District Regulations of the Ellis County Subdivision and Development Standards.**
 - *The applicant has provided conceptual utility alignments with their resubmittal. However, these conceptual plans contained insufficient information to demonstrate the provision of adequate water and wastewater services for the proposed subdivision as required by Section 33-90 of the Waxahachie Code of Ordinances, Sections 2.2.a, 2.3.a.1, 2.3.a.3, 2.5.e. 3.9, 5.1, and 5.8 of the Waxahachie Subdivision Ordinance and Section V of the Ellis County Subdivision and Development Standards.*
- **A Traffic Impact Analysis (TIA), as per Section 3.1 of the Waxahachie Subdivision Ordinance.**
 - The applicant has provided a TIA with their resubmittal. However, the TIA failed to meet the requirements of Section 3.1 of the Waxahachie Subdivision Ordinance.
- A signed Waiver of Takings Impact Assessment document is required for the Ellis County Plat Application.

Plat Comments:

- **Since no information has been provided to demonstrate the provision of water and wastewater services to the property, all proposed lots within the ETJ have been reviewed under Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards. The lots & build lines proposed with this plat do not meet the minimum size or dimensions required by the Ellis County Subdivision and Development Standards.**
 - *The applicant has provided conceptual utility alignments with their resubmittal. However, these conceptual plans contained insufficient information to demonstrate the provision of adequate water and wastewater services for the proposed subdivision as required by Section 33-90 of the Waxahachie Code of Ordinances, Sections 2.2.a, 2.3.a.1, 2.3.a.3, 2.5.e. 3.9, 5.1, and 5.8 of the Waxahachie Subdivision Ordinance and Section V of the Ellis County Subdivision and Development Standards. The lots, build lines, and easements proposed with the second submittal of the plat do not meet the standards required by Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards.*
- The Point of Beginning (POB) survey monument coordinates for the plat do not match the location of the POB shown on the plat. Correct coordinates for the POB survey monument is required by Section 2.4 of the Waxahachie Subdivision Ordinance.
- A minimum utility easement fifteen (15) feet wide or wider is required along adjacent to all street right-of-way (ROW). The proposed plat only provides a 10-foot utility easement for residential lots and no utility easement for open space HOA X lots.
 - *The applicant has still proposed 10' utility easements for all residential lots with their resubmittal.*

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- The subject property includes four existing platted lots, which are part of the Harrington Acres #2 plat. Due to this, the application needs to be amended to address the existing plat. The existing platted lots either need to be replatted or vacated as per Section 2.6 or 2.8 of the Waxahachie Subdivision Ordinance.
 - The plat does not include street width labels or street names for all proposed streets as required by Section 2.4(c)(4) of the Waxahachie Subdivision Ordinance.
 - The plat does not include curve details for all proposed lots as required by Section 2.4(c)(18) of the Waxahachie Subdivision Ordinance.

RECOMMENDATION

Based on the details provided in this Staff Report, the present status of the documents subject to the request, and the applicant's failure to address all conditions of disapproval provided by the City of Waxahachie Planning & Zoning Commission on October 25, 2022, staff recommends Disapproval of the resubmittal with the conditions noted below.

Conditions:

1. Insufficient information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Section 5.1 of the Waxahachie Subdivision Ordinance and Section V – Special District Regulations of the Ellis County Subdivision and Development Standards.
 - *Information sufficient to demonstrate compliance with these standards is required.*
2. A Traffic Impact Analysis (TIA), as per Section 3.1 of the Waxahachie Subdivision Ordinance.
 - *A Traffic Impact Analysis (TIA) adhering to Section 3.1 of the Waxahachie Subdivision Ordinance is required.*
3. Since no information has been provided to demonstrate the provision of water and wastewater services to the property, all proposed lots within the ETJ have been reviewed under Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards. The lots & build lines proposed with this plat do not meet the minimum size or dimensions required by the Ellis County Subdivision and Development Standards.
 - *Lots adhering to the requirements of Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards are required with the proposed plat.*

ATTACHED EXHIBITS

1. Minutes of the October 25, 2022, Planning & Zoning Commission Meeting
2. Applicant Response (Resubmittal)
3. Plat (Resubmittal)
4. Preliminary Utility Plans (Resubmittal)
5. Staff Resubmittal Review Comments

APPLICANT REQUIREMENTS

1. If approved by the Planning & Zoning Commission, within 30 days, the applicant shall provide the Planning Department with one revised electronic plan set that incorporates all comments.
 - a. Once the revised plans are provided, staff will verify that all outstanding comments were satisfied.
 - i. If comments were not satisfied, then the applicant will be notified to make corrections.
 - ii. If all comments were satisfied, then the applicant shall provide five signed, hard-copy plats.

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CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed, and a letter of acceptance associated with the utilities and infrastructure installation has been received from the City of Waxahachie Public Works Department or Ellis County Department of Development for ETJ plats;
2. A drainage study has been conducted, and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King

Senior Planner

zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

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Planning and Zoning Commission
October 25, 2022

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, October 25, 2022 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Bonney Ramsey
David Hudgins
Erik Test

Members Absent: Betty Square Coleman
Ron Ansell

Others Present: Shon Brooks, Executive Director of Development Services
James Gaertner, Executive Director of Public Works & Utilities
Jennifer Pruitt, Senior Director of Planning
Zack King, Senior Planner
Eleana Tuley, Senior Planner
Macey Martinez, City Engineer
Amber Villarreal, City Secretary
Chris Wright, Council Representative
Robert Brown, City Attorney

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Public Comments**

None.

4. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of October 11, 2022
- b. Minutes of the Planning and Zoning Commission briefing of October 11, 2022

Action:

Ms. Bonney Ramsey moved to approve items a. and b. on the Consent Agenda. Vice Chairman Melissa Ballard seconded, All Ayes.

5. **Recognize Mr. Jim Phillips for his service on the Planning & Zoning Commission**

Chairman Keeler read a plaque recognizing and thanking Mr. Jim Phillips' service on the Planning and Zoning Commission from 2014-2022.

6. **Convene into Executive Session for consultation with attorney regarding pending or contemplated litigation as permitted under Section 551.071, Texas Government Code**

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Planning and Zoning Commission
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Chairman Keeler announced at 7:03 p.m. the Planning and Zoning Commission would convene into Executive Session for consultation with attorney regarding pending or contemplated litigation as permitted under Section 551.071, Texas Government Code.

7. Reconvene and take any necessary action

The meeting reconvened at 7:27 p.m.

Action:

No action taken.

- 8. Consider a request by Christopher Hernandez, Kimley-Horn & Associates, Inc., for a Plat of Haven Ranch Phase 1, 172 Residential Lots & 10 Open Space HOA X Lots, being 190.6221 acres, located west of the intersection of Harrington Road and Hunter Pass, situated in the William Stewart Survey, Abstract 956, the James Young Survey, abstract 1199, and the Norman H. Whittenberg Survey, Abstract 1128, an addition to the City of Waxahachie and the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 183003, 192730, 236610, 236611, 236612, 289474, 289475, 289476, & 289477) – Owner: GRBK EDGEWOOD LLC (SUB-126-2022) Staff: Zack King**

Zack King, Senior Planner, reported the applicant resubmitted the plat last week; however, due to the agenda packet deadline, the resubmittal is still under review by staff and will not be referenced in today's presentation. Mr. King reviewed the case noting the applicant is requesting to plat the subject property into 172 residential lots and 10 open space HOA lots. Mr. King explained a small portion of the subject property is located within the Waxahachie city limits; however, all residential lots proposed with the plat are located within the Waxahachie ETJ. Mr. King reviewed staff concerns noting the plat application is currently deemed to be incomplete and not filed due to the applicant's failure to provide the supplemental documentation required with the plat and address the plat comments identified below:

Supplemental Documentation:

- No information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Section 2.4(c)(13) & 5.1 of the Waxahachie Subdivision Ordinance and Section V – Special District Regulations of the Ellis County Subdivision and Development Standards.
- A Traffic Impact Analysis (TIA), as per Section 31 of the Waxahachie Subdivision Ordinance.
- A signed Waiver of Takings Impact Assessment document required as part of the Ellis County Plat Application.

Plat Comments:

- Since no information has been provided to demonstrate the provision of water and wastewater services to the property, all proposed lots within the ETJ have been reviewed under Vol. I Section IV – General Requirements of the Ellis County Subdivision and Development Standards. The lots & build lines proposed with this plat do not meet

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minimum size or dimensions required by the Ellis County Subdivision and Development Standards.

- The Point of Beginning (POB) survey monument coordinates for the plat do not match the location of the POB shown on the plat. Correct coordinates for the POB survey monument is required by Section 2.4 of the Waxahachie Subdivision Ordinance.
- A minimum utility easement fifteen (15) feet wide or wider is required along adjacent to all street right-of-way (ROW). The proposed plat only provides a 10-foot utility easement for residential lots and no utility easement for open space HOA X lots.
- The subject property includes 4 existing platted lots which are part of the Harrington Acres #2 plat. Due to this, the application needs to be amended to address the existing plat. The existing platted lots either need to be replatted or vacated as per Section 2.6 or 2.8 of the Waxahachie Subdivision Ordinance.
- The plat does not include street width labels or street names for all proposed streets as required by Section 2.4(c)(4) of the Waxahachie Subdivision Ordinance.
- The plat does not include curve details for all proposed lots as required by Section 2.4(c)(18) of the Waxahachie Subdivision Ordinance.

Staff recommends disapproval due to the staff concerns listed above.

Daniel Box, attorney with Winstead, P.C., 2728 N. Harwood Street, Dallas, Texas, noted he was available for questions or comments.

Action:

Vice Chairman Melissa Ballard moved to disapprove SUB-126-2022 with conditions as per the staff report. Mr. David Hudgins seconded, All Ayes.

9. **Consider a request by John Ed Justice, BKG Legacy Ranch I, LLC, for a Replat of Lot 1, Block A, Legacy Ranch, Phase One, two lots, being 1.390 acres, located at 1000 Legacy Ranch Road (Property ID 267508) – Owner: BKG LEGACY RANCH I LLC (SUB-122-2022) Staff: Eleana Tuley**

Eleana Tuley, Senior Planner, presented the case noting the applicant is requesting to subdivide an existing lot (1.390 acres) into two (2) lots for professional office and commercial use. The plat complies with the City's zoning and subdivision requirements and staff recommends approval as presented.

Action:

Vice Chairman Melissa Ballard moved to approve a request by John Ed Justice, BKG Legacy Ranch I, LLC, for a Replat of Lot 1, Block A, Legacy Ranch, Phase One, two lots, being 1.390 acres, located at 1000 Legacy Ranch Road (Property ID 267508) – Owner: BKG LEGACY RANCH I LLC (SUB-122-2022) per staff report. Mr. Erik Test seconded, All Ayes.

10. **Consider a request by Erik Shoquist, for a Replat of Cardinal I G Addition, Lots 1R and 2R, Block A, 2 Industrial Lots, being 66.456 acres, located at 201 & 203 Cardinal Road, situated in the Allen W. Brown Survey, Abstract 102, an addition in the City of Waxahachie (Property ID: 209418, 226867, 285601 & 285602) – Owner: CARDINAL I G COMPANY (SUB-40-2022) Staff: Jennifer Pruitt**

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Jennifer Pruitt, Senior Director of Planning, presented the case noting the applicant is requesting to replat the subject property from one (1) lot into two (2) lots for industrial use. All City of Waxahachie lot size and dimension requirements have been met and staff recommends approval as presented. With this replat, the applicant is dedicating 110' of right-of-way for Cardinal Road in conformance with the City of Waxahachie Thoroughfare Plan. Ms. Pruitt noted a development agreement was drafted at the request of the applicant to allow the property owner to privately utilize the right-of-way dedication until the City extends Cardinal Road and it will be presented to City Council for consideration.

Action:

Mr. David Hudgins moved to approve a request by Erik Shoquist, for a Replat of Cardinal I G Addition, Lots 1R and 2R, Block A, 2 Industrial Lots, being 66.456 acres, located at 201 & 203 Cardinal Road, situated in the Allen W. Brown Survey, Abstract 102, an addition in the City of Waxahachie (Property ID: 209418, 226867, 285601 & 285602) – Owner: CARDINAL I G COMPANY (SUB-40-2022). Vice Chairman Melissa Ballard seconded, All Ayes.

- 11. Public Hearing on a request by Rodney & Suzie Bell, Cove Construction, for a Specific Use Permit (SUP) for an Accessory Structure +700sf, use within a Single Family – 1 (SF-1) zoning district located at 601 N. Grand Ave (Property ID 176840) - Owner: THOMAS A. & VERONICA SCHAEFFER (ZDC-121-2022) Staff: Jennifer Pruitt**

Ms. Pruitt presented the case noting the applicant is requesting a Specific Use Permit to expand an existing pool house (324 sq. ft.) to 972 sq. ft. to accommodate a bathroom and kitchenette. Ms. Pruitt noted the applicant has been adamant that the accessory dwelling will only be used for entertainment purposes and not as an additional dwelling unit. Staff recommends approval per the following staff comments:

1. The accessory structure shall not be used as a dwelling.
2. The accessory structure shall not be used for commercial purposes.
3. The accessory structure shall not be leased or sold separately from the primary residence and shall not be separately metered.
4. The applicant shall obtain a permit from the City of Waxahachie Building Department prior to construction of the accessory structure.

Chairman Keeler opened the Public Hearing.

There being no others to speak for or against ZDC-121-2022, Chairman Keeler closed the Public Hearing.

- 12. Consider recommendation of Zoning Change No. ZDC-121-2022**

Action:

Ms. Bonney Ramsey moved to approve a request by Rodney & Suzie Bell, Cove Construction, for a Specific Use Permit (SUP) for an Accessory Structure +700sf, use within a Single Family – 1 (SF-1) zoning district located at 601 N. Grand Ave (Property ID 176840) - Owner: THOMAS A. & VERONICA SCHAEFFER (ZDC-121-2022). Mr. Erik Test seconded, All Ayes.

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Planning and Zoning Commission
October 25, 2022
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13. Adjourn

There being no further business, the meeting adjourned at 7:42 p.m.

Respectfully submitted,

Amber Villarreal
City Secretary

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GRBK Edgewood LLC
2805 Dallas Parkway, Suite 400
Plano, Texas 75093

February 9, 2023

Via email and Energov

Zack King, Sr. Planner
City of Waxahachie, Texas (the "City")
zking@waxahachie.com

Re: *SUB-126-2022 - Plat of Haven Ranch Phase 1 (the "Plat");
Owner Response Letter following Disapproval by the Planning & Zoning
Commission (this "Letter")*

Zack:

As you know, GRBK Edgewood LLC ("Owner") submitted the Plat to the City on September 14, 2022. Thereafter, on October 25, 2022 (41 days following the date the Plat was filed) the Planning and Zoning Commission (the "P&Z") disapproved the Plat, the reasons for which were outlined in letter from Jennifer Pruitt, Sr. Director of Planning, dated October 27, 2022 (the "Disapproval Letter"). Please accept this Letter as Owner's written response in satisfaction of the conditions and reasons for disapproval provided in the Disapproval Letter.

Reasons & Responses

P&Z: No information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Section 5.1 of the Waxahachie Subdivision Ordinance and Section V – Special District Regulations of the Ellis County Subdivision and Development Standards.

RESPONSE:

A. Objections.

As a preliminary matter, Owner objects to the simultaneous application of City and County subdivision regulations to the Plat as a violation of Chapter 242, Texas Local Government Code, as well as the interlocal agreement between the City and the County, dated March 22, 2004 (the "Interlocal"). Section 242.001(c), Texas Local Government Code, is clear that "a municipality and a county may not both regulate subdivisions and approve related permits in the extraterritorial jurisdiction of a municipality after an agreement under Subsection (d) is executed." The City and the County entered into the Interlocal pursuant to Subsection (d)(4), which, among other things, requires that the agreement "establish a single set of consolidated and consistent set of regulations related to plats...that will be enforced in the extraterritorial jurisdiction." As such, the Plat cannot be legally required to comply with both the City and the County regulations; rather, the

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Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

Plat must be evaluated only against the consistent and consolidated regulations adopted under the Interlocal.

On October 31, 2022, representatives for the Owner submitted an open records request to the City, seeking a copy of the consistent and consolidated set of regulations applicable in the ETJ under the Interlocal. In its response on November 9, 2022, the City was unable to produce the requested set of regulations, essentially confirming that no such set of regulations currently exists, despite the City's obligations to adopt such a set pursuant to Section 13(A) of the Interlocal. The City also asserted in its response that the City's current subdivision regulations were applicable. Owner has attempted to comply with the City's subdivision ordinance in preparation of the Plat in accordance with the City's guidance; but Owner reserves all rights to challenge (if necessary) the application of those rules to the Plat rather than a duly adopted set of consistent and consistent regulations as required by the Interlocal and Chapter 242.

Owner further objects to this reason for disapproval because it is vague as to what information, exactly, would be required to satisfy Section 5.1 of the subdivision ordinance. Section 5.1, in turn, is equally vague regarding what information is required to accompany the Plat to meet its requirements. Although Section 5.1 establishes an "Adequate Public Facilities Policy," it does not outline what specific information a subdivider must provide to evidence that such facilities exist or that provision has been or will be made for such facilities. As such, the P&Z has failed to clearly articulate this specific reason for disapproval in violation of Section 212.0091(a), Texas Local Government Code.

Moreover, Article 5 (which houses Section 5.1), is titled "Improvements Required Prior to Acceptance of the Subdivision by the City." Pursuant to Section 2.3(i), Subdivision Ordinance, acceptance of a subdivision occurs only after "all of the improvements are found to be installed in accordance with the approved plans." Moreover, under Section 2.3(e), the P&Z is only authorized to approve "the actual plat drawing (i.e., the sheet(s) showing the actual plat for the subdivision), which will *eventually* be approved by the City and then filed at the County...The construction (i.e., the engineering) plans for the subdivision shall be submitted within [120] calendar days following the approval of the plat..." Read together, it appears the application of Section 5.1 during the plat application process, rather than during the subsequent engineering and construction stage of development, is simply premature. As such, Owner questions the validity of this reason for disapproval at this stage of the platting process.

As outlined in correspondence from the Owner's counsel to the City Attorney dated January 17, 2023, Owner has sought guidance and clarity from city staff on numerous occasions, beginning on October 31, 2022, regarding what information is required to remedy this reason for disapproval. On November 28, 2022, city staff indicated that, if Owner intended to connect to the City's sewer system, then a sewer study prepared by the City's consultants would be required (the "Sewer Study"). Because the Property is

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Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

currently covered by the City's sewer CCN, Owner promptly requested a proposal from the City to conduct the Sewer Study (the "Proposal"). To date, the Proposal has not been provided, despite numerous requests by the Owner.

In correspondence dated January 24, 2023, the City Attorney confirmed that city staff is purposefully withholding the Proposal in a calculated effort to frustrate Owner's ability to make progress on the Plat and the lawful development the Property. According to the City Attorney, the delay was intended to afford the City time to assess whether it desires to remove the Property from the boundaries of the City's water and wastewater CCNs, thereby removing (in the apparent but incorrect opinion of the City) the City's obligation to provide water and sewer service to the Property, both in the near- and long-term. Since Owner began discussions with the City regarding the Property and the Project, beginning in the fall of 2020, the City's opposition to the same has been palpable. The basis of that opposition now appears to be primarily, if not exclusively, the City's contempt for development outside of its corporate limits and regulatory controls, and not due to any genuine concerns over utility capacity.

The City Attorney further indicated that: "[E]ven if the City decides not to decertify at this time, staff is also concerned that the proposed development and its related water and wastewater service needs do not comply with the City's Water and Wastewater Master Plans because the requested capacity is greater than what is allocated for the area in which the proposed development is located." But this statement is facially inconsistent with the City's 2016 master plans and the 2020 CIP, both of which clearly contemplate and plan for significant development in the City's existing service areas south of Lake Waxahachie.

With respect to sewer, the Property is located in both the Lake Waxahachie and the Little Onion Creek drainage basins. Based on the buildout capacities of the Little Onion Creek LS No. 3 (12.0 MGD) and the Upper Little Onion Creek LS (1.3 MGD), the 2016 Master Plan and the 2020 CIP collectively contemplate 13.3 MGD of capacity in these drainage basins, which equates to over 44,000 equivalent single-family connections (ESFCs).¹ Moreover, the 2020 CIP clearly contemplates that the Upper Little Onion Creek LS, which has a planned capacity to support approximately 4,333 ESFCs and which is shown as being located on the Property, would convey raw flows back to the City's Existing WWTP. The Existing WWTP, in turn, has a current permitted capacity of 8.0 MGD and a planned buildout capacity of 12.0 MGD. By comparison, the Plat (which represents Phase 1 of the Project) proposes a mere 172 ESFCs, while the complete Project currently proposes a total of 2,630 ESFCs, more or less. Given the planned capacity for this area in the near term is over 4,000 ESFCs, and ten-times that at buildout, the City's assertion that the Plat and the Project are not consistent with the City's wastewater plans cannot be supported.

¹ Assuming 1 ESFC = 300 gpd.

Likewise, with respect to water, the City's 2016 Water Master Plan and 2020 CIP depict oversized water mains (up to 20") traversing the Property as well as the construction of a 1.5-million-gallon elevated storage tank located on the Property; all designed to serve the Property and the surrounding area. The Land Use Assumptions approved by the City and utilized in the formation of the 2020 CIP further contemplate over 30,000 households are planned for this area within the 10-year planning window. Moreover, the May 27, 2021, water study for the Project prepared by BHC (the "Water Study") concluded that the City's water "system can adequately support the [Project] with recommended distribution improvements at the Initial and Interim Development Scenarios," and that the City's water treatment plant has capacity to support the Project. Therefore, contrary to the City's assertion, the capacity needs related to the Plat and the Project appear entirely consistent with the City's planning efforts to date.

The City Attorney also indicated that: "While the previously agreed upon development plan for the area met the City's requirements, it does not appear that the current plan does." This statement is equally perplexing, because the prior (and now expired) development agreement on the Property contemplated approximately 3300 ESFCs, while Owner is currently proposing roughly 2630 ESFCs; less than 80% of the prior approved density.

As such, and in light of foregoing, the disapproval of the Plat for this reason appears to be largely pretextual, arbitrary, and unrelated to any legitimate subdivision requirements, and any further reliance on this reason as a basis of denial of the Plat would be invalid under Section 212.0091(b)(1), Texas Local Government Code.

B. Solutions.

Despite the foregoing objections (but without waiving the same), and in an on-going and good faith effort to cooperate and remedy the disapproval of the Plat, Owner is submitting preliminary utility plans for water and sewer that, along with this letter, sufficiently demonstrate how adequate water and sewer service could be provided to each lot with the subdivision.

1. Water. With respect to water, and subject to certain conditions outlined below, Owner is prepared to construct all of the recommended system improvements for the Initial Scenario identified in the Water Study and in accordance with Section 33.90, City Code. Given that the Initial Scenario in the Water Study contemplated 350 residential lots, the recommended improvements should be more than sufficient to support the 172 lots shown on the current Plat. Of course, to the extent that Owner constructs facilities with excess capacity over what is needed to serve the 172 lots contained within this Plat, the City should reserve that excess capacity for Owner's future use or remit to Owner a pro rata payment for any capacity released to others in accordance with Section 33.93, City Code. Finally, Owner hereby incorporates by reference correspondence dated January 27, 2023, from

(u)

Owner's counsel to the City Attorney regarding Owner's opposition to any effort by the City to remove the Property from the City's water CCN.

2. Sewer. With respect to sewer, Owner is submitting multiple scenarios for consideration by staff and the P&Z. First, under Sewer Plan - Option "A," wastewater would be conveyed and treated on-site through the construction of a wastewater treatment plant (the "On-site WWTP"), generally in the location of the Upper Little Onion Creek LS depicted on the 2020 CIP. Notably, Option A eliminates the need for the Sewer Study because service would not be provided through the City's existing sewer system.

Because the City currently holds the sewer CCN over the Property, retail service and ownership of the facilities could be handled in one of two ways. First, the City could agree to be the retail provider to the Property. In that case, Owner and/or FWSD No. 3 (the "District") would dedicate the WWTP to the City for ownership and maintenance. As future development dictates, the City could maintain and operate the WWTP in perpetuity, or, as shown on the 2020 CIP, take the WWTP off-line and convert to a lift station (i.e., the Upper Little Onion Creek LS) that would convey flows to the City's Existing WWTP. Owner, at Owners cost but with City cooperation, will obtain the necessary permits and approvals from the TCEQ.

Second, if the City does not want to be the retail sewer provider to the Property, the Owner and the City would cooperate toward the decertification of the Property or an agreement under 13.248, Texas Water Code, to allow the District to be the retail provider. Owner, at Owners cost but with City cooperation, will obtain the necessary permits and approvals from the TCEQ. In this scenario, the District would own and maintain the WWTP and the related collection system.

Alternatively, under Sewer Plan - Option "B," retail sewer service would be provided by the City at the Existing WWTP. Wastewater generated from the Property would be conveyed to the Existing WWTP through the construction of an initial phase of the Lake Waxahachie Lift Station, along with all associated and interconnected gravity lines and force mains. Both the lift station and the alignment of the associated collection system are substantially consistent or in conformance with the City's wastewater master plans, including the 2016 Master Plan and the 2020 CIP. Moreover, in accordance with Section 33.90, City Code, Owner is prepared to finance and construct all sewer extensions required to serve the Property. Owner and/or the District would be responsible for acquiring all necessary off-site easements. The initial force main to the City's Existing WWTP would be 6-inches in diameter, which Owner's engineer has determined is adequate for the initial phase of the Project. Thereafter, a parallel line would be constructed to support later phases. A maximum of two parallel force mains are expected to serve the build-out of the Project.

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Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

Although Owner is prepared to proceed under either option, Option A appears to present a more straightforward and efficient approach for both parties. If the Plat is approved subject to Option B, Owner demands that the City process the Plat and all subsequent permits and applications in good-faith and with reasonable diligence, including the timely provision and release of necessary information, such as the Sewer Study, if required. If the City is not prepared to move forward in this fashion, Owner respectfully request the Plat be approved subject to Option A.

P&Z: A Traffic Impact Analysis (TIA), as per Section 31 [sic] of the Waxahachie Subdivision Ordinance.

RESPONSE: Owner objects to this reason for denial because: (i) the City has no statutory authority to require improvements to county or state roads; (ii) the City lacks statutory authority to condition plat approval on improvements to non-city roads; and (iii) requiring improvements to off-site roads violates the Texas Impact Fee Act. The foregoing notwithstanding, Owner submits the enclosed TIA (which Owner asserts meets the standards outlined Section 3.1(f), Subdivision Ordinance) under protest and without waiving any legal rights or the above objections.

P&Z: A signed Waiver of Takings Impact Assessment document is required as part of the Ellis County Plat Application.

RESPONSE: A signed Waiver of Takings Impact Assessment is included herewith.

P&Z: Since no information has been provided to demonstrate the provision of water and wastewater services to the property, all proposed lots within the ETJ have been reviewed under Vol. Section IV – General Requirements of the Ellis County Subdivision and Development Standards. The lots & build lines proposed with this plat do not meet the minimum size or dimensions required by the Ellis County Subdivision and Development Standards.

RESPONSE: Owner incorporates by reference its Response to the first reason for disapproval stated above. In addition, Section 232.101(b), Texas Local Government Code, prohibits the County from regulating lot size. To the extent the County's lot size regulation relates to the provision of OSSF, all of the lots proposed in the Plat and the Project are intended to be served by a centralized WWTP (either that of the City or the District) and not OSSF.

(u)

Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

P&Z: The Point of Beginning (POB) survey monument coordinates for the plat do not match the location of the POB shown on the plat. Correct coordinates for the POB survey monument are required by Section 2.4 of the Waxahachie Subdivision Ordinance.

RESPONSE: The Point of Beginning is now shown with both grid and ground coordinates. The grid coordinates align with GIS systems, while the on-ground coordinates are necessary for survey and plat purposes. The grid-to-ground factor listed in the notes allows for conversion between the two systems.

P&Z: A minimum utility easement fifteen (15) feet wide or wider is required along adjacent to all street right-of-way (ROW). The proposed plat only provides a 10-foot utility easement for residential lots and no utility easement for open space HOA X lots.

RESPONSE: Owner objects to this reason for disapproval because the P&Z failed to include a citation to the law forming the basis thereof as required by Section 212.0091(b)(1)(B), Texas Local Government Code. *See also* AG Op. No. KP-0349 (stating municipal authority responsible for approving plats that does not provide such specificity violates Chapter 212). As such, this reason for disapproval is invalid and no change to the Plat was made in response thereto.

As noted in the Disapproval Letter, however, the Plat does provide a 10-foot utility easement in accordance with Section 3.3(d), Subdivision Ordinance: "Where alleys are not provided in a residential subdivision, a minimum ten-foot wide utility easement shall be provided along the front of all lots, adjacent to and flush with the street right-of-way line for the potential placement of utility facilities." Notably, the Plat falls squarely within the conditions presented by Section 3.3(d), i.e., the Plat is a residential subdivision for which no alleys are provided. As such, Section 3.3(d) applies to the Plat and is controlling over the more general rule presented in Section 3.3(a). Therefore, and in addition to failing to cite to the law as required by Section 212.0091(b)(1)(B), the P&Z appears to have simply misapplied the subdivision ordinance in requesting the 15-foot easement.

P&Z: The subject property includes 4 existing platted lots, which are part of the Harrington Acres #2 plat. Due to this, the application needs to be amended to address the existing plat. The existing platted lots either need to be replatted or vacated as per Section 2.6 or 2.8 of the Waxahachie Subdivision Ordinance.

RESPONSE: Agreed. The Plat has been revised to reflect the replatting of the referenced lots within Harrington Acres #2.

(u)

Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

P&Z: The plat does not include street width labels or street names for all proposed streets as required by Section 2.4(c)(4) of the Waxahachie Subdivision Ordinance.

RESPONSE: Owner has confirmed that all streets are properly labeled with names and widths. Street names can be adjusted as needed prior to recordation to avoid duplication.

P&Z: The plat does not include curve details for all proposed lots as required by Section 2.4(c)(18) of the Waxahachie Subdivision Ordinance.

RESPONSE: Owner has confirmed that curve data for all proposed lots is correct and has been provided on the face of the plat.

Respectfully,

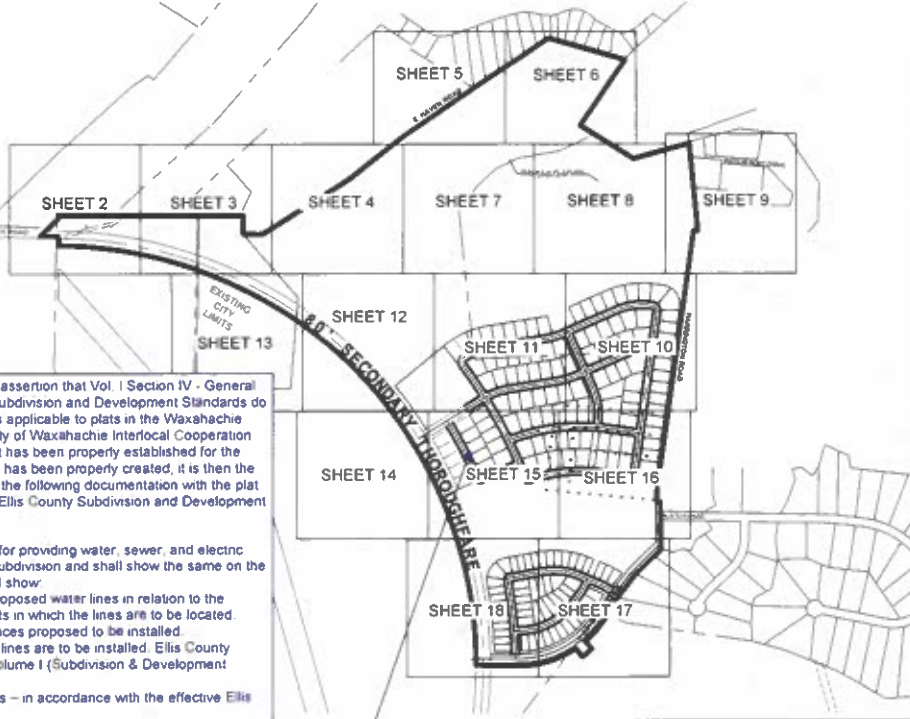


Bobby Samuel
Vice President
GRBK Edgewood LLC

BS/brw

KEY MAP

NTS

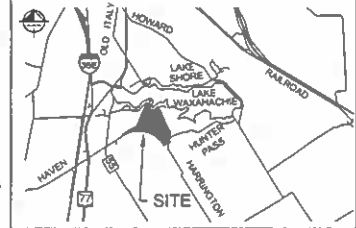


LEGEND

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- W.M.E. = WALL MAINTENANCE EASEMENT
- D.R.E.C.T. = DEED RECORDS OF ELLIS COUNTY, TEXAS
- O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
- P.R.E.C.T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
- LC90 = LOT CURVE LABEL (SEE TABLE SH. 19)
- = STREET NAME CHANGE
- B.L. = BUILDING LINE

VICINITY MAP

NTS



Staff disagrees with the applicant's assertion that Vol. I Section IV - General Requirements of the Ellis County Subdivision and Development Standards do not apply to this plat. This section is applicable to plats in the Waxahachie ETJ, as per the Ellis County and City of Waxahachie Interlocal Cooperation Agreement, unless a special district has been properly established for the subject property. If a special district has been properly created, it is then the applicant's responsibility to provide the following documentation with the plat application as per Section V of the Ellis County Subdivision and Development Standards.

The developer shall submit plans for providing water, sewer, and electric utility service within the proposed subdivision and shall show the same on the plat. Water Construction plans shall show:

- (a) The location and size of all proposed water lines in relation to the right-of-way and/or easements in which the lines are to be located.
- (b) The location of all appurtenances proposed to be installed.
- (c) The depth to which the water lines are to be installed. Ellis County Quality Growth Initiatives - Volume I (Subdivision & Development Standards) Page 29 of 58
- (d) Location of proposed hydrants - in accordance with the effective Ellis County Fire Code
- (e) An estimated timetable for completion of all facilities
- (f) Based on the information available at the time the application is submitted, the anticipated owner(s) and operator(s) of all water facilities throughout all phases of development shall be identified and included in the application.

Water availability

- (i) The developer shall furnish a certified letter from an approved Texas Commission on Environmental Quality (TCEQ) utility service provider stating that water is available to the subdivision sufficient in quality and quantity to meet minimum state standards required by Section 16.343, Water Code, and consistent with the certification in the letter, and that water of that quality and quantity will be made available to the point of delivery to all lots in the subdivision
- (ii) The utility provider should indicate that the utility plans have been reviewed and approved. If a separate utility easement is required by the water provider, it shall be indicated on the plat. An approximate fire flow available to the subdivision should be provided in this letter.

Since this information has not been provided by the applicant, all proposed lots within the ETJ have been reviewed under Vol. I Section IV - General Requirements of the Ellis County Subdivision and Development Standards. You can refer to the Ellis County Subdivision and Development Standards for further reference to these requirements.

In short, the following is required for lots in the ETJ:

- 1 acre minimum size to meet the County's septic order
- 150' minimum frontage & depth
- 25' minimum setback along internal roads
- 40' minimum setback along major roads
- 20' minimum utility/drainage easement along the rear
- 10' minimum utility/drainage easement along the sides

All proposed lots are required to meet or exceed the aforementioned standards as per the Ellis County and City of Waxahachie Interlocal Agreement & Vol. I Section IV - General Requirements of the Ellis County Subdivision and Development Standards

*This comment applies to all subsequent pages, but is not duplicated.

NOTES:

1. All easements within this platted property are created by this plat, unless otherwise noted
2. Coordinates and bearings shown hereon are based on the State Plane Coordinate System of Texas, North Central Zone 4202, North American Datum of 1983 (Adjusted Realization 2011). All distances shown hereon are surface distances. Coordinates shown hereon are adjusted to grid using an average combined surface to grid factor of 0.99992755825.
3. Abstract lines shown hereon are approximate
4. Unless otherwise shown, lots designated with an "X" are Open Space Lots maintained by the HOA
5. Unless otherwise shown, all property corners are set with a 5/8-inch iron rods with red plastic cap stamped "KHA"
6. FLOOD STATEMENT:
According to Federal Emergency Management Agency's Flood Insurance Rate Map No 48139C0330F, for Ellis County, Texas and incorporated areas, dated June 3, 2013, portions the property are located within Zone A defined as "Special flood hazard areas (SFHA) subject to inundation by the 1% annual chance flood (No Base Flood Elevations determined)" If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

Flood elevations for any lots which may ultimately be adjacent to floodplain shall be designed and constructed a minimum of 2 feet above adjacent floodplain base elevation.
7. See sheet 19 for line and curve table
8. See lot tables on sheet 20 for areas of all lots

OWNER
GRBK EDGEWOOD LLC
2805 Dallas Parkway,
Suite 400
Plano, Texas 75093
Phone 817-658-2112
Contact: Bobby Samuel

SURVEYOR
Kimley-Horn and Associates, Inc.
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Office Tower, Suite 700
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Phone: 972-770-1300
Contact: Craig Bartosh, RPLS

APPLICANT
Kimley-Horn and Associates, Inc.
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Phone: 972-776-1765
Contact: Christopher Hernandez, P.E.

CITY CASE NO. SUB-126-2022

PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE

WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY, ABSTRACT NO. 1128

AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION 5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

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Tower, Suite 700, Dallas, Texas 75240

FIRM # 10115500

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Fax No. (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|-------|----------|------------|-----------|-------------|-----------|
| N/A | DWP | KHA | Jan. 2023 | 064537507 | 1 OF 22 |

CITY OF WAXAHACHIE, TEXAS - 11/19/2022 10:11 AM



LEGEND

- Δ = CENTRAL ANGLE
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- (LC90) = LOT CURVE LABEL (SEE TABLE SH. 19)
- ◆ = STREET NAME CHANGE

MATCHLINE (SEE SHEET 3)

CITY CASE NO. SUB-126-2022
PLAT

HAVEN RANCH PHASE 1

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WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
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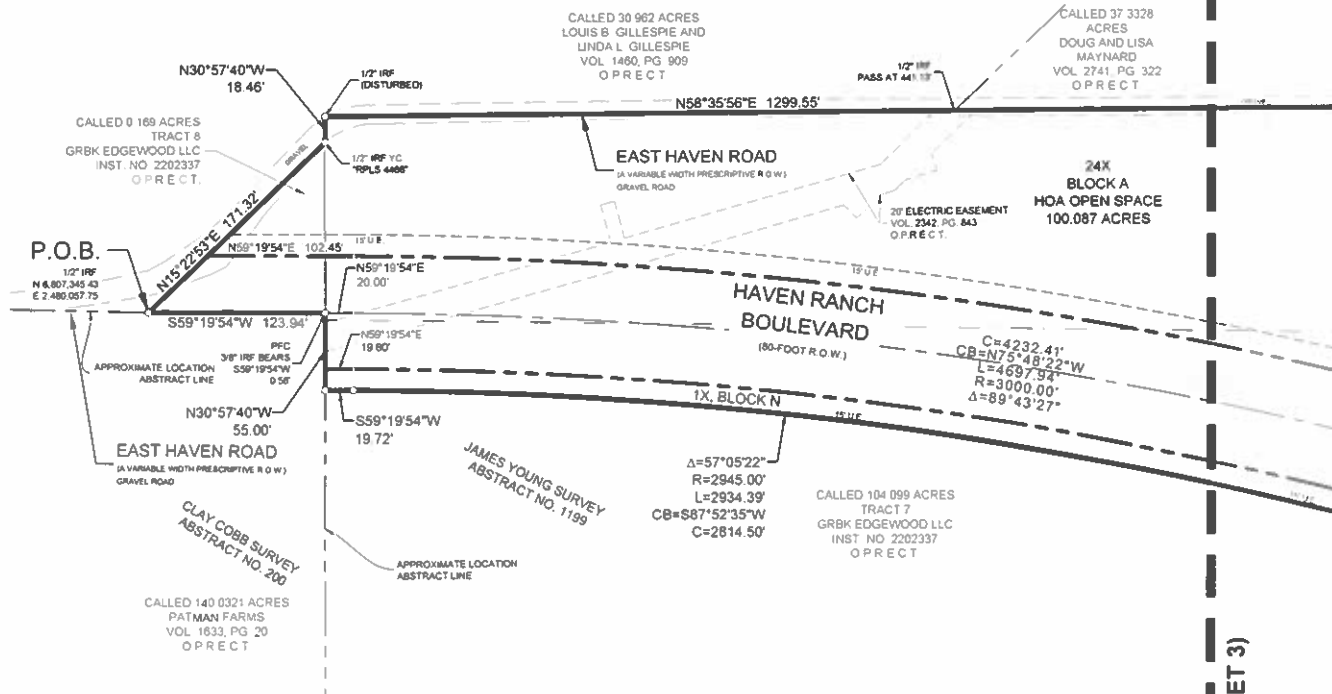
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| 1" = 60' | DWP | KHA | Jan 2023 | 064537507 | 2 OF 22 |

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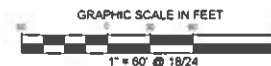
SURVEYOR:
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Phone 972-770-1300
Contact: Craig Bartosh, RPLS



DRAWN BY: DWP, CHECKED BY: KHA, DATE: JAN 2023, PROJECT NO: 064537507, SHEET NO: 2 OF 22

MATCHLINE (SEE SHEET 2)

MATCHLINE (SEE SHEET 4)



CALLLED 37 3328 ACRES
DOUG AND LISA MAYNARD
VOL 2741, PG 322
O P R E C T

CALLLED 1 9886 ACRES
DOUG OWEN
MAYNARD AND LISA
A MAYNARD
VOL 1175, PG 1035
O P R E C T

EAST HAVEN ROAD
(A VARIABLE WIDTH PRESCRIPTIVE R O W)
DRAVEL ROAD

**24X
BLOCK A
HOA OPEN SPACE**
100.087 ACRES

CALLLED 124 099 ACRES
TRACT 7
GRBK EDGEWOOD LLC
INST NO 2202337
O P R E C T

**EAST HAVEN ROAD
TERMINUS**
(A VARIABLE WIDTH PRESCRIPTIVE R O W)

WILLIAM STEWART SURVEY
ABSTRACT NO. 956

JAMES YOUNG SURVEY
ABSTRACT NO. 1199

WAXAHACHIE CITY LIMITS
PER ORDINANCE NO. 2428
VOL 2340, PG 736
O P R E C T

CALLLED 456 928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO 2202337
O P R E C T

**24X
BLOCK A
HOA OPEN SPACE**
100.087 ACRES

**HAVEN RANCH
BOULEVARD**
(80-FOOT R O W)

C=4232.41'
CB=N175°48'22"W
L=4697.94'
R=3000.00'
Δ=89°43'27"

Δ=57°05'22"
R=2945.00'
L=2934.39'
CB=S87°52'35"W
C=2814.50'

MATCHLINE (SEE SHEET 13)

LEGEND

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CITY CASE NO. SUB-126-2022

PLAT

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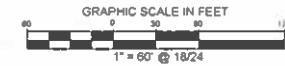
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| Scale | Drawn by | Checked by | Date | Project No | Sheet No |
|----------|----------|------------|-----------|------------|----------|
| 1" = 60' | DWP | KHA | Jan. 2023 | 064537507 | 3 OF 22 |

DRAWN BY: DWP, CHECKED BY: KHA, DATE: JAN 2023, PROJECT NO: 064537507, SHEET NO: 3 OF 22

MATCHLINE (SEE SHEET 5)



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APPLICANT

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CITY CASE NO. SUB-126-2022

PLAT

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|----------|----------|------------|-----------|-------------|-----------|
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MATCHLINE (SEE SHEET 3)

MATCHLINE (SEE SHEET 7)

MATCHLINE (SEE SHEET 13)

MATCHLINE (SEE SHEET 12)

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HOA OPEN SPACE
100.087 ACRES

CALLED 456 928 ACRES
TRACT 1
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INST NO. 2202337
O P R E C T

WILLIAM STEWART SURVEY
ABSTRACT NO. 956

JAMES YOUNG SURVEY
ABSTRACT NO. 1199

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ABSTRACT LINE

55' IRF YC
"PELOTON"

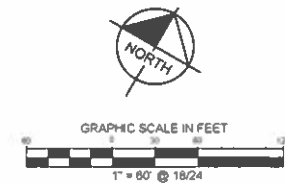
WAXAHACHIE CITY LIMITS
PER ORDINANCE NO. 2426
VOL. 2340, PG. 736
O P R E C T

N26°16'31"E 721.84'

N20°23'23"E 502.03'

DRAWN BY: DWP, CHECKED BY: KHA, DATE: JAN 2023, PROJECT NO: 064537507, SHEET NO: 4 OF 22, SCALE: 1"=60'

(m)



APPLICANT
Kimley-Horn and Associates, Inc
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Phone 972-776-1765
Contact Christopher Hernandez, P.E.

OWNER
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Phone 817-858-2112
Contact: Bobby Samuel

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallens
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972-770-1300
Contact: Craig Bartosh, RPLS

LEGEND

Δ = CENTRAL ANGLE
 P O B = POINT OF BEGINNING
 RF = IRON ROD FOUND
 R O W = RIGHT-OF-WAY
 V E = VISIBILITY EASEMENT B L = BUILDING LINE
 U E = UTILITY EASEMENT
 S W E = SIDEWALK EASEMENT
 W M E = WALL MAINTENANCE EASEMENT
 D R E C T = DEED RECORDS OF ELLIS
 COUNTY, TEXAS
 O P R D C T = OFFICIAL PUBLIC RECORDS,
 ELLIS COUNTY, TEXAS
 P L C = PLAT RECORDS OF ELLIS COUNTY, TEXAS
 (C 59) = LOT CURVE LABEL (SEE TABLE SH 19)
 = STREET NAME CHANGE

CITY CASE NO. SUB-126-2022
PLAT

HAVEN RANCH PHASE 1

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»»Horn

13455 Noel Road, Two Galleria Office
Tower, Suite 700, Dallas, Texas 75240

FIRM # 10115500

Tel. No (972) 770-1300
Fax No (972) 239-3820

| | | | | | |
|--------------------------|------------------------|--------------------------|-------------------------|--------------------------------|----------------------------|
| <u>Scale</u> 1" = 80' | <u>Drawn by</u> DWP | <u>Checked by</u> KHA | <u>Date</u> Jan 2023 | <u>Project No</u> 084537507 | <u>Sheet No</u> 5 OF 22 |
|--------------------------|------------------------|--------------------------|-------------------------|--------------------------------|----------------------------|

MATCHLINE (SEE SHEET 5)

MATCHLINE (SEE SHEET 7)

MATCHLINE (SEE SHEET 8)

LAKE SHORE ACRES
C&A, SLD 620
P R E C T

LAKE SHORE ACRES
C&A, SLD 620
P R E C T

N24°55'40"E 827.70'
1/2" IRF
PASS AT 423.07'

RAILROAD SPIKE FOUND
PASS AT 373.18'

PFC
56" IRF YC "PELOTON"
BEARS N02°48'12"E
9.32'

24X
BLOCK A
HOA OPEN SPACE
100.087 ACRES

CALLED 456 928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO 2202337
O P R E C T

APPROXIMATE LIMIT OF F.E.M.A. 'ZONE A' 100-YEAR FLOODPLAIN
PER FIRM PANEL NO. 48139C0339F
EFFECTIVE DATE: JUNE 3, 2013
NO STRUCTURES SHALL BE PLACED WITHIN THE FLOODPLAIN.
NO GRADING SHALL BE DONE WITHIN THE FLOODPLAIN
WITHOUT A FLOOD STUDY.

5/8" IRF

S27°48'12"W 540.28'

S89°16'51"E 440.32'



LEGEND

Δ = CENTRAL ANGLE
P O B = POINT OF BEGINNING
IRF = IRON ROD FOUND
R O W = RIGHT-OF-WAY
V E = VISIBILITY EASEMENT B.L. = BUILDING LINE
U E = UTILITY EASEMENT
S W E = SIDEWALK EASEMENT
W M E = WALL MAINTENANCE EASEMENT
D R E C T. = DEED RECORDS OF ELLIS
COUNTY, TEXAS
O P R D C T. = OFFICIAL PUBLIC RECORDS,
ELLIS COUNTY, TEXAS
P R E C T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
(LCR) = LOT CURVE LABEL (SEE TABLE SH 19)
◆ = STREET NAME CHANGE

CITY CASE NO. SUB-126-2022
PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128

AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE E.T.J. ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

13455 Noel Road, Two Gallena Office Tel. No (972) 770-1300
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Fax No (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No | Sheet No |
|----------|----------|------------|-----------|------------|----------|
| 1" = 60' | DWP | KHA | Jan. 2023 | 064537507 | 6 OF 22 |

APPLICANT
Kimley-Horn and Associates, Inc.
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Contact: Christopher Hernandez, P.E.

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2805 Dallas Parkway,
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Piano, Texas 75093
Phone: 817-658-2112
Contact: Bobby Samuel

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallena
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972-770-1300
Contact: Craig Bartosh, RPLS

DRAWN BY: DWP, CHECKED BY: KHA, DATE: JAN 2023, PROJECT NO: 064537507, SHEET NO: 6 OF 22

MATCHLINE (SEE SHEET 5)

MATCHLINE (SEE SHEET 6)

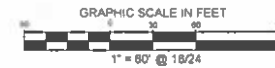
CALLLED 456.928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO 2202337
O P R E C T

24X
BLOCK A
HOA OPEN SPACE
100.087 ACRES

APPROXIMATE LIMIT OF
F.E.M.A. 'ZONE A' 100-YEAR
FLOODPLAIN
PER FIRM PANEL NO.
48139C0330F
EFFECTIVE DATE: JUNE 3, 2013
NO STRUCTURES SHALL BE
PLACED WITHIN THE
FLOODPLAIN. NO GRADING
SHALL BE DONE WITHIN THE
FLOODPLAIN WITHOUT A
FLOOD STUDY.

CALLLED 50.011 ACRES
TRACT 3
GRBK EDGEWOOD LLC
INST NO 2202337
O P R E C T

APPROXIMATE
LOCATION
ABSTRACT LINE



LEGEND

Δ = CENTRAL ANGLE
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
R.O.W. = RIGHT-OF-WAY
V.E. = VISIBILITY EASEMENT B.L. = BUILDING LINE
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W.M.E. = WALL MAINTENANCE EASEMENT
D.R.E.C.T. = DEED RECORDS OF ELLIS
COUNTY, TEXAS
O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS,
ELLIS COUNTY, TEXAS
P.R.E.C.T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
⬢(C90) = LOT CURVE LABEL (SEE TABLE SH 19)
— = STREET NAME CHANGE

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CITY CASE NO. SUB-126-2022

PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE

WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
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AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
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Fax No. (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | DWP | KHA | Jan. 2023 | 064537507 | 7 OF 22 |

DRAWN BY: K. CALDWELL, DATE: 01/11/2023, CHECKED BY: K. CALDWELL, DATE: 01/11/2023, PLOTTED BY: WILEY, GEO 1/11/2023 12:31 AM, LAST SAVED: 1/11/2023 12:22 AM

167

MATCHLINE (SEE SHEET 6)

MATCHLINE (SEE SHEET 7)

MATCHLINE (SEE SHEET 9)

MATCHLINE (SEE SHEET 11)

MATCHLINE (SEE SHEET 10)

APPROXIMATE LIMIT OF F.E.M.A. ZONE A' 100-YEAR FLOODPLAIN
PER FIRM PANEL NO. 48139C0330F
EFFECTIVE DATE: JUNE 3, 2013
NO STRUCTURES SHALL BE PLACED WITHIN THE FLOODPLAIN.
NO GRADING SHALL BE DONE WITHIN THE FLOODPLAIN
WITHOUT A FLOOD STUDY

24X
BLOCK A
HOA OPEN SPACE
100.087 ACRES

CALLED 50.011 ACRES
TRACT 3
GRBK EDGEWOOD LLC
INST NO 2202337
OPRECT

WILLIAM STEWART SURVEY
ABSTRACT NO. 956

JAMES YOUNG SURVEY
ABSTRACT NO. 1199

APPROXIMATE
LOCATION
ABSTRACT LINE

N43°16'00"E 404.93'

1/2" IRF YC
STAMPING ILLEGIBLE



LEGEND

Δ = CENTRAL ANGLE
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
R.O.W. = RIGHT-OF-WAY
V.E. = VISIBILITY EASEMENT B.L. = BUILDING LINE
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D.R.E.C.T. = DEED RECORDS OF ELLIS
COUNTY, TEXAS
O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS,
ELLIS COUNTY, TEXAS
P.R.E.C.T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
(L.C.S.) = LOT CURVE LABEL (SEE TABLE SH 19)
◆ = STREET NAME CHANGE

APPLICANT:

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OWNER:

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Plano, Texas 75093
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Contact: Bobby Samuel

SURVEYOR:

Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallena
Office Tower, Suite 700
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Phone 972-770-1300
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CITY CASE NO. SUB-126-2022

PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE

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Kimley»Horn

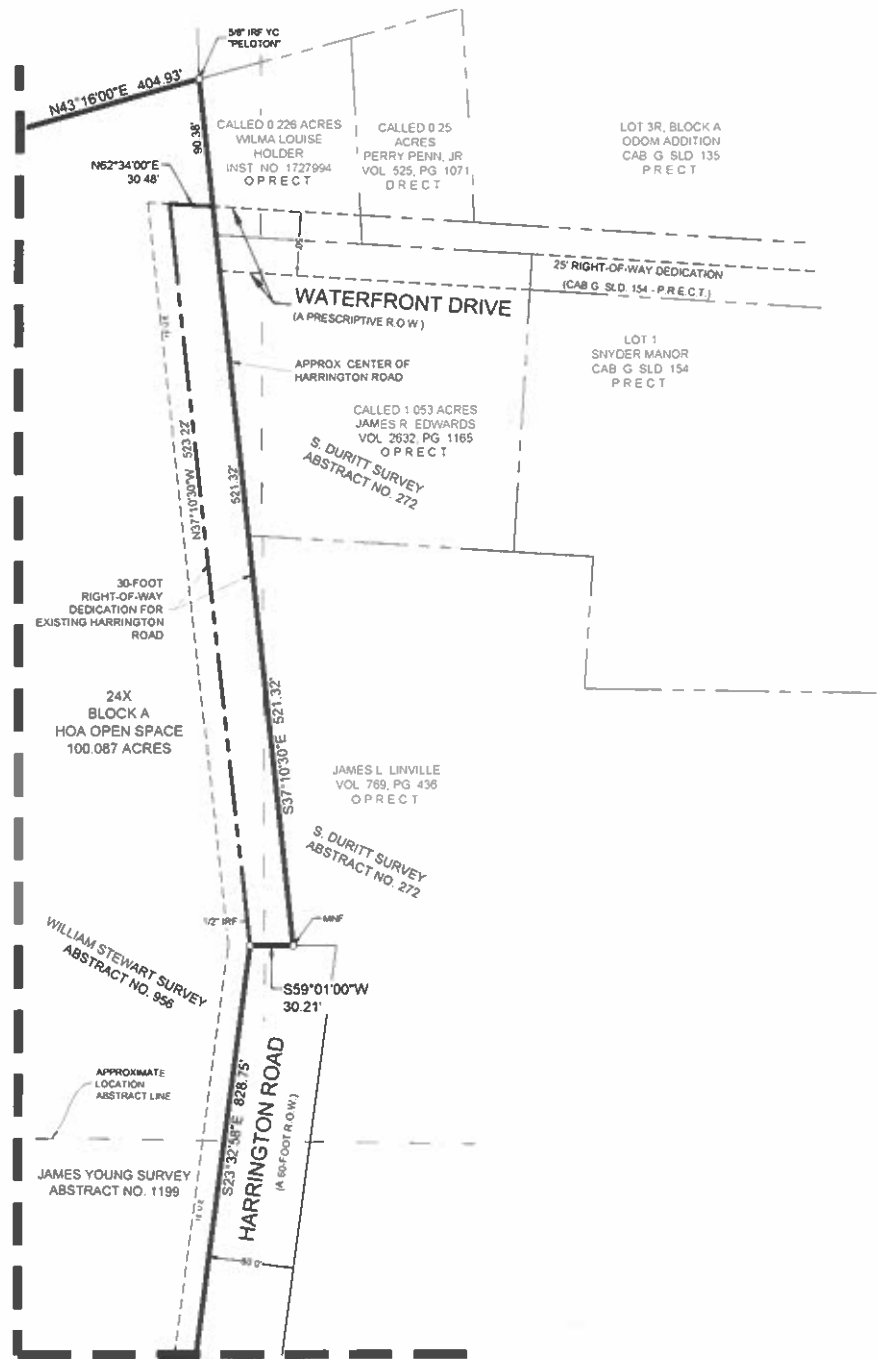
13455 Noel Road, Two Gallena Office
Tower, Suite 700, Dallas, Texas 75240

FIRM # 10115500

Tel No (972) 770-1300
Fax No (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No | Sheet No |
|----------|----------|------------|----------|------------|----------|
| 1" = 60' | DWP | KHA | Jan 2023 | 064537507 | 8 OF 22 |

MATCHLINE (SEE SHEET 8)



MATCHLINE (SEE SHEET 10)



LEGEND

Δ = CENTRAL ANGLE
 P O B = POINT OF BEGINNING
 IRF = IRON ROD FOUND
 R O W = RIGHT-OF-WAY
 V.E. = VISIBILITY EASEMENT B.L. = BUILDING LINE
 U.E. = UTILITY EASEMENT
 S.W.E. = SIDEWALK EASEMENT
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 D.R.E.C.T. = DEED RECORDS OF ELLIS COUNTY, TEXAS
 O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
 P.R.E.C.T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
 (C90) = LOT CURVE LABEL (SEE TABLE SH 19)
 = STREET NAME CHANGE

APPLICANT:

Kimley-Horn and Associates, Inc.
 13455 Noel Road, Two Galleria Office
 Tower, Suite 700
 Dallas, Texas 75240
 Phone 972-778-1785
 Contact Christopher Hernandez, P.E.

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CITY CASE NO. SUB-126-2022

PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE

WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
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 PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

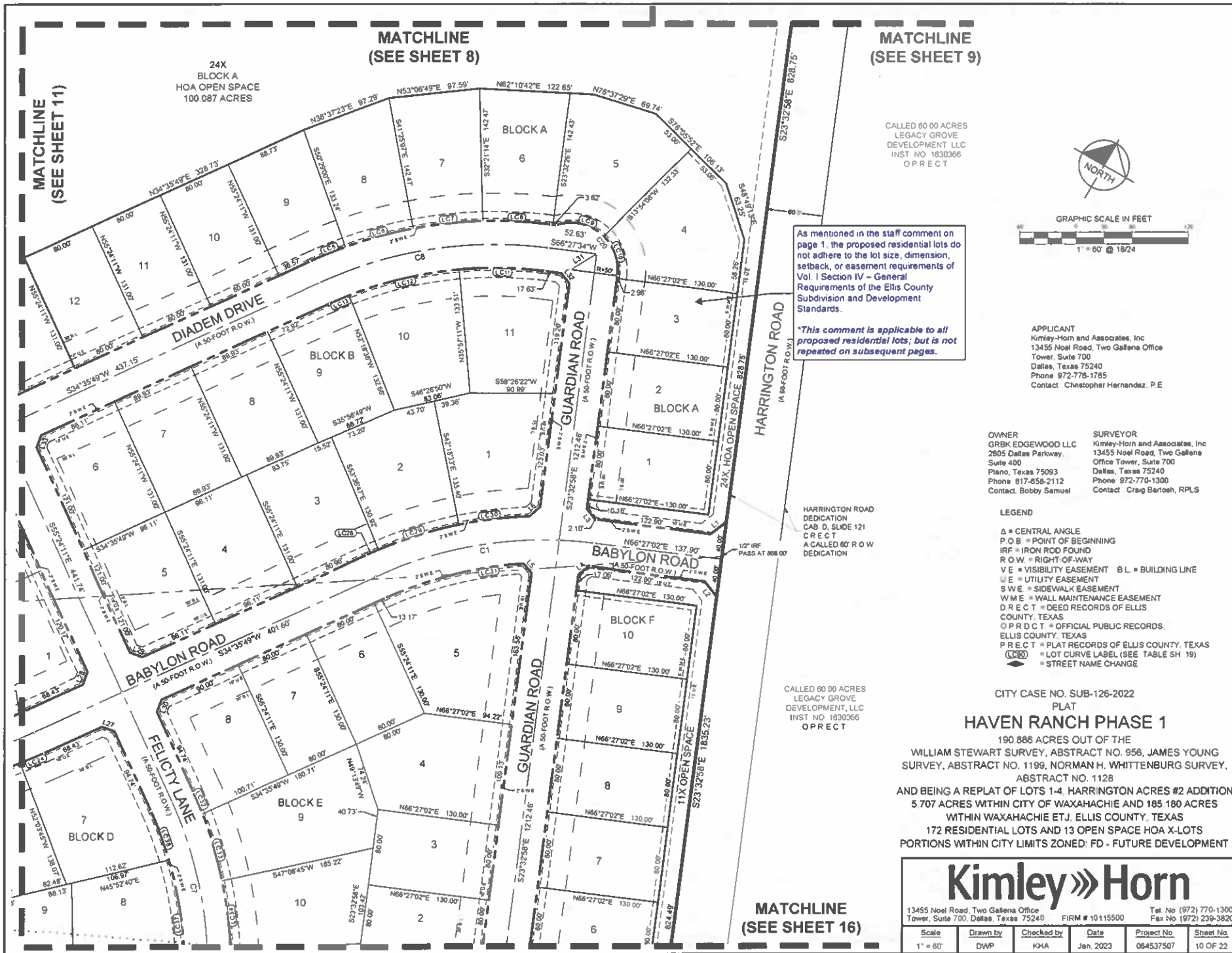
Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | DWP | KHA | Jan. 2023 | 064537507 | 9 OF 22 |

C:\Users\jordan\OneDrive\Documents\Haven Ranch Phase 1\Haven Ranch Phase 1.dwg PLOT DATE: 01/11/2023 PLOT BY: JORDAN

(10)



MATCHLINE
(SEE SHEET 7)

MATCHLINE
(SEE SHEET 8)

CALLED 50.011 ACRES
TRACT 3
GRBK EDGEWOOD LLC
INST NO. 2202337
O P R E C T

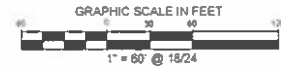
24X
BLOCK A
HOA OPEN SPACE
100.087 ACRES

MATCHLINE
(SEE SHEET 12)

BLOCK A

23X
HOA OPEN SPACE
4.230 ACRES

MATCHLINE
(SEE SHEET 15)



LEGEND

- Δ = CENTRAL ANGLE
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- P R E C T = PLAT RECORDS OF ELLIS COUNTY, TEXAS
- (LC80) = LOT CURVE LABEL (SEE TABLE SM 19)
- ◆ = STREET NAME CHANGE

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Contact: Craig Barboan, RPLS

CITY CASE NO. SUB-126-2022
PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
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PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

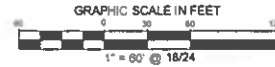
13455 Noel Road, Two Gallens Office
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel No (972) 778-1300
Fax No (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | DWP | KHA | Jan. 2023 | 084537507 | 11 OF 22 |

[illegible]

MATCHLINE
(SEE SHEET 3)

MATCHLINE
(SEE SHEET 4)



LEGEND

- Δ = CENTRAL ANGLE
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- R.O.W. = RIGHT-OF-WAY
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- D.R.E.C.T. = DEED RECORDS OF ELLIS COUNTY, TEXAS
- O.P.R.E.C.T. = OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
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Contact: Bobby Samuel

SURVEYOR: Kimley-Horn and Associates, Inc.
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CITY CASE NO. SUB-126-2022

PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE

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PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

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| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | DWP | KHA | Jan. 2023 | 064537507 | 13 OF 22 |

CALLED 104.099 ACRES
TRACT 7
GRBK EDGEWOOD LLC
INST NO. 2202337
O.P.R.E.C.T.

WAXAHACHIE CITY LIMITS
PER ORDINANCE NO. 2426
VOL. 2340, PG. 736
O.P.R.E.C.T.

CALLED 458.928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO. 2202337
O.P.R.E.C.T.

24X
BLOCK A
HOA OPEN SPACE
100.087 ACRES

HAVEN RANCH
BOULEVARD
(80-FOOT R.O.W.)
1X BLOCK N, HOA OPEN SPACE

Δ=57°05'22"
R=2945.00'
L=2934.39'
CB=S87°52'35"W
C=2814.50'

C=4232.41'
CB=N75°48'22"W
L=4897.04'
R=3000.00'
Δ=69°43'27"

CALLED 456.928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO. 2202337
O.P.R.E.C.T.

WAXAHACHIE CITY LIMITS
PER ORDINANCE NO. 2426
VOL. 2340, PG. 736
O.P.R.E.C.T.

CITY OF WAXAHACHIE, TEXAS - 13455 NOEL ROAD, TWO GALLENS OFFICE TOWER, SUITE 700, DALLAS, TEXAS 75240 - 972-776-1300 - 972-239-3620 - WWW.KHASSOCIATES.COM - 1/13/2023 10:21 AM LAST SAVED 01/13/2023 10:21 AM



Δ = CENTRAL ANGLE
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
R.O.W. = RIGHT-OF-WAY
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U.E. = UTILITY EASEMENT
S.W.E. = SIDEWALK EASEMENT
W.M.E. = WALL MAINTENANCE EASEMENT
D.R.E.C.T. = DEED RECORDS OF ELLIS
COUNTY, TEXAS
P.R.D.C.T. = OFFICIAL PUBLIC RECORDS,
ELLIS COUNTY, TEXAS
P.R.E.C.T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
L.C.S. = LOT CURVE LABEL (SEE TABLE SH 19)
S.S. = STREET NAME CHANGE

PLAT

190,886 ACRES OUT OF THE

WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

APPLICANT:
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Tower, Suite 700, Dallas, Texas 75240

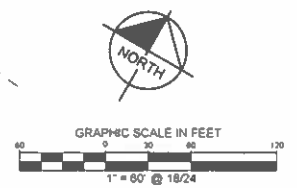
FIRM # 10115500

Tel. No (972) 770-1300
Fax No (972) 239-3820

| | | | | | |
|-------------------|-----------------|-------------------|------------------|-------------------------|----------------------|
| Scale 1" = 60' | Drawn by DWP | Checked by KHA | Date Jan 2023 | Project No 064537507 | Sheet No 14 OF 22 |
|-------------------|-----------------|-------------------|------------------|-------------------------|----------------------|


200

MATCHLINE (SEE SHEET 16)



SURVEYOR.
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Galleria
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972-770-1300
Contact: Craig Bartosh, RPLS

LEGEND

Δ = CENTRAL ANGLE
P O B = POINT OF BEGINNING
IRF = IRON ROD FOUND
R O W = RIGHT-OF-WAY
V E = VISIBILITY EASEMENT B . L . = BUILDING LINE
U . E . = UTILITY EASEMENT
S W E = SIDEWALK EASEMENT
W M E = WALL MAINTENANCE EASEMENT
D R E C T = DEED RECORDS OF ELLIS
COUNTY, TEXAS
O P R D C T = OFFICIAL PUBLIC RECORDS,
ELLIS COUNTY, TEXAS
P R E C T = PLAT RECORDS OF ELLIS COUNTY, TEXAS
(C C R) = LOT CURVE LABEL (SEE TABLE SH 19)
 = STREET NAME CHANGE

CITY CASE NO. SUB-126-2022
PLAT
HAVEN RANCH PHASE 1
190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

13455 Noel Road, Two Galleria Office Tel. No. (972) 770-1300
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Fax No. (972) 239-3820

| | | | | | |
|--------------------------|------------------------|--------------------------|--------------------------|--------------------------------|-----------------------------|
| <u>Scale</u> 1" = 60' | <u>Drawn by</u> DWP | <u>Checked by</u> KHA | <u>Date</u> Jan. 2023 | <u>Project No</u> 064537507 | <u>Sheet No</u> 17 OF 22 |
|--------------------------|------------------------|--------------------------|--------------------------|--------------------------------|-----------------------------|

MATCHLINE (SEE SHEET 15)



CALLLED 456 928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO 2202337
OPRECT

Δ=29°43'57"
R=2945.00'
L=1528.24'
CB=N47°32'43"W
C=1511.15'

N12°49'49"E
21.08'
N31°48'13"W
60.00'

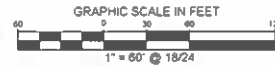
S58°11'47"W
15.00'
N76°26'26"W
21.08'
C24
S58°11'47"W
80.02'

HARRINGTON ROAD

N58°11'47"E 376.51' (A 60-FOOT R.O.W.)

CALLLED 456 928 ACRES
TRACT 1
GRBK EDGEWOOD LLC
INST NO 2202337
OPRECT

Δ=19°50'26"
R=690.00'
L=238.94'
CB=S48°16'34"W
C=237.74'



APPLICANT
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallena Office
Tower, Suite 700
Dallas, Texas 75240
Phone 972-776-1765
Contact: Christopher Hernandez, P.E.

OWNER
GRBK EDGEWOOD LLC
2805 Dallas Parkway,
Suite 400
Plano, Texas 75093
Phone 817-658-2112
Contact: Bobby Samuel

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallena
Office Tower, Suite 700
Dallas, Texas 75240
Phone 972-776-1300
Contact: Craig Barosh, RPLS

LEGEND

- Δ = CENTRAL ANGLE
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- R.O.W. = RIGHT-OF-WAY
- V.E. = VISIBILITY EASEMENT
- U.E. = UTILITY EASEMENT
- S.W.E. = SIDEWALK EASEMENT
- W.M.E. = WALL MAINTENANCE EASEMENT
- D.R.E.C.T. = DEED RECORDS OF ELLIS COUNTY, TEXAS
- O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
- P.R.E.C.T. = PLAT RECORDS OF ELLIS COUNTY, TEXAS
- (LCB) = LOT CURVE LABEL (SEE TABLE SH 19)
- = STREET NAME CHANGE

CITY CASE NO. SUB-126-2022
PLAT
HAVEN RANCH PHASE 1
190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4 HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

13455 Noel Road, Two Gallena Office
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel No (972) 770-1300
Fax No (972) 239-3820

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|----------|-------------|-----------|
| 1" = 60' | DWP | KHA | Jan 2023 | 064537507 | 18 OF 22 |

CADD: JAVIER GARCIA 1/19/2023 10:32 AM LAST SAVED 1/19/2023 10:32 AM

| LOT CURVE TABLE | | | | | | LOT CURVE TABLE | | | | | | LOT CURVE TABLE | | | | | | LOT CURVE TABLE | | | | | |
|-----------------|-----------|---------|--------|---------------|--------|-----------------|----------|---------|--------|---------------|--------|-----------------|-----------|---------|--------|---------------|--------|-----------------|-----------|---------|--------|---------------|--------|
| NO | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD | NO | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD | NO | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD | NO | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD |
| LC1 | 8°03'53" | 475.00 | 75.15 | S31°59'27"W | 75.07 | LC41 | 3°21'08" | 1337.00 | 78.23 | S52°50'29"W | 78.22 | LC81 | 9°33'11" | 475.00 | 48.04 | N88°44'30"W | 48.02 | LC121 | 9°30'08" | 3201.00 | 28.08 | N41°17'35"W | 28.08 |
| LC2 | 8°03'53" | 475.00 | 75.15 | S40°58'20"W | 75.07 | LC42 | 3°21'08" | 1337.00 | 78.23 | S49°29'20"W | 78.22 | LC82 | 9°47'02" | 475.00 | 47.85 | S87°35'22"W | 47.83 | LC122 | 17°48'18" | 50.00 | 15.48 | S32°40'05"E | 15.43 |
| LC3 | 3°44'45" | 475.00 | 31.05 | S47°23'38"W | 31.05 | LC43 | 3°21'08" | 1337.00 | 78.23 | S48°08'11"W | 78.22 | LC83 | 3°24'35" | 475.00 | 28.31 | S82°58'25"W | 28.31 | LC123 | 38°48'02" | 50.00 | 34.70 | S03°54'19"E | 34.01 |
| LC4 | 13°30'58" | 430.38 | 101.52 | N42°30'33"E | 101.28 | LC44 | 3°21'08" | 1337.00 | 78.23 | S42°47'02"W | 78.22 | LC84 | 0°44'29" | 475.00 | 8.15 | S80°54'43"W | 8.15 | LC124 | 43°18'53" | 50.00 | 37.80 | S37°38'08"W | 36.81 |
| LC5 | 4°56'10" | 475.00 | 40.78 | S37°03'25"W | 40.77 | LC45 | 3°00'32" | 1337.00 | 70.21 | S38°38'11"W | 70.20 | LC85 | 9°47'02" | 475.00 | 47.85 | S77°38'57"W | 47.83 | LC125 | 14°38'08" | 50.00 | 12.79 | S88°37'08"W | 12.75 |
| LC6 | 8°03'53" | 475.00 | 75.15 | S44°02'58"W | 75.07 | LC46 | 2°11'34" | 3573.00 | 138.74 | N89°06'32"W | 138.73 | LC86 | 9°47'02" | 475.00 | 47.85 | S71°51'55"W | 47.83 | LC126 | 0°53'35" | 3251.00 | 54.45 | N40°48'00"W | 54.45 |
| LC7 | 8°03'53" | 475.00 | 75.15 | S53°08'48"W | 75.07 | LC47 | 2°04'07" | 3573.00 | 128.01 | N81°14'22"W | 128.00 | LC87 | 9°47'02" | 475.00 | 47.85 | S68°04'52"W | 47.83 | LC127 | 0°53'35" | 3251.00 | 48.88 | N38°53'58"W | 48.88 |
| LC8 | 8°48'48" | 475.00 | 73.07 | S82°03'10"W | 72.88 | LC48 | 1°22'09" | 3523.00 | 84.18 | N81°29'50"W | 84.18 | LC88 | 9°47'02" | 475.00 | 47.85 | S80°17'50"W | 47.83 | LC128 | 0°53'35" | 3251.00 | 48.88 | N38°00'23"W | 48.88 |
| LC9 | 6°31'00" | 58.00 | 56.20 | S72°15'38"W | 52.48 | LC49 | 1°20'35" | 3523.00 | 82.58 | N80°08'28"W | 82.58 | LC89 | 9°47'02" | 475.00 | 47.85 | S54°30'47"W | 47.83 | LC129 | 0°53'35" | 3251.00 | 48.88 | N38°07'51"W | 48.88 |
| LC10 | 52°32'33" | 58.00 | 45.88 | N48°48'25"W | 44.27 | LC50 | 1°20'35" | 3523.00 | 82.58 | N88°47'54"W | 82.58 | LC90 | 3°31'04" | 475.00 | 28.18 | S46°51'44"W | 28.18 | LC130 | 0°53'35" | 3251.00 | 48.88 | N37°19'18"W | 48.88 |
| LC11 | 12°24'45" | 425.00 | 92.07 | S80°15'11"W | 81.88 | LC51 | 1°20'35" | 3523.00 | 82.58 | N87°27'19"W | 82.58 | LC91 | 8°01'32" | 425.00 | 50.53 | S52°08'58"W | 50.48 | LC131 | 0°56'21" | 3251.00 | 53.28 | N36°20'51"W | 53.28 |
| LC12 | 18°21'25" | 425.00 | 121.33 | S45°57'07"W | 120.82 | LC52 | 1°34'33" | 3523.00 | 98.88 | N55°58'45"W | 98.88 | LC92 | 15°58'28" | 425.00 | 118.48 | S64°08'58"W | 118.11 | LC132 | 0°59'28" | 3080.00 | 48.88 | N40°34'48"W | 48.88 |
| LC13 | 3°05'35" | 425.00 | 22.84 | S36°08'37"W | 22.84 | LC53 | 4°04'18" | 1287.00 | 91.47 | S40°21'03"W | 91.45 | LC93 | 8°10'48" | 425.00 | 68.08 | S78°41'34"W | 68.02 | LC133 | 0°59'28" | 3080.00 | 48.88 | N38°38'22"W | 48.88 |
| LC14 | 5°52'45" | 480.38 | 48.28 | N37°32'12"E | 48.27 | LC54 | 4°01'45" | 1287.00 | 90.50 | S44°24'05"W | 90.48 | LC94 | 10°41'24" | 275.00 | 51.31 | N00°41'24"E | 51.23 | LC134 | 0°59'28" | 3080.00 | 48.88 | N38°43'57"W | 48.88 |
| LC15 | 8°47'27" | 480.38 | 73.70 | N44°52'18"E | 73.63 | LC55 | 4°01'45" | 1287.00 | 90.50 | S48°25'50"W | 90.48 | LC95 | 3°03'37" | 325.00 | 17.38 | N03°45'00"W | 17.38 | LC135 | 0°59'28" | 3080.00 | 48.88 | N37°48'31"W | 48.88 |
| LC16 | 8°18'58" | 425.00 | 81.88 | S45°08'32"W | 81.83 | LC56 | 4°01'45" | 1287.00 | 90.50 | S52°27'54"W | 90.48 | LC96 | 8°15'17" | 325.00 | 48.82 | N01°54'27"E | 48.78 | LC136 | 0°59'28" | 3080.00 | 48.88 | N38°53'05"W | 48.88 |
| LC17 | 15°21'18" | 425.00 | 113.88 | S33°18'28"W | 113.55 | LC57 | 4°01'45" | 1287.00 | 90.50 | S58°29'19"W | 90.48 | LC97 | 4°08'01" | 474.00 | 34.28 | N08°08'08"E | 34.18 | LC137 | 0°59'28" | 3080.00 | 48.88 | N35°57'38"W | 48.88 |
| LC18 | 1°59'24" | 3573.00 | 118.93 | N86°27'00"W | 118.93 | LC58 | 4°12'58" | 1287.00 | 94.71 | S80°36'41"W | 94.68 | LC98 | 9°47'45" | 474.00 | 47.85 | N13°00'58"E | 47.83 | LC138 | 0°59'28" | 3080.00 | 48.88 | N35°02'13"W | 48.88 |
| LC19 | 1°56'28" | 3573.00 | 120.01 | N84°31'34"W | 120.01 | LC59 | 2°08'14" | 1287.00 | 45.01 | S63°43'17"W | 45.01 | LC99 | 9°47'45" | 474.00 | 47.85 | N18°51'43"E | 47.83 | LC139 | 0°59'28" | 3080.00 | 48.88 | N34°08'48"W | 48.88 |
| LC20 | 6°55'08" | 550.00 | 81.82 | S38°08'14"W | 81.58 | LC60 | 1°43'38" | 1287.00 | 38.80 | S85°35'13"W | 38.80 | LC100 | 9°47'45" | 474.00 | 47.85 | N24°38'28"E | 47.83 | LC140 | 0°59'03" | 3080.00 | 48.32 | N33°11'33"W | 48.32 |
| LC21 | 6°55'14" | 550.00 | 88.43 | S45°48'25"W | 88.38 | LC61 | 1°43'38" | 1025.00 | 30.80 | S85°35'13"W | 30.80 | LC101 | 9°47'45" | 474.00 | 47.85 | N00°27'12"E | 47.83 | LC141 | 9°47'45" | 585.00 | 80.18 | N33°38'11"E | 80.18 |
| LC22 | 12°43'18" | 425.00 | 84.37 | N42°54'22"E | 84.17 | LC62 | 2°38'58" | 1025.00 | 45.01 | S63°43'17"W | 45.01 | LC102 | 9°47'45" | 474.00 | 47.85 | N08°14'57"E | 47.83 | LC142 | 9°47'45" | 585.00 | 80.18 | N47°58'28"E | 80.18 |
| LC23 | 1°58'53" | 425.00 | 14.45 | N35°34'18"E | 14.45 | LC63 | 4°38'28" | 1025.00 | 83.02 | S58°53'12"W | 82.88 | LC103 | 9°47'45" | 474.00 | 47.85 | N42°02'42"E | 47.83 | LC143 | 9°47'45" | 585.00 | 80.18 | N42°02'42"E | 80.18 |
| LC24 | 3°20'28" | 475.00 | 27.88 | N08°18'02"E | 27.88 | LC64 | 4°42'43" | 1025.00 | 84.30 | S55°12'58"W | 84.27 | LC104 | 9°47'45" | 474.00 | 47.85 | N47°50'28"E | 47.83 | LC144 | 9°47'45" | 585.00 | 80.18 | N38°14'57"E | 80.18 |
| LC25 | 8°58'10" | 475.00 | 82.85 | N42°55'20"E | 82.55 | LC65 | 4°42'43" | 1025.00 | 84.30 | S58°28'54"W | 84.27 | LC105 | 9°47'45" | 474.00 | 47.85 | N53°38'11"E | 47.83 | LC145 | 9°47'45" | 585.00 | 80.18 | N38°27'12"E | 80.18 |
| LC26 | 12°27'01" | 500.00 | 108.85 | S43°02'31"W | 108.44 | LC66 | 4°42'43" | 1025.00 | 84.30 | S45°47'11"W | 84.27 | LC106 | 10°25'58" | 424.00 | 77.10 | N52°58'48"E | 77.10 | LC146 | 9°47'45" | 585.00 | 80.18 | N24°38'28"E | 80.18 |
| LC27 | 1°08'18" | 430.38 | 8.87 | N05°10'27"E | 8.87 | LC67 | 4°18'55" | 1025.00 | 78.80 | S41°17'22"W | 78.58 | LC107 | 11°11'54" | 424.00 | 82.87 | N42°08'52"E | 82.74 | LC147 | 9°47'45" | 585.00 | 80.18 | N18°51'43"E | 80.18 |
| LC28 | 1°47'24" | 455.00 | 14.21 | S35°28'31"W | 14.21 | LC68 | 1°57'28" | 3573.00 | 122.05 | N83°58'38"W | 122.04 | LC108 | 8°50'38" | 424.00 | 65.44 | N32°08'38"E | 65.38 | LC148 | 9°47'45" | 585.00 | 80.18 | N13°00'58"E | 80.18 |
| LC29 | 11°21'13" | 455.00 | 80.16 | S42°33'50"W | 80.01 | LC69 | 1°55'51" | 3573.00 | 120.41 | N55°55'18"W | 120.40 | LC109 | 8°50'38" | 424.00 | 65.44 | N23°18'00"E | 65.38 | LC149 | 4°08'01" | 585.00 | 42.83 | N08°08'08"E | 42.82 |
| LC30 | 8°36'23" | 455.00 | 78.28 | S52°32'38"W | 78.20 | LC70 | 1°28'21" | 3281.00 | 83.81 | N81°28'08"W | 83.81 | LC110 | 8°50'38" | 424.00 | 65.44 | N14°27'24"E | 65.38 | LC150 | 1°38'44" | 585.00 | 17.28 | N57°21'55"E | 17.28 |
| LC31 | 31°37'08" | 450.00 | 152.82 | S45°24'42"W | 151.91 | LC71 | 1°23'34" | 3281.00 | 79.27 | N80°02'08"W | 79.27 | LC111 | 4°00'00" | 424.00 | 28.80 | N08°02'08"E | 28.58 | LC151 | 0°53'12" | 3080.00 | 47.88 | N41°29'08"W | 47.88 |
| LC32 | 31°30'08" | 450.00 | 25.28 | N53°47'38"W | 25.27 | LC72 | 1°23'34" | 3281.00 | 79.27 | N58°38'34"W | 79.27 | LC112 | 0°57'10" | 3201.00 | 53.23 | N03°10'00"W | 53.23 | LC152 | 1°38'44" | 474.00 | 13.75 | N57°21'55"E | 13.75 |
| LC33 | 8°18'50" | 450.00 | 73.28 | N47°31'10"W | 73.20 | LC73 | 1°23'34" | 3281.00 | 79.27 | N57°15'00"W | 79.27 | LC113 | 0°55'28" | 3201.00 | 51.81 | N34°08'48"W | 51.81 | LC153 | 12°45'31" | 875.00 | 150.31 | N22°08'58"E | 150.02 |
| LC34 | 8°32'08" | 450.00 | 74.88 | N38°05'11"W | 74.81 | LC74 | 1°18'00" | 3281.00 | 73.88 | N58°54'13"W | 73.88 | LC114 | 0°59'28" | 3201.00 | 51.81 | N35°02'13"W | 51.81 | LC154 | 36°11'04" | 50.00 | 30.70 | S05°58'54"W | 30.22 |
| LC35 | 7°08'08" | 450.00 | 56.05 | N28°48'02"E | 56.01 | LC75 | 1°30'35" | 3211.00 | 84.61 | N81°20'53"W | 84.61 | LC115 | 0°59'28" | 3201.00 | 51.81 | N35°57'38"W | 51.81 | LC155 | 1°21'38" | 475.00 | 11.27 | N48°38'14"E | 11.27 |
| LC36 | 1°07'58" | 1337.00 | 28.44 | S85°53'02"W | 28.44 | LC76 | 1°28'41" | 3211.00 | 82.84 | N58°51'15"W | 82.84 | LC116 | 0°59'28" | 3201.00 | 51.81 | N38°53'05"W | 51.81 | | | | | | |
| LC37 | 21°24'54" | 400.00 | 148.51 | N36°53'25"W | 148.64 | LC77 | 1°28'42" | 3211.00 | 82.84 | N58°22'33"W | 82.84 | LC117 | 0°59'28" | 3201.00 | 51.81 | N37°48'31"W | 51.81 | | | | | | |
| LC38 | 7°48'19" | 400.00 | 54.48 | N41°30'01"W | 54.45 | LC78 | 1°28'42" | 3211.00 | 82.84 | N58°53'52"W | 82.84 | LC118 | 0°59'28" | 3201.00 | 51.81 | N38°43'57"W | 51.81 | | | | | | |
| LC39 | 4°28'51" | 1337.00 | 103.78 | S80°06'37"W | 103.73 | LC79 | 1°10'07" | 3211.00 | 85.48 | N58°34'28"W | 85.48 | LC119 | 0°59'28" | 3201.00 | 51.81 | N38°38'22"W | 51.81 | | | | | | |
| LC40 | 3°21'08" | 1337.00 | 78.23 | S56°11'38"W | 78.22 | LC80 | 2°01'31" | 50.00 | 17.74 | S85°08'08"E | 17.64 | LC120 | 0°59'28" | 3201.00 | 51.81 | N48°34'48"W | 51.81 | | | | | | |

| CURVE TABLE | | | | | |
|-------------|------------|---------|--------|---------------|--------|
| NO | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD |
| C1 | 31°51'12" | 430.00 | 238.08 | S50°31'26"W | 235.88 |
| C2 | 14°40'12" | 450.00 | 115.22 | N41°55'55"E | 114.90 |
| C3 | 22°15'44" | 525.00 | 200.88 | S38°08'08"W | 202.71 |
| C4 | 15°32'14" | 354.00 | 98.13 | N80°12'29"W | 89.16 |
| C5 | 28°15'48" | 1000.00 | 510.73 | S51°48'08"W | 905.20 |
| C6 | 28°48'28" | 1312.00 | 881.79 | S51°33'48"W | 874.14 |
| C7 | 28°13'13" | 425.00 | 218.75 | N40°47'34"W | 214.42 |
| C8 | 31°51'45" | 450.00 | 250.25 | S50°31'42"W | 247.03 |
| C9 | 14°40'12" | 450.00 | 115.22 | N41°55'55"E | 114.90 |
| C10 | 28°18'53" | 450.00 | 222.38 | S35°08'38"W | 220.13 |
| C11 | 8°21'22" | 323.80 | 471.87 | N86°48'01"W | 471.58 |
| C12 | 33°10'45" | 450.00 | 280.58 | S64°41'35"W | 258.88 |
| C13 | 14°45'08" | 450.00 | 115.88 | S88°38'32"W | 115.54 |
| C14 | 52°08'41" | 845.00 | 587.20 | S12°06'58"E | 587.13 |
| C15 | 52°08'41" | 845.00 | 408.78 | N32°08'58"E | 384.78 |
| C17 | 14°45'08" | 300.00 | 77.24 | N01°20'28"W | 77.03 |
| C18 | 10°05'25" | 323.80 | 588.28 | N08°51'00"W | 587.55 |
| C19 | 118°48'32" | 50.00 | 101.94 | S34°50'00"E | 85.16 |
| C20 | 118°48'32" | 50.00 | 101.06 | N81°25'56"W | 84.73 |
| C21 | 138°48'58" | 50.00 | 122.01 | N62°56'58"E | 83.91 |
| C22 | 115°29'28" | 50.00 | 100.78 | N81°15'53"E | 84.57 |
| C23 | 115°29'22" | 50.00 | 100.78 | S16°12'02"W | 84.57 |
| C24 | 0°17'25" | 2980.00 | 15.00 | N00°49'15"W | 15.00 |
| C25 | 0°17'58" | 3040.00 | 15.00 | S00°48'51"E | 15.00 |

| LOT | BLOCK | SQ. FT. | ACRES |
|---------|-------|-----------|---------|
| LOT 1 | A | 10,400 | 0.238 |
| LOT 2 | A | 10,400 | 0.238 |
| LOT 3 | A | 10,400 | 0.238 |
| LOT 4 | A | 14,948 | 0.343 |
| LOT 5 | A | 14,097 | 0.324 |
| LOT 6 | A | 12,161 | 0.279 |
| LOT 7 | A | 12,188 | 0.280 |
| LOT 8 | A | 11,738 | 0.270 |
| LOT 9 | A | 10,809 | 0.250 |
| LOT 10 | A | 10,480 | 0.241 |
| LOT 11 | A | 10,480 | 0.241 |
| LOT 12 | A | 10,480 | 0.241 |
| LOT 13X | A | 21,826 | 0.505 |
| LOT 14 | A | 11,962 | 0.275 |
| LOT 15 | A | 10,480 | 0.241 |
| LOT 16 | A | 10,480 | 0.241 |
| LOT 17 | A | 10,480 | 0.241 |
| LOT 18 | A | 10,480 | 0.241 |
| LOT 19 | A | 10,798 | 0.248 |
| LOT 20 | A | 11,205 | 0.257 |
| LOT 21 | A | 11,205 | 0.257 |
| LOT 22 | A | 10,848 | 0.249 |
| LOT 23X | A | 184,271 | 4.230 |
| LOT 24X | A | 4,357,223 | 100.067 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | B | 14,509 | 0.333 |
| LOT 2 | B | 13,830 | 0.316 |
| LOT 3 | B | 12,734 | 0.292 |
| LOT 4 | B | 12,560 | 0.289 |
| LOT 5 | B | 12,540 | 0.288 |
| LOT 6 | B | 12,540 | 0.288 |
| LOT 7 | B | 11,780 | 0.270 |
| LOT 8 | B | 11,780 | 0.270 |
| LOT 9 | B | 12,188 | 0.280 |
| LOT 10 | B | 13,794 | 0.316 |
| LOT 11 | B | 13,674 | 0.311 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | C | 11,857 | 0.272 |
| LOT 2 | C | 11,845 | 0.274 |
| LOT 3 | C | 10,490 | 0.241 |
| LOT 4 | C | 10,480 | 0.241 |
| LOT 5 | C | 10,480 | 0.241 |
| LOT 6 | C | 10,480 | 0.241 |
| LOT 7 | E | 11,108 | 0.255 |
| LOT 8 | E | 12,743 | 0.290 |
| LOT 9 | E | 12,704 | 0.315 |
| LOT 10 | E | 11,470 | 0.263 |
| LOT 11 | E | 10,888 | 0.250 |
| LOT 12 | C | 10,888 | 0.250 |
| LOT 13 | C | 10,888 | 0.250 |
| LOT 14 | C | 10,888 | 0.250 |
| LOT 15 | C | 11,589 | 0.268 |
| LOT 16 | C | 12,215 | 0.280 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | D | 13,992 | 0.321 |
| LOT 2 | D | 11,879 | 0.273 |
| LOT 3 | D | 11,511 | 0.264 |
| LOT 4 | D | 11,511 | 0.264 |
| LOT 5 | D | 11,822 | 0.267 |
| LOT 6 | D | 12,567 | 0.289 |
| LOT 7 | D | 16,263 | 0.374 |
| LOT 8 | D | 13,545 | 0.311 |
| LOT 9 | D | 11,827 | 0.274 |
| LOT 10 | D | 11,014 | 0.253 |
| LOT 11 | D | 10,760 | 0.247 |
| LOT 12 | D | 10,957 | 0.252 |
| LOT 13 | D | 11,403 | 0.262 |
| LOT 14 | D | 13,055 | 0.300 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | E | 12,300 | 0.282 |
| LOT 2 | E | 10,400 | 0.238 |
| LOT 3 | E | 18,400 | 0.239 |
| LOT 4 | E | 15,185 | 0.346 |
| LOT 5 | E | 20,377 | 0.468 |
| LOT 6 | E | 10,400 | 0.239 |
| LOT 7 | E | 10,400 | 0.239 |
| LOT 8 | E | 12,958 | 0.297 |
| LOT 9 | E | 18,405 | 0.377 |
| LOT 10 | E | 13,172 | 0.302 |
| LOT 11 | F | 13,128 | 0.301 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | F | 10,400 | 0.239 |
| LOT 2 | F | 10,400 | 0.239 |
| LOT 3 | F | 10,400 | 0.239 |
| LOT 4 | F | 10,400 | 0.239 |
| LOT 5 | F | 10,400 | 0.239 |
| LOT 6 | F | 10,400 | 0.239 |
| LOT 7 | F | 10,400 | 0.239 |
| LOT 8 | F | 10,400 | 0.239 |
| LOT 9 | F | 10,400 | 0.239 |
| LOT 10 | F | 10,400 | 0.239 |
| LOT 11 | F | 23,868 | 0.548 |

| LOT | BLOCK | SQ. FT. | ACRES |
|---------|-------|---------|-------|
| LOT 1 | G | 12,385 | 0.285 |
| LOT 2 | G | 10,480 | 0.241 |
| LOT 3 | G | 10,626 | 0.244 |
| LOT 4 | G | 11,872 | 0.275 |
| LOT 5 | G | 11,755 | 0.270 |
| LOT 6 | G | 11,763 | 0.270 |
| LOT 7 | G | 11,775 | 0.270 |
| LOT 8 | G | 12,346 | 0.283 |
| LOT 9 | G | 11,927 | 0.274 |
| LOT 10 | G | 11,242 | 0.256 |
| LOT 11 | G | 11,226 | 0.256 |
| LOT 12 | G | 11,242 | 0.256 |
| LOT 13 | G | 11,248 | 0.256 |
| LOT 14 | G | 11,454 | 0.263 |
| LOT 15 | G | 11,131 | 0.256 |
| LOT 16 | G | 10,480 | 0.241 |
| LOT 17 | G | 12,385 | 0.285 |
| LOT 18X | G | 11,793 | 0.271 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | H | 13,641 | 0.313 |
| LOT 2 | H | 10,842 | 0.244 |
| LOT 3 | H | 10,830 | 0.244 |
| LOT 4 | H | 10,627 | 0.244 |
| LOT 5 | H | 10,701 | 0.248 |
| LOT 8x | H | 5,012 | 0.115 |
| LOT 7 | H | 10,085 | 0.245 |
| LOT 8 | H | 10,581 | 0.243 |
| LOT 9 | H | 10,570 | 0.243 |
| LOT 10 | H | 10,567 | 0.243 |
| LOT 11 | H | 11,234 | 0.258 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|--------|
| LOT 1 | 1 | 10,725 | 0.246 |
| LOT 2 | 1 | 10,831 | 0.244 |
| LOT 3 | 1 | 10,831 | 0.244 |
| LOT 4 | 1 | 10,831 | 0.244 |
| LOT 5 | 1 | 10,648 | 0.245 |
| LOT 8X | 1 | 815,488 | 18.721 |
| LOT 7 | 1 | 8,554 | 0.151 |
| LOT 8 | 1 | 8,574 | 0.151 |
| LOT 9 | 1 | 8,353 | 0.146 |
| LOT 10 | 1 | 8,050 | 0.138 |
| LOT 11 | 1 | 8,114 | 0.140 |
| LOT 12 | 1 | 8,546 | 0.150 |
| LOT 13 | 1 | 8,578 | 0.151 |
| LOT 14 | 1 | 8,578 | 0.151 |
| LOT 15 | 1 | 8,578 | 0.151 |
| LOT 18 | 1 | 8,578 | 0.151 |
| LOT 17 | 1 | 8,381 | 0.148 |
| LOT 18 | 1 | 8,050 | 0.138 |
| LOT 19 | 1 | 8,050 | 0.138 |
| LOT 20 | 1 | 8,171 | 0.142 |
| LOT 21 | 1 | 8,264 | 0.146 |
| LOT 22 | 1 | 8,553 | 0.197 |
| LOT 23 | 1 | 9,149 | 0.210 |
| LOT 24 | 1 | 7,448 | 0.171 |
| LOT 25 | 1 | 8,127 | 0.141 |
| LOT 26 | 1 | 8,127 | 0.141 |
| LOT 27 | 1 | 8,127 | 0.141 |
| LOT 28 | 1 | 8,127 | 0.141 |
| LOT 29 | 1 | 8,127 | 0.141 |
| LOT 30 | 1 | 8,127 | 0.141 |
| LOT 31 | 1 | 8,127 | 0.141 |
| LOT 32 | 1 | 8,127 | 0.141 |
| LOT 33 | 1 | 6,204 | 0.142 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1 | J | 12,108 | 0.201 |
| LOT 2 | J | 8,862 | 0.204 |
| LOT 3 | J | 8,551 | 0.198 |
| LOT 4 | J | 8,408 | 0.216 |
| LOT 5 | J | 7,903 | 0.181 |
| LOT 6 | J | 6,189 | 0.142 |
| LOT 7 | J | 6,283 | 0.144 |
| LOT 8 | J | 6,438 | 0.148 |
| LOT 9 | J | 6,834 | 0.152 |
| LOT 10 | J | 8,235 | 0.212 |
| LOT 11 | J | 11,267 | 0.257 |
| LOT 12 | J | 8,576 | 0.187 |
| LOT 13 | J | 7,908 | 0.182 |
| LOT 14 | J | 7,152 | 0.184 |
| LOT 15 | J | 6,360 | 0.147 |
| LOT 16 | J | 6,071 | 0.139 |
| LOT 17 | J | 10,736 | 0.247 |

| LOT | BLOCK | SQ. FT. | ACRES |
|---------|-------|---------|-------|
| LOT 1 | K | 8,793 | 0.198 |
| LOT 2 | K | 8,050 | 0.138 |
| LOT 3 | K | 8,050 | 0.138 |
| LOT 4 | K | 8,401 | 0.147 |
| LOT 5 | K | 8,542 | 0.150 |
| LOT 6 | K | 8,542 | 0.150 |
| LOT 7 | K | 8,542 | 0.150 |
| LOT 8 | K | 8,542 | 0.150 |
| LOT 9 | K | 8,542 | 0.150 |
| LOT 10 | K | 8,542 | 0.150 |
| LOT 11 | K | 8,542 | 0.150 |
| LOT 12 | K | 8,542 | 0.150 |
| LOT 13 | K | 8,182 | 0.142 |
| LOT 14X | K | 22,334 | 0.517 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1X | L | 4,740 | 0.108 |
| LOT 2X | L | 22,708 | 0.521 |
| LOT 3X | L | 2,419 | 0.170 |

| LOT | BLOCK | SQ. FT. | ACRES |
|--------|-------|---------|-------|
| LOT 1X | M | 23,097 | 0.530 |

| | | | |
|--------|-------|-----------|--------|
| LOT | BLOCK | SQ. FT. | ACRES |
| LOT 1X | N | 44,313 | 1.017 |
| ROW | | 1,031,327 | 23.447 |

PLAT

190.886 ACRES OUT OF THE

WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128

AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

OWNER
GR8K EDGEWOOD LLC
2805 Dallas Parkway,
Suite 400
Plano, Texas 75093
Phone: 817-658-2112
Contact: Bobby Samuel

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Galleria
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972-770-1300
Contact: Craig Bartosh, RPLS

APPLICANT:
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Galleria Office
Tower, Suite 700
Dallas, Texas 75240
Phone: 972-778-1765
Contact: Christopher Hernandez, P.E.

Kimley»»Horn

13455 Noel Road, Two Galleria Office
Tower, Suite 700, Dallas, Texas 75240
Tel. No. (972) 770-1300
Fax No. (972) 239-3820
FIRM # 10115500

| | | | | | |
|--------------|-----------------|-------------------|-------------|--------------------|------------------|
| <u>Scale</u> | <u>Drawn by</u> | <u>Checked by</u> | <u>Date</u> | <u>Project No.</u> | <u>Sheet No.</u> |
| | KHA | KHA | Jan. 2023 | 064537507 | 20 OF 22 |

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS

COUNTY OF ELLIS

PROPERTY DESCRIPTION

WHEREAS, GRBK Edgewood LLC, is the sole owner of a tract of land situated in the William Stewart Survey, Abstract No. 956, the James Young Survey, Abstract No. 1199, and the Norman H. Whittenburg Survey, Abstract No. 1128, City of Waxahachie, Ellis County, Texas, and being a portion of a called 456 928 acre tract of land designated as "Tract 1," a portion of a called 420 642 acre tract of land designated as "Tract 2," all of a called 50 011 acre tract of land designated as "Tract 3," a portion of a called 104 099 acre tract of land designated as "Tract 7," and all of a called 0 169 acre tract of land designated as "Tract 8" in a Special Warranty Deed to GRBK Edgewood LLC, recorded in Instrument No. 2202337, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.), and being all of Lots 1 through 4, Harrington Acres No. 2, an addition to Ellis County, Texas, according to the plat thereof recorded in Cabinet H, Slide 317, Plat Records, Ellis County, Texas (P.R.E.C.T.), and designated as "Tract 6" in said Special Warranty Deed to GRBK Edgewood LLC, and being more particularly described as follows

BE BEGINNING at a 1/2" iron rod found at the most southerly corner of said 0 169 acre tract, and being at the most southerly southeast corner of a called 30 962 acre tract of land described in a Warranty Deed to Louis B. Gillespie and wife, Linda L. Gillespie, recorded in Volume 1490, Page 909, O.P.R.E.C.T., and being in the north line of a called 140 0321 acre tract of land described in a Warranty Deed to Patman Farms, recorded in Volume 1633, Page 20, O.P.R.E.C.T., and being in the approximate centerline of Haven Road (a variable width prescriptive right-of-way),

THENCE North 15°22'53" East, with the common line of said 0 169 acre tract and said 30 962 acre tract, and along said Haven Road, a distance OF 221 32 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 4486" found at the most northerly corner of said 0 169 acre tract, being at a southeasterly corner of said 30 962 acre tract, and being in the southwest line of said 104 099 acre tract;

THENCE North 30°57'40" West, with the common line of said 104 099 acre tract and said 30 962 acre tract, and continuing along said Haven Road, a distance of 18 46 feet to a disturbed 1/2" iron rod found at the northwest corner of said 104 099 acre tract, and being at an interior corner of said 30 962 acre tract,

THENCE North 58°35'56" East, continuing with the common line of said 104 099 acre tract and said 30 962 acre tract, and continuing along said Haven Road, passing at a distance of 441 13 feet, a 1/2" iron rod found at the southeast corner of said 30 962 acre tract, same being the most westerly southeast corner of a called 37 3328 acre tract of land described in a Warranty Deed to Doug and Lisa Maynard, recorded in Volume 2741, Page 322, O.P.R.E.C.T., and continuing with the northwest line of said 104 099, the northwest line of the aforementioned 456 928 acre tract, and the southeast line of said 37 3328 acre tract, and the southeast line of a called 1 9886 acre tract of land described in a Deed to Doug Owen Maynard and Lisa A. Maynard, recorded in Volume 1175, Page 1035, O.P.R.E.C.T., and along said Haven Road, for a total distance of 1 299 55 feet to a 1/2" iron rod found at the southeast corner of said 1 9886 acre tract, a southwesterly interior corner of said 37 3328 acre tract, and being at a northerly reentrant corner of said 456 928 acre tract,

THENCE with the northwesterly lines of said 456 928 acre tract, the following courses and distances

South 31°13'30" East, a distance of 128 61 feet to a 1/2" iron rod found for corner,

North 59°42'18" East, a distance of 134 06 feet to a disturbed 3/8" iron rod found for corner,

North 26°16'31" East, a distance of 721 94 feet to a 5/8" iron rod with yellow plastic cap stamped "Peloton" found for corner,

North 20°23'23" East, a distance of 502 03 feet to a 5/8" iron rod with yellow plastic cap stamped "Peloton" found for corner,

North 24°07'47" East, a distance of 547 11 feet to a railroad spike found at the northeast corner of the aforementioned 37 3328 acre tract, and being at the common southerly corner of Lot 22 and Lot 23, Lake Shore Acres, an addition to Ellis County, Texas, according to the plat thereof recorded in Cabinet H, Slide 620, P.R.E.C.T.,

THENCE North 24°56'40" East, with the southeasterly line of said Lake Shore Acres, passing at a distance of 422 02 feet, a 1/2" iron rod found at the recognized common southerly corner of Lot 18 and Lot 17 of said Lake Shore Acres, and continuing with said southeasterly line for a total distance of 627 70 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the recognized common southerly corner of Lot 16 and Lot 15 of said Lake Shore Acres,

THENCE North 72°37'54" East, continuing with said southeasterly line, passing at a distance of 375 18 feet, a railroad spike found at the recognized common southerly corner of Lot 11 and Lot 10 of said Lake Shore Acres, and continuing with said southeasterly line for a total distance of 574 61 feet to the southwest corner of Lot 9 of said Lake Shore Acres and the most northerly corner of said 456 928 acre tract, and being in the westerly line of Lake Waxahachie at the northwest corner of a called 6 804 acre tract of land designated as the "Third Tract" in a Deed to Ellis County Water Control and Improvement District No. One, recorded in Volume 452, Page 572, Deed Records, Ellis County, Texas, from which a 5/8" iron rod with yellow plastic cap stamped "Peloton" found bears North 02°48'12" East, a distance of 8 52 feet,

THENCE with the common line of said 456 928 acre tract, the aforementioned 50 011 acre tract, and said 6 804 acre tract, the following courses and distances

South 02°48'12" West, a distance of 548 29 feet to a 5/8" iron rod found for corner,

South 89°16'51" East, a distance of 440 32 feet to a 1/2" iron rod with yellow plastic cap (stamping illegible) found for corner,

North 43°18'00" East, a distance of 404 93 feet to a 5/8" iron rod with yellow plastic cap stamped "Peloton" found at the southeast corner of said 6 804 acre tract, and being a northerly corner of said 50 011 acre tract,

THENCE South 37°10'30" East, with the easterly line of said 50 011 acre tract, a distance of 611 70 feet to a mag rod found at an easterly corner of said 50 011 acre tract, and being in the north line of a called 2 335 acre Roadway Dedication, Harrington Road, an addition to the City of Waxahachie, Texas, according to the plat thereof recorded in Cabinet D, Slide 121, P.R.E.C.T.,

THENCE South 59°01'00" West, with the north line of said roadway dedication, and continuing with the easterly line of said 50 011 acre tract, a distance of 30 21 feet to a 1/2" iron rod found at the northwest corner of said roadway dedication,

THENCE South 23°32'58" East, with the westerly line of said roadway dedication, same being the westerly right-of-way line of said Harrington Road, and continuing with the easterly line of said 50 011 acre tract, passing at a distance of 865 00 feet, a 1/2" iron rod found at the southeast corner of said 50 011 acre tract, and being at a reentrant corner of the aforementioned 456 928 acre tract, and continuing with said westerly right-of-way line and the easterly line of said 456 928 acre tract, passing at a distance of 1 322 17 feet, a 5/8" iron rod found at the northeast corner of Lot 4 of the aforementioned Harrington Acres No. 2, and continuing with said westerly right-of-way line and the easterly line of said Harrington Acres No. 2 for a total distance of 1 835 23 feet to a 1/2" iron rod found at the southwest corner of said roadway dedication,

THENCE South 31°03'14" East, continuing with the easterly line of said Harrington Acres No. 2, and with the westerly right-of-way line of said Harrington Road a distance of 87 93 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the southeast corner of Lot 1 of said Harrington Acres No. 2,

THENCE North 63°30'51" East, a distance of 22 88 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner in the approximate centerline of said Harrington Road, and being at a northeasterly corner of said 456 928 acre tract,

THENCE with the northwesterly line of said 456 928 acre tract and along said Harrington Road, the following courses and distances

South 32°06'39" East, a distance of 332 18 feet to a 5/8" iron rod found for corner,

South 13°27'37" West, a distance of 254 40 feet to a disturbed 5/8" iron rod with yellow plastic cap (stamping illegible) found for corner,

South 08°02'06" West, a distance of 351 76 feet to a 5/8" iron rod with yellow plastic cap (stamping illegible) found in the approximate centerline of Harrington Road (a variable width prescriptive right-of-way) at the southwest corner of a called 30 foot right-of-way dedication conveyed on the Final Plat of Crystal Cove Estates, an addition to the City of Waxahachie, Texas, according to the plat thereof recorded in Cabinet E, Slide 115, P.R.E.C.T., same being the most northerly northwest corner of the aforementioned 420 642 acre tract,

THENCE North 81°44'25" East, with the common line of said right-of-way dedication and said 420 642 acre tract, a distance of 46 44 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

THENCE over and across said 420 642 acre tract, said 456 928 acre tract, and said 104 099 acre tract, the following courses and distances

South 08°02'06" West, a distance of 82 41 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the right having a central angle of 19°50'26", a radius of 690 00 feet, a chord bearing and distance of South 15°57'19" West, 237 74 feet,

In a southwesterly direction, with said tangent curve to the right, an arc distance of 238 94 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 57°53'04" East, a distance of 139 09 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 32°06'56" West, a distance of 150 00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

North 57°53'04" West, a distance of 139 09 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right having a central angle of 19°50'26", a radius of 690 00 feet, a chord bearing and distance of South 48°16'34" West, 237 74 feet,

In a southwesterly direction, with said non-tangent curve to the right, an arc distance of 238 94 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 58°11'47" West, a distance of 266 69 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right having a central angle of 00°16'58", a radius of 3 040 00 feet, a chord bearing and distance of South 30°48'51" East, 15 00 feet,

In a southeasterly direction, with said non-tangent curve to the right, an arc distance of 15 00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 58°11'47" West, a distance of 80 02 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the left having a central angle of 00°17'25", a radius of 2 950 00 feet, a chord bearing and distance of North 30°47'15" West, 15 00 feet,

In a northwesterly direction, with said non-tangent curve to the left, an arc distance of 15 00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

North 76°26'26" West, a distance of 21 06 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 58°11'47" West, a distance of 15 00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

North 31°48'13" West, a distance of 60 00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

North 12°49'49" East, a distance of 21 06 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the left having a central angle of 29°43'57", a radius of 2 945 00 feet, a chord bearing and distance of North 47°32'43" West, 1 511 15 feet,

In a northwesterly direction, with said non-tangent curve to the left, an arc distance of 1 528 24 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 27°00'17" West, a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

North 62°59'43" West, a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

North 27°00'17" East, a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the left having a central angle of 57°05'22", a radius of 2 945 00 feet, a chord bearing and distance of South 87°52'35" West, 2 814 50 feet,

In a southwesterly direction, with said non-tangent curve to the left, an arc distance of 2 834 39 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner,

South 59°19'54" West, a distance of 19 72 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set in the southwest line of said 104 099 acre tract, and being in the northeast line of the aforementioned 140 0321 acre tract,

THENCE North 30°57'40" West, with the common line of said 104 099 acre tract and said 140 0321 acre tract, a distance of 55 00 feet to the northeast corner of said 140 0321 acre tract, and being at the most easterly corner of the aforementioned 0 169 acre tract, from which a 3/8" iron rod found bears South 59°19'54" West, a distance of 0 56 feet,

THENCE South 59°19'54" West, with the common line of said 140 0321 acre tract and said 0 169 acre tract, a distance of 123 94 feet to the POINT OF BEGINNING and containing 8 314 996 square feet or 190 886 acres of land

CITY CASE NO. SUB-126-2022

PLAT

HAVEN RANCH PHASE 1

190.886 ACRES OUT OF THE

WILLIAM STEWART SURVEY, ABSTRACT NO. 956, JAMES YOUNG SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY, ABSTRACT NO. 1128

AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION 5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 13 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

13455 Noel Road, Two Gallens Office
Tower, Suite 700, Dallas, Texas 75240

FIRM # 10115500

Tel. No. (972) 770-1300
Fax No. (972) 239-3820

Scale

Drawn by

Checked by

Date

Project No.

Sheet No.

KHA

KHA

Jan 2023

064537507

21 OF 22

OWNER
GRBK EDGEWOOD LLC
2805 Dallas Parkway,
Suite 400
Plano, Texas 75083
Phone 817-658-2112
Contact: Bobby Samuel

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallens
Office Tower, Suite 700
Dallas, Texas 75240
Phone 972-770-1300
Contact: Craig Bantoch, RPLS

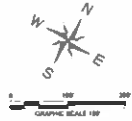
APPLICANT
Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Gallens Office
Tower, Suite 700
Dallas, Texas 75240
Phone 972-776-1765
Contact: Christopher Hernandez, P.E.

FILED: GRBK 07/02/23 10:32 AM EAST BAYED 11/02/23 17:22 AM WILEY: GRBK 07/02/23 10:32 AM EAST BAYED 11/02/23 17:22 AM

(16)

| | | | | | |
|--------------|------------------------|--------------------------|--------------------------|--------------------------------|-----------------------------|
| <u>Scale</u> | <u>Drawn by</u> KHA | <u>Checked by</u> KHA | <u>Date</u> Jan. 2023 | <u>Project No</u> 084537507 | <u>Sheet No</u> 22 OF 22 |
|--------------|------------------------|--------------------------|--------------------------|--------------------------------|-----------------------------|

(5)



Per Section 3.6 of the Interactive Subdivision Ordinance, the design is required to be approved by the Public Works and Engineering Director prior to plat approval. Comments will be required for the draft plan. The City expressly cannot be held responsible for the design of the proposed development. The City will go to Court on February 20th.

Further, after review of the City's ordinances related to the provision of wastewater services, the City has determined the proposed development and its related wastewater service needs do not comply with the City's Wastewater Master Plan. Therefore, the City is unable to provide the required service to the proposed development. The City is unable to provide the required service to the proposed development. The City is unable to provide the required service to the proposed development.

GENERAL NOTES

1. ALL PROPOSED SANITARY SEWER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED.
2. ALL PROPOSED WATER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED.
3. THE WATER AND SANITARY SEWER LAYOUT AND SIZES SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN.
4. FIRE HYDRANT APPURTENANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN.
5. WATER AND SANITARY SEWER SEPARATION (VERTICAL AND HORIZONTAL) SHALL BE MAINTAINED IN ACCORDANCE WITH TCEQ REQUIREMENTS.
6. SANITARY SEWER FORCE MAIN SIZE SHALL BE DETERMINED DURING DESIGN AND SHOWN IN CIVIL CONSTRUCTION DRAWINGS.

UTILITY LEGEND

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED FORCE MAIN |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER CLEANOUT |
| --- | SANITARY SEWER FLOW DIRECTION |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED TAPPING SLEEVE & VALVE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING POWER POLE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING WATER METER |
| --- | EXISTING SANITARY SEWER MANHOLE |



VICINITY MAP
SCALE: 1" = 1 MILE

BLOCK A
24K HOA

TRACT 3
CALLED 456 ACRES
GREEN EDGEWOOD LLC
PLOT NO. 2202337
PROJECT

BLOCK A
13K HOA

BLOCK C

BLOCK D

BLOCK E

BLOCK F

BLOCK G

BLOCK H

BLOCK I

BLOCK J

BLOCK K

BLOCK L

BLOCK M

BLOCK N

BLOCK O

BLOCK P

CALLED 2.335 ACRES
ROADWAY DEDICATION
HARRINGTON ROAD
CAB. D. S.D. 121
P.P.C.T.

CALLED 48.00 ACRES
LEGACY GROVE
DEVELOPMENT LLC
PLOT NO. 1000000
PROJECT

OWNER
GREEN EDGEWOOD LLC
2805 Dallas Parkway, Suite 400
Plano, Texas 75081
Phone: (972) 775-4755
Contact: Bobby Samuel, Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Moor Road, Two Oaks
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972-775-1785
Contact: Craig Barlow, RPLS

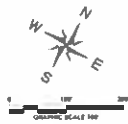
APPLICANT
Kimley-Horn and Associates, Inc.
13455 Moor Road, Two Oaks
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972-775-1785
Contact: Christopher Hornsby, P.E.

CITY CASE NO. SUB-125-2022
PRELIMINARY SANITARY SEWER PLAN OPTION A
HAVEN RANCH PHASE 1
190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 958, JAMES YOUNG
SURVEY, ABSTRACT NO. 1186, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WACO, TEXAS AND 185.180 ACRES
WITHIN WACO, TEXAS, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley-Horn

13455 Moor Road, Two Oaks Office
Tower, Suite 700, Dallas, Texas 75240
Phone: 972-775-1785
Fax: 972-775-1785
Email: info@kimley-horn.com
Website: www.kimley-horn.com

MATCH LINE SEE SHEET U-2A



GENERAL NOTES

1. ALL PROPOSED SANITARY SEWER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY SEWER LAYOUT AND SIZES SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPURTENANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. WATER AND SANITARY SEWER SEPARATION VERTICAL AND HORIZONTAL SHALL BE MAINTAINED IN ACCORDANCE WITH TCEQ REQUIREMENTS
6. SANITARY SEWER FORCE MAIN SIZE SHALL BE DETERMINED DURING DESIGN AND SHOWN IN CIVIL CONSTRUCTION DRAWINGS

UTILITY LEGEND

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED FORCED MAIN |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER CLEANOUT |
| --- | SANITARY SEWER FLOW DIRECTION |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED TAPPING SLEEVE & VALVE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING POWER POLE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING WATER METER |
| --- | EXISTING SANITARY SEWER MANHOLE |



VICINITY MAP
SCALE: 1" = 1 MILE

MATCH LINE SEE SHEET U-1A

TRACT 1
CALLED 854.828 ACRES
GRAN EDGEMOOD LLC
INST NO. 200507
OFFRECT

TRACT 2
CALLED 420.842 ACRES
GRAN EDGEMOOD LLC
INST NO. 200507
OFFRECT

OWNER
GRAN EDGEMOOD LLC
3800 Dallas Parkway, Suite 400
Dallas, Texas 75240
Phone: (469) 575-6755
Contact: Bobby Samuel, Vice President

| | |
|---|---|
| SURVEYOR Kimley-Horn and Associates, Inc. 13455 West Road, Two Galveston Office Tower, Suite 700 Dallas, Texas 75240 Phone: (214) 775-1300 Contact: Craig Barash, RPLS | APPLICANT Kimley-Horn and Associates, Inc. 13455 West Road, Two Galveston Office Tower, Suite 700 Dallas, Texas 75240 Phone: (214) 775-1300 Contact: Christopher Harwood, P.E. |
|---|---|

CITY CASE NO. SUB-128-2022
PRELIMINARY SANITARY SEWER PLAN OPTION A
HAVEN RANCH PHASE 1
190.885 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 856, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WACAHACHE AND 185.180 ACRES
WITHIN WACAHACHE ET AL. ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA 3-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

| | | |
|--|-----------------------|-------------------------|
| 13455 West Road, Two Galveston Office Tower, Suite 700, Dallas, Texas 75240 | Phone: (214) 775-1300 | Fax: (214) 775-1300 |
| Scale: 1" = 100' | Drawn by: AC | Checked by: [Signature] |
| Date: Feb. 2023 | Project No: 06457907 | Sheet No: U-2A |

MATCH LINE SEE SHEET U-3A



VICINITY MAP
SCALE: 1" = 100'

UTILITY LEGEND

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED FORCE MAIN |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER CLEANOUT |
| --- | SANITARY SEWER FLOW DIRECTION |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED TAPPING BLEND & VALVE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING POWER POLE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING WATER METER |
| --- | EXISTING SANITARY SEWER MANHOLE |

GENERAL NOTES

1. ALL PROPOSED SANITARY SEWER LINES ARE P-P-V-C UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE P-P-V-C UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY SEWER LAYOUT AND SIZING SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPEARANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. WATER AND SANITARY SEWER SEPARATION (VERTICAL AND HORIZONTAL) SHALL BE MAINTAINED IN ACCORDANCE WITH TCEQ REQUIREMENTS
6. SANITARY SEWER FORCE MAIN SIZE SHALL BE DETERMINED DURING DESIGN AND SHOWN IN CIVIL CONSTRUCTION DRAWINGS

OWNER
CARME DEVELOPMENT LLC
2808 Dallas Parkway, Suite 400
Ft. Worth, Texas 76103
Phone: (817) 776-1786
Contact: Bobby Samuel, Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 Forest Road, Two Dallas Office
Dallas, Texas 75240
Phone: (972) 776-1300
Contact: Craig Bartlett, RPLS

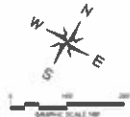
APPLICANT
Kimley-Horn and Associates, Inc.
13455 Forest Road, Two Dallas Office
Dallas, Texas 75240
Phone: (972) 776-1786
Contact: Christopher Hummel, P.E.

CITY CASE NO. SUB-126-2022
PRELIMINARY SANITARY SEWER PLAN OPTION A
HAVEN RANCH PHASE 1
190.888 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 856, JAMES YOUNG
SURVEY, ABSTRACT NO. 1189, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.787 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS.
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: PD - FUTURE DEVELOPMENT

Kimley»Horn

13455 Forest Road, Two Dallas Office
Dallas, Texas 75240
Phone: (972) 776-1300
Fax: (972) 776-1300

Scale: 1" = 500' Drawn by: AC Checked by: Date: Project No: 064537607 Sheet No: 10/34



GENERAL NOTES

- 1 ALL PROPOSED SANITARY SEWER LINES ARE 12" P.V.C. UNLESS OTHERWISE NOTED
- 2 ALL PROPOSED WATER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
- 3 THE WATER AND SANITARY SEWER LAYOUT AND SIZING SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
- 4 FIRE HYDRANT APPLIANCEANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
- 5 WATER AND SANITARY SEWER REPAIRS (VERTICAL AND HORIZONTAL) SHALL BE MAINTAINED IN ACCORDANCE WITH TCEQ REQUIREMENTS
- 6 SANITARY SEWER FORCE MAIN SIZE SHALL BE DETERMINED DURING DESIGN AND SHOWN IN CIVIL CONSTRUCTION DRAWINGS

UTILITY LEGEND

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED FORCE MAIN |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER CLEANOUT |
| --- | SANITARY SEWER FLOW DIRECTION |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED TAPPING SLEEVE & VALVE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING POWER POLE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING WATER METER |
| --- | EXISTING SANITARY SEWER MANHOLE |



VICINITY MAP
SCALE 1" = 1 MILE

TRACT 3
CALLED 50.011 ACRES
GRUB EDDYWOOD LLC
INSTR NO 2202337
PROJECT

BLOCK A
24X HOA

BLOCK A
13X HOA

BLOCK A
23X HOA
AMENITY CENTER

CALLED 80.00 ACRES
LEGACY GROVE
DEVELOPMENT LLC
INSTR NO 1822098
PROJECT

JAMES YOUNG SURVEY
ABSTRACT NO. 1189

N. WHITTENBURG SURVEY
ABSTRACT NO. 1128

OWNER
GRUB EDDYWOOD LLC
3805 Dallas Parkway, Suite 400
Plano, Texas 75093
Phone: (972) 573-8755
Contact: Bobby Samuel, Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13450 North Road, Two Galena
Office Tower, Suite 700
Dallas, Texas 75240
Phone: (972) 776-1300
Contact: Craig Burrows, RPLS

APPLICANT
Kimley-Horn and Associates, Inc.
13450 North Road, Two Galena
Office Tower, Suite 700
Dallas, Texas 75240
Phone: (972) 776-1300
Contact: Christopher Hernandez, P.E.

CITY CASE NO. SUB-126-2022
PRELIMINARY SANITARY SEWER PLAN OPTION B
HAVEN RANCH PHASE 1

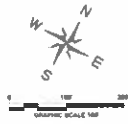
WILLIAM STEWART SURVEY ABSTRACT NO. 806, JAMES YOUNG SURVEY ABSTRACT NO. 1189, NORMAN H. WHITTENBURG SURVEY ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION 5.787 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES WITHIN WAXAHACHIE ST. J. ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS PORTIONS WITHIN CITY LIMITS ZONED FD - FUTURE DEVELOPMENT

Kimley-Horn

13450 North Road, Two Galena Office Tower, Suite 700, Dallas, Texas 75240
Phone: (972) 776-1300
Fax: (972) 776-1300
Scale: 1" = 100'
Drawn by: AC
Checked by: CDH
Date: Feb. 2023
Project No: 064537507
Sheet No: 111 of 115

MATCH LINE SEE SHEET U-3B

MATCH LINE SEE SHEET U-2B



GENERAL NOTES

1. ALL PROPOSED SANITARY SEWER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY SEWER LAYOUT AND SIZING SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPURTENANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. WATER AND SANITARY SEWER SEPARATION (VERTICAL AND HORIZONTAL) SHALL BE MAINTAINED IN ACCORDANCE WITH TCEQ REQUIREMENTS
6. SANITARY SEWER FORCE MAIN SIZE SHALL BE DETERMINED DURING DESIGN AND SHOWN IN CIVIL CONSTRUCTION DRAWINGS

UTILITY LEGEND

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER CLEANOUT |
| --- | SANITARY SEWER FLOW DIRECTION |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED TAPPING SLEEVE & VALVE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING POWER POLE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING WATER METER |
| --- | EXISTING SANITARY SEWER MANHOLE |



VICINITY MAP
SCALE: 1" = 100'

MATCH LINE SEE SHEET U-1B

TRACT 1
CALLED 49.928 ACRES
GRIN EDGEMOOD LLC
PST NO 220237
OPRECT

TRACT 2
CALLED 49.942 ACRES
GRIN EDGEMOOD LLC
PST NO 220237
OPRECT

OWNER
GRIN EDGEMOOD LLC
2805 Dallas Parkway, Suite 400
Plano, Texas 75093
Phone: 469.977.4750
Contact: Bobby Barlett, Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13405 Noel Road, Suite 700
Dallas, Texas 75240
Phone: 972.776.1200
Contact: Craig Barish, APLS

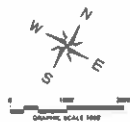
APPLICANT
Kimley-Horn and Associates, Inc.
13405 Noel Road, Suite 700
Dallas, Texas 75240
Phone: 972.776.1200
Contact: Christopher Hernandez, P.E.

CITY CASE NO. SUB-126-2022 PRELIMINARY SANITARY SEWER PLAN: OPTION B HAVEN RANCH PHASE 1

180.588 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 998, JAMES YOUNG
SURVEY, ABSTRACT NO. 1199, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1126
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
3.707 ACRES WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE ETJ, ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley»Horn

13405 Noel Road, Suite 700, Dallas, Texas 75240
Tel: 972.776.1200
Fax: 972.776.1200
Firm No: 10115500
Project No: 064537507
Sheet No: U-38
Scale: 1" = 100'
Drawn By: AC
Checked By: CDH
Date: Feb. 2023



VICINITY MAP
SCALE: 1" = 100'

UTILITY LEGEND

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED POWER POLE |
| --- | PROPOSED WATER LINE |
| ○ | PROPOSED SANITARY SEWER MANHOLE |
| ○ | PROPOSED SANITARY SEWER CLEANOUT |
| → | SANITARY SEWER FLOW DIRECTION |
| ○ | PROPOSED FIRE HYDRANT |
| ○ | PROPOSED TAPPING BLENDE & VALVE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING POWER POLE LINE |
| --- | EXISTING POWER POLE |
| ○ | EXISTING FIRE HYDRANT |
| ○ | EXISTING WATER METER |
| ○ | EXISTING SANITARY SEWER MANHOLE |

GENERAL NOTES

1. ALL PROPOSED SANITARY SEWER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY SEWER LAYOUT AND SIZES SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPURTENANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. WATER AND SANITARY SEWER SEPARATION (VERTICAL AND HORIZONTAL) SHALL BE MAINTAINED IN ACCORDANCE WITH TCEQ REQUIREMENTS
6. SANITARY SEWER FORCE MAIN SIZE SHALL BE DETERMINED DURING DESIGN AND SHOWN IN CIVIL CONSTRUCTION DRAWINGS

OWNER
ORION EDDYWOOD LLC
2805 Dallas Parkway, Suite 400
Dallas, Texas 75240
Phone: 469-572-4756
Contact: Bobby Suran Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13450 Hunt Road, Suite 700
Dallas, Texas 75240
Phone: 972-778-1500
Contact: Craig Burdick, RPLS

APPLICANT
Kimley-Horn and Associates, Inc.
13450 Hunt Road, Suite 700
Dallas, Texas 75240
Phone: 972-778-1500
Contact: Christopher Hernandez, P.E.

CITY CASE NO. 808-129-3022
PRELIMINARY SANITARY SEWER PLAN OPTION B
HAVEN RANCH PHASE 1
180.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 808, JAMES YOUNG
SURVEY, ABSTRACT NO. 1198, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WASKAMACHIE, AND 185.180 ACRES
WITHIN WASKAMACHIE E.T.J., ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: PD - FUTURE DEVELOPMENT

Kimley»Horn

13450 Hunt Road, Suite 700, Dallas, Texas 75240
Tel: 972-778-1500
Fax: 972-778-1500
Scale: 1" = 500' Drawn by: AC Checked by: CDH Date: Feb 2023 Project No: 064557567 Sheet No: 0038

MATCH LINE SEE SHEET U-18

FORCE MAIN ALIGNMENT
LOCATED WITHIN CITY
RIGHT-OF-WAY

FORCE MAIN ALIGNMENT
LOCATED ADJACENT TO
T-001 RIGHT-OF-WAY

FORCE MAIN ALIGNMENT
LOCATED ADJACENT TO
T-001 RIGHT-OF-WAY

CALLED 140,000 ACRES
HUTCHINSON
VOL. 1033, PG. 28
O.P.P.E.C.T.

CALLED 658,000 ACRES
HUTCHINSON
VOL. 1033, PG. 28
O.P.P.E.C.T.

CALLED 121,796.3 ACRES
PRINCE BENDIAN
VOL. 1257, PG. 145
O.P.P.E.C.T.

CALLED 72,835 ACRES
PROPERBES 2, C.
ON PARCELS LP
RST. NO. 2132252
O.P.P.E.C.T.

EXISTING WASTEATER
TREATMENT PLANT

FORCE MAIN ALIGNMENT
LOCATED WITHIN CITY
RIGHT-OF-WAY

2nd CLASS E
VOL. 2088, PG. 1432
O.P.P.E.C.T.

TUSCAN SPRINGS LP
VOL. 2027409, PG.
O.P.P.E.C.T.

NEW HIDEOUT & DEVELOP
VOL. 2027409, PG. 1432
O.P.P.E.C.T.

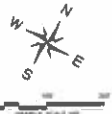
DEER SHIP L ESTATE
O.P.P.E.C.T.

LATE WASKAMACHIE

H. WHITTENBURG
SURVEY, ABSTRACT NO.
1128

PROPOSED LIT STATION
LOCATION

CALLED 31,549 ACRES
CHARLES B. WILLIAMS
AND SHARON S.
WILLIAMS
VOL. 2816, PG. 1132
O.P.P.E.C.T.



GENERAL NOTES

1. ALL PROPOSED SEWER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE 6" P.V.C. UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY BEWER LAYOUT AND SIZING SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPURTENANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. EXISTING WATER LINE AND SIZES BASED ON 2014 WATER DISTRIBUTION SYSTEM MASTER PLAN PREPARED BY BIRKHOFF, HENRICKS & CARTER, L.L.P.

UTILITY LEGEND

- PROPERTY LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED FORCE MAIN
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER SUBSTATION
- SANITARY SEWER FLOW DIRECTION
- PROPOSED FIRE HYDRANT
- PROPOSED TAPPING SLEEVE & VALVE
- ISOLATION SLEEVE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING SANITARY SEWER MANHOLE



VICINITY MAP
SCALE: 1" = 1 MILE

TRACT 3
CALLED 50.01 ACRES
GRBK EDGEWOOD LLC
HST NO 2202337
OPRECT

BLOCK A
23A HOA

BLOCK A
13X HOA

BLOCK B
3X HOA

BLOCK C
13X HOA

BLOCK D
13X HOA

BLOCK E
13X HOA

BLOCK F
13X HOA

BLOCK G
23A HOA

BLOCK H
13X HOA

BLOCK I
13X HOA

CALLED 2.35 ACRES
ROADWAY DEDICATION
HARRINGTON ROAD
CAB. D. S.D. 121
OPRECT

CALLED 60.00 ACRES
LEGACY GROVE
DEVELOPMENT, LLC
HST NO 1802088
OPRECT

TRACT 1
CALLED 49.828 ACRES
GRBK EDGEWOOD LLC
HST NO 2202337
OPRECT

MATCH LINE SEE SHEET U-5

OWNER
GRBK EDGEWOOD LLC
3800 Dallas Parkway, Suite 400
Plano, Texas 75093
Phone: (972) 775-8755
Contact: Bobby Simms, Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13455 West Road, Two Gallinas
Office Tower, Suite 700
Dallas, Texas 75240
Phone: (972) 770-1300
Contact: Craig Bortner, RPLS

APPLICANT
Kimley-Horn and Associates, Inc.
13455 West Road, Two Gallinas
Office Tower, Suite 700
Dallas, Texas 75240
Phone: (972) 770-1300
Contact: Christopher Hernandez, P.E.

CITY CASE NO. SUB-128-2022
PRELIMINARY WATER PLAN
HAVEN RANCH PHASE 1
180.866 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 558, JAMES YOUNG
SURVEY, ABSTRACT NO. 1188, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION,
5.707 ACRES, WITHIN CITY OF WAXAHACHIE AND 185.180 ACRES
WITHIN WAXAHACHIE, TARRANT COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X LOTS
PORTIONS WITHIN CITY LIMITS ZONED FD - FUTURE DEVELOPMENT

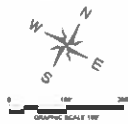
Kimley»Horn

13455 West Road, Two Gallinas Office
Tower, Suite 700, Dallas, Texas 75240
Phone: (972) 770-1300
Fax: (972) 770-1300

13455 West Road, Two Gallinas Office
Tower, Suite 700, Dallas, Texas 75240
Phone: (972) 770-1300
Fax: (972) 770-1300

| | | | | |
|----------------|-------------------|------------------|--------------------------|------------------|
| Drawn by AC | Checked by CDH | Date Jan 2023 | Project No. 084507967 | Sheet No. U-4 |
|----------------|-------------------|------------------|--------------------------|------------------|

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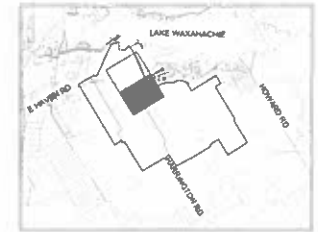


GENERAL NOTES

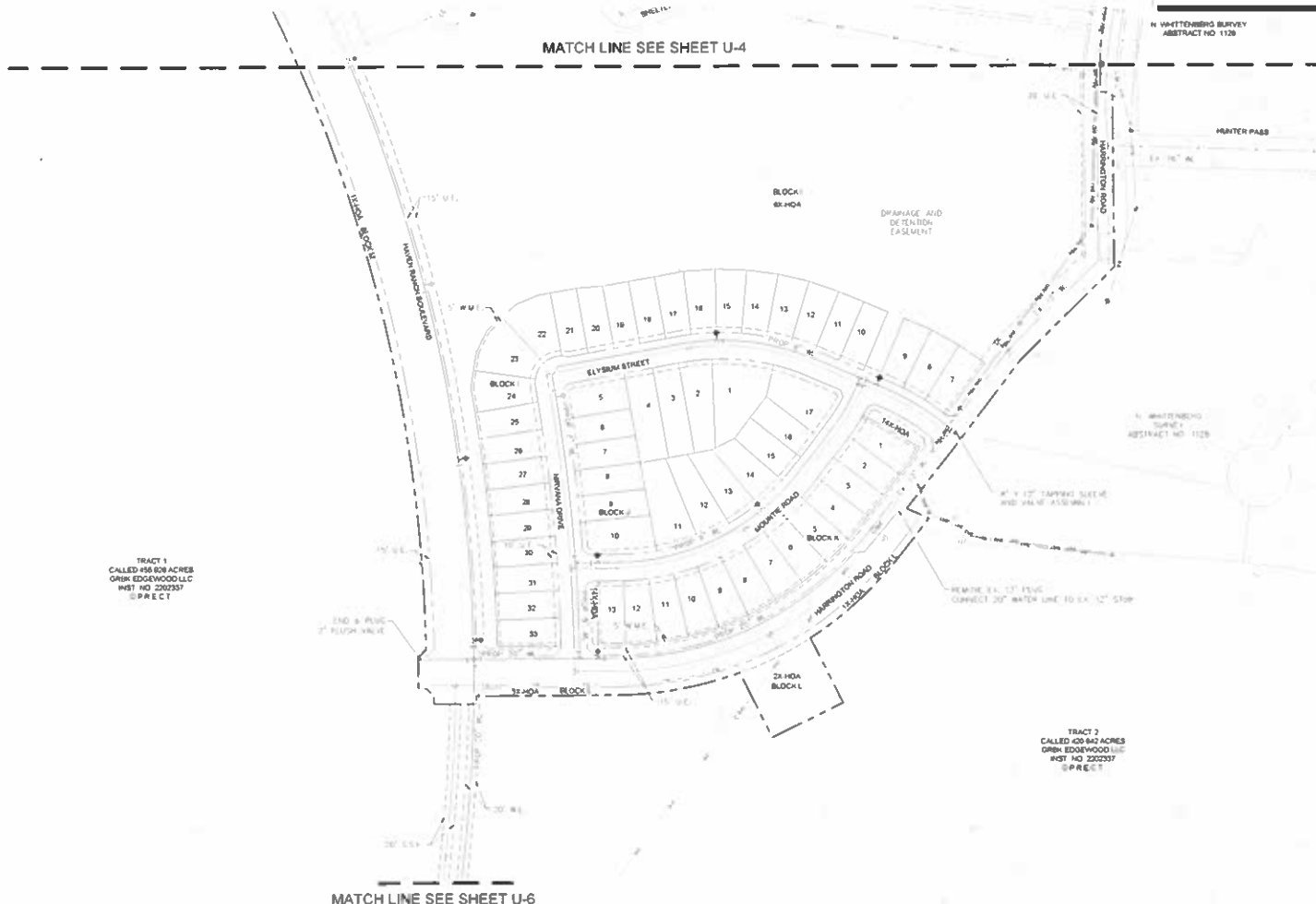
1. ALL PROPOSED SEWER LINES ARE 12" P.V.C. UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE 12" P.V.C. UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY SEWER LAYOUT AND BEING SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPURTENANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. EXISTING WATER LINES AND SIZES BASED ON 2018 WATER DISTRIBUTION SYSTEM MASTER PLAN PREPARED BY BIRKHOFF HENDRICKS & CARTER, L.L.P.

UTILITY LEGEND

| | |
|--|----------------------------------|
| | PROPERTY LINE |
| | PROPOSED SANITARY SEWER LINE |
| | PROPOSED FORCE MAIN |
| | PROPOSED WATER LINE |
| | PROPOSED SANITARY SEWER MANHOLE |
| | PROPOSED SANITARY SEWER CLEANOUT |
| | SANITARY SEWER FLOOD BREAKER |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED TAPPING SLEEVE & VALVE |
| | BRANCHING SLEEVE |
| | EXISTING OVERHEAD POWER LINE |
| | EXISTING WATER LINE |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING STORM SEWER LINE |
| | EXISTING POWER POLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER METER |
| | EXISTING SANITARY SEWER MANHOLE |



VICINITY MAP
SCALE 1" = 100'



TRACT 1
CALLED 456.828 ACRES
ORRICK EDEWOOD LLC
HST NO 2202307
PROJECT

TRACT 2
CALLED 409.842 ACRES
ORRICK EDEWOOD LLC
HST NO 2202307
PROJECT

DRAWN BY
ORRICK EDEWOOD LLC
3850 Dallas Parkway, Suite 400
Plano, Texas 75093
Phone: (469) 573-4750
Contact: Bobby Samuel, Vice President

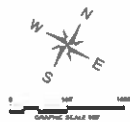
SURVEYOR
Kimley-Horn and Associates, Inc.
13405 Near Road, Two Galena Office
Other Tower, Suite 700
Dallas, Texas 75240
Phone: 972-775-1300
Contact: Craig Barish, RPLS

APPLICANT
Kimley-Horn and Associates, Inc.
13405 Near Road, Two Galena Office
Other Tower, Suite 700
Dallas, Texas 75240
Phone: 972-775-1300
Contact: Christopher Hernandez, P.E.

CITY CASE NO. SUB-126-2022
PRELIMINARY WATER PLAN
HAVEN RANCH PHASE 1
190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 806, JAMES YOUNG
SURVEY, ABSTRACT NO. 1189, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAXAHACHIE AND 165.180 ACRES
WITHIN WAXAHACHIE ETJ, ELUS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED: FD - FUTURE DEVELOPMENT

Kimley-Horn

| | | |
|--|-----------------------|-------------------|
| 13405 Near Road, Two Galena Office Tower, Suite 700 Dallas, Texas 75240 | Phone: 972-775-1300 | Fax: 972-775-1300 |
| Scale: 1" = 100' | Drawn by: AC | Checked by: CBR |
| Date: Jan. 2023 | Project No: 064657507 | Sheet No: 145 |



GENERAL NOTES

1. ALL PROPOSED SEWER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
2. ALL PROPOSED WATER LINES ARE 8" P.V.C. UNLESS OTHERWISE NOTED
3. THE WATER AND SANITARY SEWER LAYOUT AND SIZING SHOWN IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF FINAL DESIGN
4. FIRE HYDRANT APPEARANCES AND MANHOLE LOCATIONS WILL BE SUBJECT TO REVISION AT TIME OF FINAL DESIGN
5. EXISTING WATER LINE AND SIZES BASED ON 2016 WATER DISTRIBUTION SYSTEM MASTER PLAN PREPARED BY BROUHOFF HENDRICKS & CARTER, L.L.P.

UTILITY LEGEND

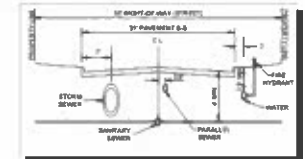
| | |
|-----|--------------------------------------|
| --- | PROPERTY LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED FORCE MAIN |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER (2) SANITARY |
| --- | SANITARY SEWER FLOW DIRECTION |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED TAPPING SLEEVE & VALVE |
| --- | IRRIGATION SLEEVE |
| --- | EXISTING OVERHEAD POWER LINE |
| --- | EXISTING WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING POWER POLE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING WATER METER |
| --- | EXISTING SANITARY SEWER MANHOLE |



VICINITY MAP

SCALE: 1" = 100' 0"

TYPICAL UTILITY LOCATION



MATCH LINE SEE SHEET U-5

LAKE WAKAHACHIE

OWNER
GRIN EDDYWOOD LLC
3605 Dallas Parkway, Suite 400
Plano, Texas 75093
Phone: (469) 571-0715
Contact: Betty Samuel, Vice President

SURVEYOR
Kimley-Horn and Associates, Inc.
13405 West Road, Two Galleries
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972.776.1500
Contact: Craig Berghel, RPLS

APPLICANT
Kimley-Horn and Associates, Inc.
13405 West Road, Two Galleries
Office Tower, Suite 700
Dallas, Texas 75240
Phone: 972.776.1500
Contact: Christopher Hernandez, P.E.

CITY CASE NO. SUB-128-2022
PRELIMINARY WATER PLAN
HAVEN RANCH PHASE 1
190.886 ACRES OUT OF THE
WILLIAM STEWART SURVEY, ABSTRACT NO. 896, JAMES YOUNG
SURVEY, ABSTRACT NO. 1189, NORMAN H. WHITTENBURG SURVEY,
ABSTRACT NO. 1128
AND BEING A REPLAT OF LOTS 1-4, HARRINGTON ACRES #2 ADDITION
5.707 ACRES WITHIN CITY OF WAKAHACHIE AND 185.180 ACRES
WITHIN WAKAHACHIE E.T.J. ELLIS COUNTY, TEXAS
172 RESIDENTIAL LOTS AND 14 OPEN SPACE HOA X-LOTS
PORTIONS WITHIN CITY LIMITS ZONED FD - FUTURE DEVELOPMENT

Kimley»Horn

13405 West Road, Two Galleries Office Tower, Suite 700, Dallas, Texas 75240
Phone: 972.776.1500
Fax: 972.238.3820
Email: info@kimleyhorn.com
Website: www.kimleyhorn.com

Scale: 1" = 500'
Drawn by: AC
Checked by: GHB
Date: Jan. 2023
Project No: 084557507
Sheet No: 1 of 1

(u)

GRBK Edgewood LLC
2805 Dallas Parkway, Suite 400
Plano, Texas 75093

February 9, 2023

Via email and Energov

Zack King, Sr. Planner
City of Waxahachie, Texas (the "City")
zking@waxahachie.com

Re: SUB-126-2022 - Plat of Haven Ranch Phase 1 (the "Plat");
Owner Response Letter following Disapproval by the Planning & Zoning
Commission (this "Letter")

Zack:

As you know, GRBK Edgewood LLC ("Owner") submitted the Plat to the City on September 14, 2022. Thereafter, on October 25, 2022 (41 days following the date the Plat was filed) the Planning and Zoning Commission (the "P&Z") disapproved the Plat, the reasons for which were outlined in letter from Jennifer Pruitt, Sr. Director of Planning, dated October 27, 2022 (the "Disapproval Letter"). Please accept this Letter as Owner's written response in satisfaction of the conditions and reasons for disapproval provided in the Disapproval Letter.

Reasons & Responses

P&Z: No information has been provided to demonstrate the provision of adequate water and wastewater services for the subject property and the proposed lots as required by Section 5.1 of the Waxahachie Subdivision Ordinance and Section V – Special District Regulations of the Ellis County Subdivision and Development Standards.

RESPONSE:

A. Objections.

Staff disagrees with the applicant's assertion that the Plat application has been evaluated in violation of Chapter 242 of the Texas Local Government Code. The City of Waxahachie has entered into an interlocal agreement with Ellis County that adheres to Chapter 242, Subsection (d)(4) of the Texas Local Government Code. The Plat application has been evaluated pursuant to this interlocal agreement.

As a preliminary matter, Owner objects to the simultaneous application of City and County subdivision regulations to the Plat as a violation of Chapter 242, Texas Local Government Code, as well as the interlocal agreement between the City and the County, dated March 22, 2004 (the "Interlocal"). Section 242.001(c), Texas Local Government Code, is clear that "a municipality and a county may not both regulate subdivisions and approve related permits in the extraterritorial jurisdiction of a municipality after an agreement under Subsection (d) is executed." The City and the County entered into the Interlocal pursuant to Subsection (d)(4), which, among other things, requires that the agreement "establish a single set of consolidated and consistent set of regulations related to plats...that will be enforced in the extraterritorial jurisdiction." As such, the Plat cannot be legally required to comply with both the City and the County regulations; rather, the

Plat must be evaluated only against the consistent and consolidated regulations adopted under the Interlocal.

On October 31, 2022, representatives for the Owner submitted an open records request to the City, seeking a copy of the consistent and consolidated set of regulations applicable in the ETJ under the Interlocal. In its response on November 9, 2022, the City was unable to produce the requested set of regulations, essentially confirming that no such set of regulations currently exists, despite the City's obligations to adopt such a set pursuant to Section 13(A) of the Interlocal. The City also asserted in its response that the City's current subdivision regulations were applicable. Owner has attempted to comply with the City's subdivision ordinance in preparation of the Plat in accordance with the City's guidance; but Owner reserves all rights to challenge (if necessary) the application of those rules to the Plat rather than a duly adopted set of consistent and consistent regulations as required by the Interlocal and Chapter 242.

Staff disagrees with the applicant's assertion that compliance with Section 5.1 of the Waxahachie Subdivision Ordinance is not a valid reason for disapproval. Per Section 212.0091 of the Texas Local Government Code, the Planning & Zoning Commission voted to conditionally disapprove the Plat and specifically cited noncompliance with Section 5.1 of the Waxahachie Subdivision Ordinance as one of the reasons for disapproval. Following this disapproval, staff met with the applicant and addressed the applicant's questions related to the disapproval by confirming, once again, what specific documentation is needed to satisfy the requirements of Section 5.1.

While Section 5 of the Waxahachie Subdivision Ordinance does reference requirements for acceptance of public infrastructure in some instances, staff has specifically referenced a provision in Section 5.1 that outlines requirements that must be met by the applicant prior to the approval of a plat (subdivision).

Owner further objects to this reason for disapproval because it is vague as to what information, exactly, would be required to satisfy Section 5.1 of the subdivision ordinance. Section 5.1, in turn, is equally vague regarding what information is required to accompany the Plat to meet its requirements. Although Section 5.1 establishes an "Adequate Public Facilities Policy," it does not outline what specific information a subdivider must provide to evidence that such facilities exist or that provision has been or will be made for such facilities. As such, the P&Z has failed to clearly articulate this specific reason for disapproval in violation of Section 212.0091(a), Texas Local Government Code.

Moreover, Article 5 (which houses Section 5.1), is titled "Improvements Required Prior to Acceptance of the Subdivision by the City." Pursuant to Section 2.3(i), Subdivision Ordinance, acceptance of a subdivision occurs only after "all of the improvements are found to be installed in accordance with the approved plans." Moreover, under Section 2.3(e), the P&Z is only authorized to approve "the actual plat drawing (i.e., the sheet(s) showing the actual plat for the subdivision), which will *eventually* be approved by the City and then filed at the County...The construction (i.e., the engineering) plans for the subdivision shall be submitted within [120] calendar days following the approval of the plat..." Read together, it appears the application of Section 5.1 during the plat application process, rather than during the subsequent engineering and construction stage of development, is simply premature. As such, Owner questions the validity of this reason for disapproval at this stage of the platting process.

As outlined in correspondence from the Owner's counsel to the City Attorney dated January 17, 2023, Owner has sought guidance and clarity from city staff on numerous occasions, beginning on October 31, 2022, regarding what information is required to remedy this reason for disapproval. On November 28, 2022, city staff indicated that, if Owner intended to connect to the City's sewer system, then a sewer study prepared by the City's consultants would be required (the "Sewer Study"). Because the Property is

currently covered by the City's sewer CCN, Owner promptly requested a proposal from the City to conduct the Sewer Study (the "Proposal"). To date, the Proposal has not been provided, despite numerous requests by the Owner.

In correspondence dated January 24, 2023, the City Attorney confirmed that city staff is purposefully withholding the Proposal in a calculated effort to frustrate Owner's ability to make progress on the Plat and the lawful development the Property. According to the City Attorney, the delay was intended to afford the City time to assess whether it desires to remove the Property from the boundaries of the City's water and wastewater CCNs, thereby removing (in the apparent but incorrect opinion of the City) the City's obligation to provide water and sewer service to the Property, both in the near- and long-term. Since Owner began discussions with the City regarding the Property and the Proposal beginning in the fall of 2020, the City's opposition to the same has been palpable on the basis of that opposition now appears to be primarily, if not exclusively, the City's concern for development outside of its corporate limits and regulatory controls, and not due to genuine concerns over utility capacity.

The City Attorney further indicated that: "[E]ven if the City decides not to develop at this time, staff is also concerned that the proposed development and its related water and wastewater service needs do not comply with the City's Water and Wastewater Master Plans because the requested capacity is greater than what is allocated for the area in which the proposed development is located." But this statement is facially inconsistent with the City's 2016 master plans and the 2020 CIP, both of which clearly contemplate and provide for significant development in the City's existing service areas south of Lake Waxahachie.

With respect to sewer, the Property is located in both the Lake Waxahachie and Little Onion Creek drainage basins. Based on the buildout capacities of the Little Onion Creek LS No. 3 (12.0 MGD) and the Upper Little Onion Creek LS (1.3 MGD), the 2016 Master Plan and the 2020 CIP collectively contemplate 13.3 MGD of capacity in these drainage basins, which equates to over 44,000 equivalent single-family connections (ESFCs).¹ Moreover, the 2020 CIP clearly contemplates that the Upper Little Onion Creek LS, which has a planned capacity to support approximately 4,333 ESFCs and which is shown as being located on the Property, would convey raw flows back to the City's Existing WWTP. The Existing WWTP, in turn, has a current permitted capacity of 8.0 MGD and a planned buildout capacity of 12.0 MGD. By comparison, the Plat (which represents Phase 1 of the Project) proposes a mere 172 ESFCs, while the complete Project currently proposes a total of 2,630 ESFCs, more or less. Given the planned capacity for this area in the near term is over 4,000 ESFCs, and ten-times that at buildout, the City's assertion that the Plat and the Project are not consistent with the City's wastewater plans cannot be supported.

¹ Assuming 1 ESFC = 300 gpd.

Per Section 5.8 of the Waxahachie Subdivision Ordinance, the design is required to be approved by the Public Works and Engineering Director prior to plat approval. Easements will be required for the offsite lines. The City property cannot be used. Please note that the City is in the process of decertifying the CCN. This will go to Council on February 20th.

Further, after review of the City's ordinances related to the provision of wastewater services, the City has determined the proposed development and its related wastewater service needs do not comply with the City's Wastewater Master Plan because the requested capacity is greater than what is allocated for the area in which the proposed development is located. See Subdivision Ordinance Sections 2.2 a., 2.3 a. 1., 2.3 a. 3., 2.5 e., and 3.9, and Code of Ordinance Section 33-90 (requiring that wastewater facilities conform with the City's Wastewater Master Plan). Thus, the City cannot provide wastewater service to the proposed development.

(6)

Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

Likewise, with respect to water, the City's 2016 Water Master Plan and 2020 CIP depict oversized water mains (up to 20") traversing the Property as well as the construction of a 1.5-million-gallon elevated storage tank located on the Property; all designed to serve the Property and the surrounding area. The Land Use Assumptions approved by the City and utilized in the formation of the 2020 CIP further contemplate over 30,000 households are planned for this area within the 10-year planning window. Moreover, the May 27, 2021, water study for the Project prepared by BHC (the "Water Study") concluded that the City's water "system can adequately support the [Project] with recommended distribution improvements at the Initial and Interim Development Scenarios," and that the City's water treatment plant has capacity to support the Project. Therefore, contrary to the City's assertion, the capacity needs related to the Plat and the Project appear entirely consistent with the City's planning efforts to date.

The City Attorney also indicated that: "While the previously agreed upon development plan for the area met the City's requirements, it does not appear that the current plan does." This statement is equally perplexing, because the prior (and now expired) development agreement on the Property contemplated approximately 3300 ESFCs, while Owner is currently proposing roughly 2630 ESFCs; less than 80% of the prior approved density.

As such, and in light of foregoing, the disapproval of the Plat for this reason appears to be largely pretextual, arbitrary, and unrelated to any legitimate subdivision requirements, and any further reliance on this reason as a basis of denial of the Plat would be invalid under Section 212.0091(b)(1), Texas Local Government Code.

B. Solutions.

Despite the foregoing objections (but without waiving the same), and in an on-going and good faith effort to cooperate and remedy the disapproval of the Plat, Owner is submitting preliminary utility plans for water and sewer that, along with this letter, sufficiently demonstrate how adequate water and sewer service could be provided to each lot with the subdivision.

1. Water. With respect to water, and subject to certain conditions outlined below, Owner is prepared to construct all of the recommended system improvements for the Initial Scenario identified in the Water Study and in accordance with Section 33.90, City Code. Given that the Initial Scenario in the Water Study contemplated 350 residential lots, the recommended improvements should be more than sufficient to support the 172 lots shown on the current Plat. Of course, to the extent that Owner constructs facilities with excess capacity over what is needed to serve the 172 lots contained within this Plat, the City should reserve that excess capacity for Owner's future use or remit to Owner a pro rata payment for any capacity released to others in accordance with Section 33.93, City Code. Finally, Owner hereby incorporates by reference correspondence dated January 27, 2023, from

(u)

Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

Owner's counsel to the City Attorney regarding Owner's opposition to any effort by the City to remove the Property from the City's water CCN.

2. Sewer. With respect to sewer, Owner is submitting multiple scenarios for consideration by staff and the P&Z. First, under Sewer Plan - Option "A," wastewater would be conveyed and treated on-site through the construction of a wastewater treatment plant (the "On-site WWTP"), generally in the location of the Upper Little Onion Creek LS depicted on the 2020 CIP. Notably, Option A eliminates the need for the Sewer Study because service would not be provided through the City's existing sewer system.

Because the City currently holds the sewer CCN over the Property, retail service and ownership of the facilities could be handled in one of two ways. First, the City could agree to be the retail provider to the Property. In that case, Owner and/or FWSD No. 3 (the "District") would dedicate the WWTP to the City for ownership and maintenance. As future development dictates, the City could maintain and operate the WWTP in perpetuity, or, as shown on the 2020 CIP, take the WWTP off-line and convert to a lift station (i.e., the Upper Little Onion Creek LS) that would convey flows to the City's Existing WWTP. Owner, at Owners cost but with City cooperation, will obtain the necessary permits and approvals from the TCEQ.

Second, if the City does not want to be the retail sewer provider to the Property, the Owner and the City would cooperate toward the decertification of the Property or an agreement under 13.248, Texas Water Code, to allow the District to be the retail provider. Owner, at Owners cost but with City cooperation, will obtain the necessary permits and approvals from the TCEQ. In this scenario, the District would own and maintain the WWTP and the related collection system.

Alternatively, under Sewer Plan - Option "B," retail sewer service would be provided by the City at the Existing WWTP. Wastewater generated from the Property would be conveyed to the Existing WWTP through the construction of an initial phase of the Lake Waxahachie Lift Station, along with all associated and interconnected gravity lines and force mains. Both the lift station and the alignment of the associated collection system are substantially consistent or in conformance with the City's wastewater master plans, including the 2016 Master Plan and the 2020 CIP. Moreover, in accordance with Section 33.90, City Code, Owner is prepared to finance and construct all sewer extensions required to serve the Property. Owner and/or the District would be responsible for acquiring all necessary off-site easements. The initial force main to the City's Existing WWTP would be 6-inches in diameter, which Owner's engineer has determined is adequate for the initial phase of the Project. Thereafter, a parallel line would be constructed to support later phases. A maximum of two parallel force mains are expected to serve the build-out of the Project.

This proposal does not adhere to the requirements of Section 33.90 of the Waxahachie Code of Ordinances and Section 5.8 of the Waxahachie Subdivision Ordinance. The master plan does not show this property flowing to the existing treatment plant. It flows to WWTP No. 2

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Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
February 9, 2023

Although Owner is prepared to proceed under either option, Option A appears to present a more straightforward and efficient approach for both parties. If the Plat is approved subject to Option B, Owner demands that the City process the Plat and all subsequent permits and applications in good-faith and with reasonable diligence, including the timely provision and release of necessary information, such as the Sewer Study, if required. If the City is not prepared to move forward in this fashion, Owner respectfully request the Plat be approved subject to Option A.

P&Z: *A Traffic Impact Analysis (TIA), as per Section 31 [sic] of the Waxahachie Subdivision Ordinance.*

RESPONSE: Owner objects to this reason for denial because: (i) the City has no statutory authority to require improvements to county or state roads; (ii) the City lacks statutory authority to condition plat approval on improvements to non-city roads; and (iii) requiring improvements to off-site roads violates the Texas Impact Fee Act. The foregoing notwithstanding, Owner submits the enclosed TIA (which Owner asserts meets the standards outlined Section 3.1(f), Subdivision Ordinance) under protest and without waiving any legal rights or the above objections.

Staff disagrees with the applicant's assertion that a TIA cannot be required as per Section 3.1 of the Waxahachie Subdivision Ordinance. The proposed Plat includes sections of roadway located within the Waxahachie City Limits intended to serve a development of more than 100 dwelling units, triggering the requirements of Section 3.1 of the Waxahachie Subdivision Ordinance.

P&Z: *A signed Waiver of Takings Impact Assessment document is required as part of the Ellis County Plat Application.*

RESPONSE: A signed Waiver of Takings Impact Assessment is included herewith.

P&Z: *Since no information has been provided to demonstrate the provision of water and wastewater services to the property, all proposed lots within the ETJ have been reviewed under Vol. Section IV – General Requirements of the Ellis County Subdivision and Development Standards. The lots & build lines proposed with this plat do not meet the minimum size or dimensions required by the Ellis County Subdivision and Development Standards.*

RESPONSE: Owner incorporates by reference its Response to the first reason for disapproval stated above. In addition, Section 232.101(b), Texas Local Government Code, prohibits the County from regulating lot size. To the extent the County's lot size regulation relates to the provision of OSSF, all of the lots proposed in the Plat and the Project are intended to be served by a centralized WWTP (either that of the City or the District) and not OSSF.

Staff disagrees with the applicant's assertion that Vol. I Section IV - General Requirements of the Ellis County Subdivision and Development Standards do not apply to this plat. This section is applicable to plats in the Waxahachie ETJ, as per the Ellis County and City of Waxahachie Interlocal Cooperation Agreement, unless a special district has been properly established for the subject property that triggers Section V of the Ellis County Subdivision and Development Standards. The applicant has not provided the information required for consideration under Section V of the Ellis County Subdivision and Development Standards.

(6)

Zack King, City of Waxahachie
SUB-126-2022: Applicant Response Letter
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P&Z: The Point of Beginning (POB) survey monument coordinates for the plat do not match the location of the POB shown on the plat. Correct coordinates for the POB survey monument are required by Section 2.4 of the Waxahachie Subdivision Ordinance.

RESPONSE: The Point of Beginning is now shown with both grid and ground coordinates. The grid coordinates align with GIS systems, while the on-ground coordinates are necessary for survey and plat purposes. The grid-to-ground factor listed in the notes allows for conversion between the two systems.

P&Z: A minimum utility easement fifteen (15) feet wide or wider is required along adjacent to all street right-of-way (ROW). The proposed plat only provides a 10-foot utility easement for residential lots and no utility easement for open space HOA X lots.

RESPONSE: Owner objects to this reason for disapproval because the P&Z failed to include a citation to the law forming the basis thereof as required by Section 212.0091(b)(1)(B), Texas Local Government Code. *See also* AG Op. No. KP-0349 (stating municipal authority responsible for approving plats that does not provide such specificity violates Chapter 212). As such, this reason for disapproval is invalid and no change to the Plat was made in response thereto.

As noted in the Disapproval Letter, however, the Plat does provide a 10-foot utility easement in accordance with Section 3.3(d), Subdivision Ordinance: "Where alleys are not provided in a residential subdivision, a minimum ten-foot wide utility easement shall be provided along the front of all lots, adjacent to and flush with the street right-of-way line for the potential placement of utility facilities." Notably, the Plat falls squarely within the conditions presented by Section 3.3(d), i.e., the Plat is a residential subdivision for which no alleys are provided. As such, Section 3.3(d) applies to the Plat and is controlling over the more general rule presented in Section 3.3(a). Therefore, and in addition to failing to cite to the law as required by Section 212.0091(b)(1)(B), the P&Z appears to have simply misapplied the subdivision ordinance in requesting the 15-foot easement.

P&Z: The subject property includes 4 existing platted lots, which are part of the Harrington Acres #2 plat. Due to this, the application needs to be amended to address the existing plat. The existing platted lots either need to be replatted or vacated as per Section 2.6 or 2.8 of the Waxahachie Subdivision Ordinance.

RESPONSE: Agreed. The Plat has been revised to reflect the replatting of the referenced lots within Harrington Acres #2.

(6)

Zack King, City of Waxahachie
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P&Z: The plat does not include street width labels or street names for all proposed streets as required by Section 2.4(c)(4) of the Waxahachie Subdivision Ordinance.

RESPONSE: Owner has confirmed that all streets are properly labeled with names and widths. Street names can be adjusted as needed prior to recordation to avoid duplication.

P&Z: The plat does not include curve details for all proposed lots as required by Section 2.4(c)(18) of the Waxahachie Subdivision Ordinance.

RESPONSE: Owner has confirmed that curve data for all proposed lots is correct and has been provided on the face of the plat.

Respectfully,



Bobby Samuel
Vice President
GRBK Edgewood LLC

BS/brw