

A G E N D A

The Waxahachie Planning & Zoning Commission will hold a regular meeting on **Tuesday, May 11, 2021 at 7:00 p.m.** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
David Hudgins
Erik Test

1. Call to Order
2. Invocation
3. **Public Comments:** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.

4. **Consent Agenda**

All matters listed under Item 4, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a. Minutes of the regular Planning & Zoning Commission meeting of April 27, 2021
- b. Minutes of the Planning and Zoning Commission briefing of April 27, 2021
5. **Consider** request by Mikel J. Craig, Waxahachie ISD, for a **Plat** of WISD – Elementary School No. 10 for 1 lot, being 14.000 acres situated in the G. Carpenter Survey, Abstract 190 (Property ID 189842) – Owner: 287 WAXAHACHIE LP (SUB-55-2021)
6. **Consider** a request by Dalton Bradbury, Acker Construction, for a **Replat** of Block 22 and 34, Town Addition, two (2) lots, being 3.032 acres (Property ID 193493, 193491, and 170678) – Owner: SOUTHFORK CAPITAL LLC (SUB-50-2021)
7. **Public Hearing** on a request by Mikel J. Craig, Waxahachie ISD for a renewal of Specific Use Permit (SUP) Ordinance 3116 located at 411 N. Gibson (Property ID 193942) - Owner: WAXAHACHIE ISD (ZDC-52-2021)
8. **Consider** recommendation of Zoning Change No. ZDC-52-2021

9. **Public Hearing** on a request by Nora De Los Santos for a Zoning Change from a Single Family-2 zoning district to Planned Development-Single Family-2, with Concept Plan, located at 211 Cumberland (Property ID 172281) - Owner: NORA DE LOS SANTOS (ZDC-48-2021)
10. **Consider** recommendation of Zoning Change No. ZDC-48-2021
11. **Continue Public Hearing** on a request by Jose Espinoza, Espinoza Stone, for a Specific Use Permit (SUP) for Outside Storage and Outside Display, use within a Light Industrial-1 and Future Development zoning district located at 4725 N Interstate 35 (Property ID 194416) - Owner: ESPINOZA STONE INC (ZDC-44-2021)
12. **Consider** recommendation of Zoning Change No. ZDC-44-2021
13. **Public Hearing** on a request by Sam Anderson, WCA Construction, for a Specific Use Permit (SUP) for **Trailer and Heavy Load Vehicle Repair** use within a Light Industrial-1 zoning district located at 2270 & 2290 Highway 287 Business (Property ID 180390 & Property ID 180394) - Owner: MYTI PROPERTIES, LLC (ZDC-49-2021)
14. **Consider** recommendation of Zoning Change No. ZDC-49-2021
15. **Continue Public Hearing** on a request by George Salvador, Lilian Custom Homes, for a Zoning Change from a Single Family Residential-1 zoning district to Planned Development-Single Family Residential-3, located at 401 Ovilla Road (Property ID 180391) - Owner: WAXAHACHIE ONE DEVELOPMENT (ZDC-35-2021)
16. **Consider** recommendation of Zoning Change No. ZDC-35-2021
17. Adjourn

The P&Z reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

<p style="text-align: center;"><i>Notice of Potential Quorum</i> <i>One or more members of the Waxahachie City Council may be present at this meeting.</i> <i>No action will be taken by the City Council at this meeting.</i></p>

(4a)

Planning and Zoning Commission
April 27, 2021

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, April 27, 2021 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
David Hudgins
Erik Test

Others Present: Shon Brooks, Director of Planning
Colby Collins, Senior Planner
Chris Webb, Planner
Macey Martinez, Graduate Engineer
Tommy Ludwig, Assistant City Manager
Amber Villarreal, Assistant City Secretary
Mary Lou Shipley, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Public Comments**

None

4. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of April 13, 2021
- b. Minutes of the Planning and Zoning Commission briefing of April 13, 2021

Action:

Ms. Bonney Ramsey moved to approve items a. and b. on the Consent Agenda. Ms. Betty Square Coleman seconded, the vote was as follows: Ayes: Rick Keeler, Betty Square Coleman, Bonney Ramsey, Jim Phillips, David Hudgins, and Erik Test. Noes: None. Absent: Melissa Ballard.

The motion carried.

5. **Public Hearing on a request by David Freerksen for a Specific Use Permit (SUP) for Accessory Building (Residential), Greater than or Equal to 700 SF use within a Single-Family Residential-3 zoning district located at 1300 E Marvin (Property ID 171576) - Owner: DAVID J & RHONDA S FREERKSEN (ZDC-31-2021)**

Chairman Keeler announced the applicant requested to withdraw ZDC-31-2021.

6. **Consider recommendation of Zoning Change No. ZDC-31-2021**

No action taken.

- 7. Public Hearing on a request by Jose Espinoza, Espinoza Stone, for a Specific Use Permit (SUP) for Outside Storage and Outside Display, use within a Light Industrial-1 and Future Development zoning district located at 4725 N Interstate 35 (Property ID 194416) - Owner: ESPINOZA STONE INC (ZDC-44-2021)**

Chairman Keeler opened the Public Hearing and announced the applicant requested to continue ZDC-44-2021 to the May 11, 2021 Planning and Zoning Commission meeting.

- 8. Consider recommendation of Zoning Change No. ZDC-44-2021**

Action:

Mr. David Hudgins moved to continue the Public Hearing on a request by Jose Espinoza, Espinoza Stone, for a Specific Use Permit (SUP) for Outside Storage and Outside Display, use within a Light Industrial-1 and Future Development zoning district located at 4725 N Interstate 35 (Property ID 194416) - Owner: ESPINOZA STONE INC (ZDC-44-2021) to the May 11, 2021 Planning and Zoning Commission meeting. Ms. Betty Square Coleman seconded, the vote was as follows: Ayes: Rick Keeler, Betty Square Coleman, Bonney Ramsey, Jim Phillips, David Hudgins, and Erik Test. Noes: None. Absent: Melissa Ballard.

The motion carried.

- 9. Consider request by Lonnie and Tracie Wood for a Plat of Wood Addition for one (1) lot being 4.456 acres situated in the Samuel M. Peters Survey, Abstract 831 (Property ID 189110) in the Extra Territorial Jurisdiction – Owner: LONNIE WOOD AND TRACIE WOOD LLC (SUB-37-2021)**

Planner Chris Webb presented the case noting the applicant is requesting to plat the subject property into one lot for residential use and staff recommended approval as presented.

Action:

Vice Chairman Melissa Ballard moved to approve a request by Lonnie and Tracie Wood for a Plat of Wood Addition for one (1) lot being 4.456 acres situated in the Samuel M. Peters Survey, Abstract 831 (Property ID 189110) in the Extra Territorial Jurisdiction – Owner: LONNIE WOOD AND TRACIE WOOD LLC (SUB-37-2021) as presented. Ms. Bonney Ramsey seconded, All Ayes.

- 10. Consider request by Curt Calabretto for a Plat of Calabretto Addition for two (2) lots being 10.062 acres situated in the J. Barker Survey, Abstract 40 (Property ID 252893) in the Extra Territorial Jurisdiction – Owner: CURT CALABRETTO (SUB-38-2021)**

Mr. Webb presented the case noting the applicant is requesting to plat the subject property into two (2) lots for residential use and staff recommended approval as presented.

Action:

Mr. David Hudgins moved to approve a request by Curt Calabretto for a Plat of Calabretto Addition for two (2) lots being 10.062 acres situated in the J. Barker Survey, Abstract 40 (Property

Planning and Zoning Commission
April 27, 2021
Page 3

ID 252893) in the Extra Territorial Jurisdiction – Owner: CURT CALABRETTO (SUB-38-2021). Mr. Erik Test seconded, All Ayes.

- 11. Public Hearing on a request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a Replat of Lot 1R, Block 214, Town Addition, to create Lot 1R-A, Block 214, Town Addition, 0.204 acres (Property ID 226846) – Owner: MARIA D REFUGIO MARTINEZ (SUB-11-2021)**

Chairman Keeler opened the Public Hearing.

Mr. Webb presented the case noting the applicant is requesting to replat the subject property into one (1) lot for residential use and staff recommended approval as presented. He noted the applicant is working with the city to extend the sewer line to this property before the plat can be filed.

There being no others to speak for or against SUB-11-2021, Chairman Keeler closed the Public Hearing.

- 12. Consider approving SUB-11-2021**

Action:

Ms. Bonney Ramsey moved to approve a request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a Replat of Lot 1R, Block 214, Town Addition, to create Lot 1R-A, Block 214, Town Addition, 0.204 acres (Property ID 226846) – Owner: MARIA D REFUGIO MARTINEZ (SUB-11-2021) as presented. Vice Chairman Melissa Ballard seconded, All Ayes.

- 13. Consider request by John Fussell, Fuquez Property Company No. 105, LLC., for a Plat of Fuquez Addition for one (1) lot, being 10.385 acres situated in the J.B. & A. Adams Survey, Abstract 5 (Property ID 225651) – Owner: John Fussell (SUB-39-2021)**

Mr. Webb presented the case noting the applicant is requesting to plat the subject property into one (1) lot for residential use. The applicant is also requesting a petition for hardship waiver due to a lack of available fire flow to the subject property. He noted staff recommended approval of the plat as presented and approval of the petition of hardship waiver with support from the Waxahachie Fire Department.

Action:

Mr. David Hudgins moved to approve a request by John Fussell, Fuquez Property Company No. 105, LLC., for a Plat of Fuquez Addition for one (1) lot, being 10.385 acres situated in the J.B. & A. Adams Survey, Abstract 5 (Property ID 225651) – Owner: John Fussell (SUB-39-2021) and approval of petition of hardship waiver. Ms. Betty Square Coleman seconded, All Ayes.

- 14. Public Hearing on a request by Jace Huffman, Huffman Consulting Engineers, for a Specific Use Permit (SUP) for Drive Through Establishment use within a Light Industrial-1 zoning district located West of 3298 S Interstate 35 (Property ID 223397) - Owner: H & D REALTY INVESTMENTS LLC (ZDC-45-2021)**

(4a)

Planning and Zoning Commission
April 27, 2021
Page 4

Chairman Keeler opened the Public Hearing.

Senior Planner Colby Collins reviewed the case noting the applicant is requesting approval to allow a car wash on 0.964 acres. He explained the applicant is requesting a 0 ft. rear yard setback and staff recommended approval per the following comment:

1. Per the applicant's request, a Development Agreement will be required for the property.

There being no others to speak for or against ZDC-45-2021, Chairman Keeler closed the Public Hearing.

15. Consider recommendation of Zoning Change No. ZDC-45-2021

Action:

Vice Chairman Melissa Ballard moved to approve a request by Jace Huffman, Huffman Consulting Engineers, for a Specific Use Permit (SUP) for Drive Through Establishment use within a Light Industrial-1 zoning district located West of 3298 S Interstate 35 (Property ID 223397) - Owner: H & D REALTY INVESTMENTS LLC (ZDC-45-2021) subject to staff comments. Ms. Bonney Ramsey seconded, All Ayes.

16. Public Hearing on a request by Nicholas Balsamo, Kalterra Capital Partners, for a Zoning Change from a Planned Development-Multiple Family-2 zoning district to Planned Development-Multiple Family-2, with Concept Plan, located at the SW corner of Garden Valley Parkway at Goodnight Lane (Property ID 275562) - Owner: KALTERRA CAPITAL PARTNERS LLC (ZDC-46-2021)

Chairman Keeler opened the Public Hearing.

Mr. Collins presented the case noting the applicant is proposing a redesign to The Hamilton's (Garden Valley Senior Living) previously approved Planned Development/Site Plan that interchanges the 18 cottage units, which were designed at the western portion of the property, into the main building while converting the cottage buildings into detached garages. Mr. Collins reviewed the summary of changes to the parking layout. He noted staff recommended approval with the following staff comment:

1. A revised mutually agreed upon Development Agreement/Ordinance must be signed by the applicant and city staff.

Mr. Nick Balsamo, 1701 N. Market Street, Dallas, Texas, explained the property owner worked with a group specializing in senior living and the design was revised to make it easier and safer to manage residents. He explained the first-floor units will now have small yards instead of garages on the bottom floor.

Mr. Jim Phillips expressed concerns with limiting housing type options for residents.

Chairman Keeler noted his recollection of the case was that the cottages were the reason the Planned Development was originally approved.

(4a)

Planning and Zoning Commission
April 27, 2021
Page 5

Ms. Bonney Ramsey expressed her support for the redesign noting she understands firsthand the difficulty of independent living and thinks moving residents to one building is safer.

Mr. David Hudgins asked if the renderings provided are what the final product will look like and Mr. Balsamo noted that is correct.

There being no others to speak for or against ZDC-46-2021, Chairman Keeler closed the Public Hearing.

17. Consider recommendation of Zoning Change No. ZDC-46-2021

Action:

Ms. Bonney Ramsey moved to approve a request by Nicholas Balsamo, Kalterra Capital Partners, for a Zoning Change from a Planned Development-Multiple Family-2 zoning district to Planned Development-Multiple Family-2, with Concept Plan, located at the SW corner of Garden Valley Parkway at Goodnight Lane (Property ID 275562) - Owner: KALTERRA CAPITAL PARTNERS LLC (ZDC-46-2021) subject to staff comments. Ms. Betty Square Coleman seconded, the vote was as follows: Ayes: Melissa Ballard, Betty Square Coleman, Bonney Ramsey, David Hudgins, and Erik Test. Noes: Rick Keeler and Jim Phillips.

The motion carried.

18. Public Hearing on a request by Donald Davis for a Specific Use Permit (SUP) for Home for Aged, Residence (Assisted Living) use within a Single-Family Residential-3 zoning district located at 110 Henry Street (Property ID 171316) - Owner: DONALD J & LAKEISHA B DAVIS (ZDC-36-2021)

Chairman Keeler opened the Public Hearing.

Mr. Collins reviewed the case noting the applicant is requesting approval of a Specific Use Permit to allow the use of Home for Aged (Assisted Living) at 110 Henry Street and noted staff recommended denial due concerns of potential traffic and staying consistent with the surrounding residential neighborhood.

The Commission had questions for the applicant who was not in attendance.

There being no others to speak for or against ZDC-36-2021, Chairman Keeler closed the Public Hearing.

19. Consider recommendation of Zoning Change No. ZDC-36-2021

Action:

Mr. Jim Phillips moved to deny a request by Donald Davis for a Specific Use Permit (SUP) for Home for Aged, Residence (Assisted Living) use within a Single-Family Residential-3 zoning district located at 110 Henry Street (Property ID 171316) - Owner: DONALD J & LAKEISHA B DAVIS (ZDC-36-2021). Ms. Betty Square Coleman seconded, All Ayes.

(4a)

Planning and Zoning Commission
April 27, 2021
Page 6

- 20. Continue Public Hearing on a request by Mathew Williamson, MBW Engineering, for a Zoning Change from a Multiple Family-1 zoning district to Planned Development-Multiple Family-2, located just South of 865 Cantrell Street (being Property ID 142414) - Owner: WM C BUSTER LAND DEVELOPMENT LLC (ZDC-42-2021)**

Chairman Keeler continued the Public Hearing.

Mr. Collins presented the case noting the applicant is requesting approval of a Planned Development to allow for construction of 216 multi-family residential units on approximately 12.85 acres. He explained the concept plan depicts a residential development that includes elements such as (but not limited to):

- Pool
- Community green space
- Dog park
- Walk/jog trail
- Resident clubhouse

Mr. Collins explained the applicant is requesting the following special exceptions/variance requests:

- Side setback (western boundary)
- Side setback (eastern boundary)
- Roof pitch
- Screening

The exterior elevation façade plan will consist of brick, stone, and siding. Staff recommended approval per the following staff comment:

1. A mutually agreed upon Development Agreement shall be required for the development.

The Commission discussed higher screening to eastern property line by improving the landscape plan.

Mr. Tom Malone, 814 Pennsylvania Avenue, Fort Worth, Texas, explained the request for three story buildings is to allow for more green space on the property and noted they are open to improving screening options.

There being no others to speak for or against ZDC-42-2021, Chairman Keeler closed the Public Hearing.

- 21. Consider recommendation of Zoning Change No. ZDC-42-2021**

Action:

Ms. Betty Square Coleman moved to approve a request by Mathew Williamson, MBW Engineering, for a Zoning Change from a Multiple Family-1 zoning district to Planned Development-Multiple Family-2, located just South of 865 Cantrell Street (being Property ID 142414) - Owner: WM C

(4a)

Planning and Zoning Commission
April 27, 2021
Page 7

BUSTER LAND DEVELOPMENT LLC (ZDC-42-2021) with recommendation of additional landscaping on east side of property line and subject to staff comments. Mr. David Hudgins seconded, All Ayes.

22. Public Hearing on a request by George Salvador, Lilian Custom Homes, for a Zoning Change from a Single Family Residential-1 zoning district to Planned Development-Single Family Residential-3, located at 401 Ovilla Road (Property ID 180391) - Owner: WAXAHACHIE ONE DEVELOPMENT (ZDC-35-2021)

Chairman Keeler opened the Public Hearing.

Mr. Collins presented the case noting the applicant is requesting to create a Planned Development, known as Dominion Park, to allow for the development of 212 single-family detached homes and staff recommended denial due to the following staff concerns:

- Lot area: Concern with not meeting the minimum Single-Family 3 zoning requiring at least 10,000 sq. ft. lot size. Staff is also concerned with the percentage of alleys for the proposed development and suggests a great mixture of j-swing and side-entry units for the development.
- Residential screening: Per the Zoning Ordinance, screening for single-family residential developments is 100% masonry (limited to brick and/or stone). Staff suggests the applicant meet the screening requirement.

Mr. Hudgins inquired about the lot sizes in the adjacent residential development and Mr. Collins noted they are about 7,000 sq. ft. and were approved in 2005 under different zoning standards.

Chairman Keeler spoke in support of the rear entry garages and wanting a good quality development. He explained the streetscape and housing elevations make a huge difference in the quality of development.

Mr. Brett Hess, 327 Blue Ribbon Road, Waxahachie, Texas, requested a continuance of the case to allow the applicant time to address staff and commission concerns and requests. He explained the owner will put 50% of the lots on the market to allow other builders to build.

Chairman Keeler requested different housing elevations, quality streetscape design, park land amenities, and alternate property line screening other than wood fencing. He encouraged the applicant to look at other developments outside our area that are alley based and offer great elevation design guidelines.

Mr. Chris Wright, 808 West Marvin, asked if there is existing fencing separating the adjacent residential development.

23. Consider recommendation of Zoning Change No. ZDC-35-2021

Action:

Ms. Betty Square Coleman moved to continue a request by George Salvador, Lilian Custom Homes, for a Zoning Change from a Single Family Residential-1 zoning district to Planned

(4a)

Planning and Zoning Commission
April 27, 2021
Page 8

Development-Single Family Residential-3, located at 401 Ovilla Road (Property ID 180391) - Owner: WAXAHACHIE ONE DEVELOPMENT (ZDC-35-2021) to the May 11, 2021 Planning and Zoning Commission meeting. Vice Chairman Melissa Ballard seconded, All Ayes.

24. Adjourn

There being no further business, the meeting adjourned at 8:22 p.m.

Respectfully submitted,

Amber Villarreal
Assistant City Secretary

(4b)

Planning and Zoning Commission
April 27, 2021

The Waxahachie Planning & Zoning Commission held a briefing session on Tuesday, April 27, 2021 at 6:15 p.m. in the City Council Conference Room at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
Jim Phillips
David Hudgins
Erik Test

Others Present: Shon Brooks, Director of Planning
Colby Collins, Senior Planner
Chris Webb, Planner
Macey Martinez, Graduate Engineer
Tommy Ludwig, Assistant City Manager
Amber Villarreal, Assistant City Secretary
Mary Lou Shipley, Council Representative

1. Call to Order

Chairman Rick Keeler called the meeting to order.

2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting

Planner Chris Webb reviewed the following cases:

- ZDC-31-2021, the applicant withdrew the case.
- ZDC-44-2021, the applicant requested to continue the case to the May 11, 2021 Planning & Zoning Commission meeting.
- SUB-37-2021, staff recommended approval of plat as presented.
- SUB-38-2021, staff recommended approval of plat as presented.
- SUB-11-2021, staff recommended approval of plat as presented.
- SUB-39-2021, staff recommended approval of plat and petition of hardship waiver for inadequate fire flow after receiving support from Waxahachie Fire Department noting there are additional homes built in the area.

Senior Planner Colby Collins reviewed the following cases:

- ZDC-45-2021, staff recommended approval with Development Agreement.
- ZDC-46-2021, staff recommended approval with revised Development Agreement.
- ZDC-36-2021, staff recommended denial of the case due to staff concerns of potential traffic and staying consistent with the surrounding neighborhood.
- ZDC-42-2021, staff recommended approval with Development Agreement.
- ZDC-35-2021, staff recommended denial due to staff concerns of lot area and residential screening.

(4b)

Planning and Zoning Commission
April 27, 2021
Page 2

3. Adjourn

There being no further business, the meeting adjourned at 7:02 p.m.

Respectfully submitted,

Amber Villarreal
Assistant City Secretary

Planning & Zoning Department
Plat Staff Report

Case: SUB-55-2021



MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021

CAPTION

Consider request by Mikel J. Craig, Waxahachie ISD, for a Plat of WISD – Elementary School No. 10 for 1 lot, being 14.000 acres situated in the G. Carpenter Survey, Abstract 190 (Property ID 189842) – Owner: 287 WAXAHACHIE LP (SUB-55-2021)

APPLICANT REQUEST

The applicant is requesting to plat the subject property into one lot for a proposed elementary school site.

CASE INFORMATION

Applicant: Mikel J. Craig, Waxahachie ISD

Property Owner(s): 287 Waxahachie LP

Site Acreage: 14.000 acres

Number of Lots: 1 lot

Number of Dwelling Units: 0 units

Park Land Dedication: N/A

Adequate Public Facilities: Adequate public facilities will be available to this site.

SUBJECT PROPERTY

General Location: Adjacent to and north of Saratoga Dr. and adjacent to and northwest of homes located along Affirmed Rd.

Parcel ID Number(s): 189842

Current Zoning: Planned Development (Ord. 3252)

Existing Use: Undeveloped

Platting History: Situated in the G. Carpenter Survey, Abstract 190

Site Aerial:



PLATTING ANALYSIS

The applicant is requesting to plat the subject property into one lot for a proposed elementary school site. The subject property included in the plat will be 14 acres in size and will be accessible from Saratoga Dr. Adequate facilities will be available for this site, and the proposed use is allowable within the zoning district.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
- Approval, as presented.
- Approval, per the following conditions:

ATTACHED EXHIBITS

1. Plat Drawing

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

(5)

STAFF CONTACT INFORMATION

Prepared by:

Chris Webb

Planner

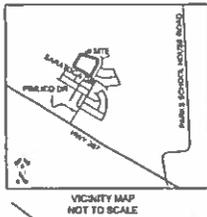
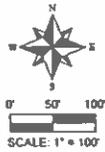
cwebb@waxahachie.com

Reviewed by:

Shon Brooks, AICP

Director of Planning

sbrooks@waxahachie.com



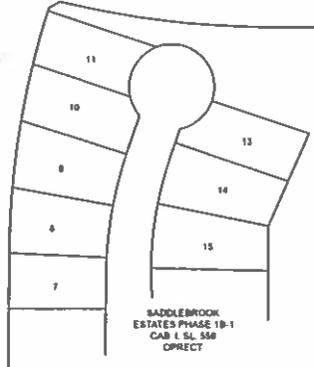
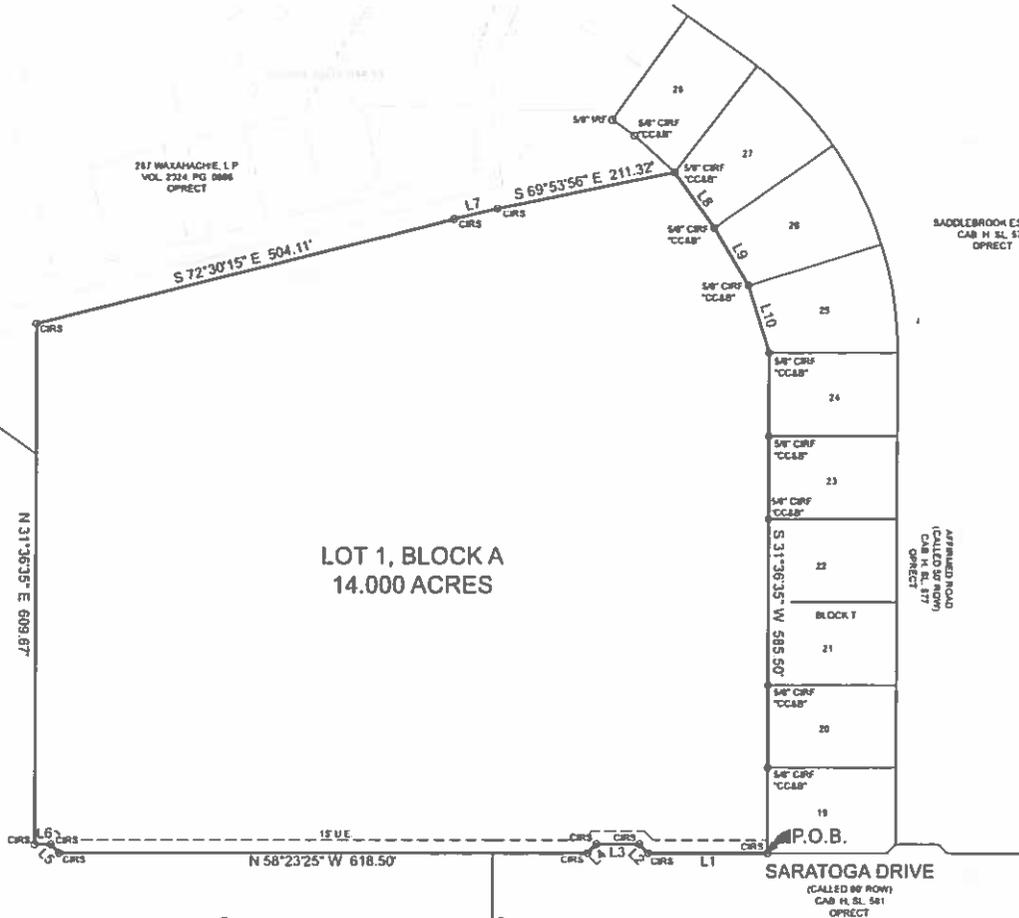
VICINITY MAP
NOT TO SCALE

TRACT 1
287 WALAHACHE, L.P.
VOL. 2158, PG. 687
OPRECT

287 WALAHACHE, L.P.
VOL. 2214, PG. 0986
OPRECT

SADDLEBROOK ESTATES
CAB H. SL. 577
OPRECT

**LOT 1, BLOCK A
14.000 ACRES**



SADDLEBROOK
ESTATES PHASE 1B-1
CAB I. SL. 558
OPRECT

12
BLOCK DD
OPEN SPACE,
UTILITY & DRAINAGE
EASEMENT

LINE NUMBER	BEARING	DISTANCE
L1	N 52° 22' 51\"/>	

SARATOGA DRIVE
(CALLED BY ROW)
CAB H. SL. 581
OPRECT

NOTES
BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83 PER GPS OBSERVATIONS.
THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48198C034F, DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
ALL LOTS SHALL BE SERVICED BY AN ON-SITE SEWAGE FACILITY SYSTEM FOR RESIDENTIAL USE. AN ON-SITE EVALUATION SHALL BE PERFORMED BY A REGISTERED ENGINEER AND/OR A REGISTERED SANITARIAN.

LEGEND
CRS = 5/8 IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TARCS" SET
RF = IRON ROD FOUND
FND = FOUND
OPRECT = OFFICIAL PUBLIC RECORDS ELLIS COUNTY TEXAS
U.E. = UTILITY EASEMENT
B.L. = BUILDING LINE

OWNER
287 WALAHACHE LP
1800 VALLEY VIEW LANE
FARMER'S BRANCH, TX 75234
972.923.4727

SURVEYOR
TEXAS REALTY CAPTURE &
SURVEYING, LLC
P.O. BOX 252
WAXAHACHE, TEXAS 75148
409.518.0338
TBPLS FIRM NO 10194359

PLAT
**LOT 1, BLOCK A
WISD - ELEMENTARY
SCHOOL NO. 10**

14.000 ACRES
SITUATED IN THE
G. CARPENTER SURVEY,
ABSTRACT NO 190
CITY OF WAXAHACHE
ELLIS COUNTY, TEXAS
1 COMMERCIAL LOT
CASE NO SUB-55-2021

(5)

STATE OF TEXAS §
COUNTY OF ELLIS §

OWNER'S CERTIFICATE

WHEREAS, 287 WAXAHACHE, LP, ARE THE OWNERS OF A TRACT OF LAND SITUATED IN THE G. CARPENTER SURVEY ABSTRACT NO. 190, ELLIS COUNTY, TEXAS, AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED IN DEED TO 287 WAXAHACHE, LP, RECORDED IN VOLUME 2024, PAGE 0088, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (CORRECT) AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AS TRACT 1 IN DEED TO 287 WAXAHACHE, LP, RECORDED IN VOLUME 2196, PAGE 841, (CORRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR A SOUTHWEST CORNER OF SAID 287 WAXAHACHE TRACT AND A COMMON SOUTHEAST CORNER OF SAID TRACT 1 AND THE SOUTHWEST CORNER OF SADDLEBROOK ESTATES, RECORDED IN CABINET H, SLIDE 877, (CORRECT) IN THE COMMON NORTH RIGHT-OF-WAY (ROW) LINE OF SARATOGA DRIVE (A CALLED BY ROW)

THENCE ALONG A SOUTH LINE OF SAID TRACT 1 AND THE COMMON NORTH ROW LINE OF SAID SARATOGA DRIVE, AS FOLLOWS

N 54°23'25" W A DISTANCE OF 139.50 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

N 13°23'25" W A DISTANCE OF 14.85 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

N 54°23'25" W A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

S 78°36'35" W A DISTANCE OF 14.85 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER

THENCE ALONG A SOUTH LINE OF SAID TRACT 1 AND THE COMMON NORTH ROW LINE OF SAID SARATOGA DRIVE AND THE NORTH ROW LINE OF A FUTURE ROAD DEVELOPMENT, AS FOLLOWS

N 54°23'25" W A DISTANCE OF 818.50 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER

N 13°23'25" W A DISTANCE OF 16.14 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

N 54°23'17" W A DISTANCE OF 19.00 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

THENCE OVER AND ACROSS SAID TRACT 1 AND OVER AND ACROSS SAID 287 WAXAHACHE TRACT AS FOLLOWS

THENCE N 31°38'35" E A DISTANCE OF 608.87 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

THENCE S 72°30'15" E A DISTANCE OF 504.11 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

THENCE S 72°15'33" E A DISTANCE OF 82.17 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER.

S 89°53'54" E A DISTANCE OF 219.32 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "CCAB" FOUND FOR THE SOUTHWEST CORNER OF LOT 28, OF SAID SADDLEBROOK ESTATES AND THE COMMON NORTHWEST CORNER OF LOT 27.

THENCE ALONG THE EAST LINE OF SAID 287 WAXAHACHE TRACT AND THE COMMON WEST LINE OF SAID SADDLEBROOK ESTATES, AS FOLLOWS

S 84°18'54" E A DISTANCE OF 80.18 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "CCAB" FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 27 AND THE COMMON NORTHWEST CORNER OF LOT 26, OF SAID SADDLEBROOK ESTATES.

S 01°14'02" W A DISTANCE OF 78.85 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "CCAB" FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 26 AND THE COMMON NORTHWEST CORNER OF LOT 25, OF SAID SADDLEBROOK ESTATES.

S 14°10'30" W A DISTANCE OF 82.48 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "CCAB" FOUND FOR THE SOUTHWEST CORNER OF SAID LOT 25 AND THE COMMON NORTHWEST CORNER OF LOT 24, OF SAID SADDLEBROOK ESTATES.

S 31°38'35" W A DISTANCE OF 585.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 14.008 ACRES OF LAND MORE OR LESS

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT, 287 WAXAHACHE, LP, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS PLAT W50 (ELEMENTARY SCHOOL NO. 10), AN ADDITION TO THE CITY OF WAXAHACHE, ELLIS COUNTY, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE CITY OF WAXAHACHE, TEXAS FOR THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN THEREON. THE STREETS AND ALLEYS ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF WAXAHACHE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES. SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF WAXAHACHE'S USE THEREOF. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WAXAHACHE, TEXAS

WITNESS MY HAND, THIS THE _____ DAY OF _____, 2021

BY:

287 WAXAHACHE, LP, A TEXAS LIMITED PARTNERSHIP

BY: CENTAMAR FEMAS, L.L.C.,
A TEXAS LIMITED LIABILITY COMPANY
ITS GENERAL PARTNER

BY: CTMGE, LLC,
A TEXAS LIMITED LIABILITY COMPANY,
ITS MANAGER

BY: MENHAD MOATED, MANAGER

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED MENHAD MOATED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL THIS, THE _____ DAY OF _____, 2021

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

APPROVED BY PLANNING AND ZONING COMMISSION CITY OF WAXAHACHE

BY: _____
CHAIRPERSON DATE

ATTEST _____
DATE

I, TIMOTHY L. JACKSON, RPLS, HEREBY CERTIFY THAT THIS PLAT WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND THAT ALL PROPERTY CORNERS HEREON HAVE BEEN FOUND OR SET AS SHOWN.

*PRELIMINARY. THIS DOCUMENT
SHALL NOT BE RECORDED FOR ANY
PURPOSE AND SHALL NOT BE USED
OR VIEWED OR REPRODUCED AS A
FINAL SURVEY DOCUMENT.

TIMOTHY L. JACKSON
REGISTRATION NUMBER 5644

OWNER
287 WAXAHACHE LP
1808 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234
872.923.4727

SURVEYOR
TEXAS REALTY CAPTURE &
SURVEYING, L.L.C.
P.O. BOX 252
WAXAHACHE, TEXAS 75160
409.518.8338
TBP/LS FIRM NO 10194359

PLAT
LOT 1, BLOCK A
WISD - ELEMENTARY
SCHOOL NO. 10

14.008 ACRES

G. CARPENTER SURVEY
ABSTRACT NO. 190
CITY OF WAXAHACHE
ELLIS COUNTY, TEXAS
1 COMMERCIAL LOT
CASE NO. SUB-55-2021

(5)

(6)

Planning & Zoning Department
Plat Staff Report

Case: SUB-50-2021



MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021

CAPTION

Consider request by Dalton Bradbury, Southfork Capital LLC, for a Replat of Block 22 and 34, Town Addition, two (2) lots, being 3.032 acres (Property ID 193493, 193491, and 170678) – Owner: SOUTHFORK CAPITAL LLC (SUB-50-2021)

APPLICANT REQUEST

The applicant is requesting to replat the subject property into two (2) lots.

CASE INFORMATION

Applicant: Dalton Bradbury, Southfork Capital, LLC

Property Owner(s): Southfork Capital, LLC.

Site Acreage: 3.032 acres

Number of Lots: 2 lots

Number of Dwelling Units: 0 units

Park Land Dedication: N/A

Adequate Public Facilities: Adequate public facilities will be available to this site.

SUBJECT PROPERTY

General Location: 315 N Rogers St

Parcel ID Number(s): 193493, 193491, 170678

Current Zoning: General Retail and Commercial

Existing Use: The subject property currently consists of three (3) separate buildings. One of these structures is currently occupied by the Bridge Church.

Platting History: The subject property consists of Lots 2 and 4 of Block 34 Town Addition and Lots 1, 2, and 3 Block 22 Town Addition.

Site Aerial:**PLATTING ANALYSIS**

The applicant is proposing to replat the existing property into two (2) lots. This particular location came before the Planning and Zoning Commission and City Council as a replat in 2019, and received conditional approval. However, that particular replat has not been filed. In the time since the 2019 replat went before City Council, the applicant has separated the structure on the subject property into three (3) separate buildings. The current replat proposal will add a lot line that will separate the newer admin building located in the center of the property from the two additional structures. Due to the separation of the structure into three separate buildings and the placement of the proposed lot lines, conditions must be met in order to file the plat with the County.

Conditions

- Prior to plat filing, all private on-site utilities must be separated to each platted lot pursuant to Sec. 5.8: Water and Sewer Requirements of the City of Waxahachie Subdivision Ordinance.
- Due to the proximity of the proposed property lines the structures are required to comply with Table 705.8 of the 2018 IBC for fire separation distance requirements, prior to plat filing.
- Prior to plat filing, methods for meeting the fire separation requirements must comply with the construction type selected referencing *Chapter 6 Types of Construction* in addition to *Chapter 7 Fire and Smoke Protection Features*.
- Depending on construction type that is selected structure must comply with section 705 Exterior Walls of the 2018 IBC, prior to plat filing.
- Prior to plat filing, the structures are required to comply with Table 601& 602 of the 2018 IBC.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
- Approval, as presented.
- Approval, per the following conditions:
 1. Prior to plat filing, all private on-site utilities must be separated to each platted lot pursuant to Sec. 5.8: Water and Sewer Requirements of the City of Waxahachie Subdivision Ordinance.
 2. Due to the proximity of the proposed property lines the structures are required to comply with Table 705.8 of the 2018 IBC for fire separation distance requirements, prior to plat filing.

(6)

3. Prior to plat filing, methods for meeting the fire separation requirements must comply with the construction type selected referencing *Chapter 6 Types of Construction* in addition to *Chapter 7 Fire and Smoke Protection Features*.
4. Depending on construction type that is selected structure must comply with section 705 *Exterior Walls* of the 2018 IBC, prior to plat filing.
5. Prior to plat filing, the structures are required to comply with Table 601& 602 of the 2018 IBC.

ATTACHED EXHIBITS

1. Plat Drawing

APPLICANT REQUIREMENTS

1. In the event the Planning and Zoning Commission conditionally approves a plat, the Planning and Zoning Commission shall provide the applicant a written statement of the conditions for the conditional approval, in accordance with Section 212.0091 of the Texas Local Government Code, as amended. After the conditional approval of a plat, the applicant may submit to the Commission a written response that satisfies each condition for the conditional approval, in accordance with Section 212.0093 of the Texas Local Government Code, as amended. In the event the Planning and Zoning Commission receives such a response from the applicant, the Planning and Zoning Commission shall determine whether to approve or disapprove the applicant's previously conditionally approved plat not later than the 15th day after the date the response was submitted, in accordance with Section 212.0095 of the Texas Local Government Code, as amended.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

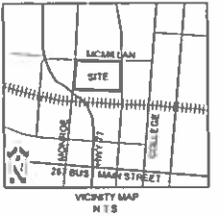
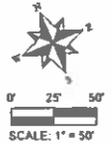
A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



OWNER'S CERTIFICATE
STATE OF TEXAS
COUNTY OF ELLIS

WHEREAS SOUTHORK CAPITAL, LLC IS THE SOLE OWNER OF A TRACT OF LAND SITUATED IN THE CITY OF WAXAHACHE, ELLIS COUNTY TEXAS AND BEING ALL OF BLOCKS 22 AND 34, OF THE ORIGINAL MAP OF THE CITY OF WAXAHACHE, AN ADDITION TO ELLIS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET A, SLIDE 181 OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING ALL OF THAT TRACT OF LAND DESCRIBED AS TRACT 2 IN DEED TO SOUTHORK CAPITAL, LLC, RECORDED IN INSTRUMENT NUMBER 1909427, OPRECT, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

BEGINNING AT A 1" IRON PIPE FOUND FOR THE NORTHEAST CORNER OF SAID BLOCK 22 AND THE NORTHEAST CORNER OF SAID TRACT 2, AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY (ROW) LINE OF ROGERS STREET AND THE SOUTH ROW LINE OF McMILLAN STREET.

THENCE S 22°27'00" W ALONG THE EAST LINE OF SAID BLOCK 22, THE EAST LINE OF SAID TRACT 2 AND THE COMMON WEST ROW LINE OF SAID ROGERS STREET A DISTANCE OF 373.83 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID BLOCK 22, THE SOUTHWEST CORNER OF SAID TRACT 2, AT THE INTERSECTION OF THE WEST ROW LINE OF SAID ROGERS STREET AND THE NORTH ROW LINE OF A LARION PACIFIC RAILROAD ROW (APPR).

THENCE N 84°36'47" W ALONG THE SOUTH LINE OF SAID BLOCK 22, THE SOUTH LINE OF SAID TRACT 2 AND THE COMMON NORTH ROW LINE OF SAID UPRR ROW A DISTANCE OF 113.34 FEET TO A 1" IRON PIPE FOUND FOR THE SOUTHWEST CORNER OF SAID TRACT 2 AT THE INTERSECTION OF THE NORTH ROW LINE OF SAID UPRR ROW AND THE EAST ROW LINE OF US HIGHWAY 77 (N. ELM STREET) AND BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 517.88, A CHORD BEARING OF N 24°46'37" W, AND A CHORD DISTANCE OF 160.25 FEET.

THENCE ALONG THE WEST LINE OF SAID TRACT 2 AND THE COMMON EAST ROW LINE OF SAID US-HIGHWAY 77 AND ALONG SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 186.90 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "RPLS 567" FOUND FOR AN ANGLE POINT IN THE WEST LINE OF SAID TRACT 2, IN THE WEST LINE OF SAID BLOCK 34, FOR THE INTERSECTION OF THE EAST ROW LINE OF SAID US HIGHWAY 77 AND THE EAST ROW LINE OF MONROE STREET.

THENCE N 26°29'41" E ALONG THE WEST LINE OF SAID BLOCK 34, THE WEST LINE OF SAID TRACT 2 AND THE COMMON EAST ROW LINE OF SAID MONROE STREET A DISTANCE OF 113.86 FEET TO A 1/2" IRON PIPE FOUND AN ANGLE POINT IN THE WEST LINE OF SAID TRACT 2 AND THE COMMON SOUTHWEST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO THE INTERNATIONAL COUNCIL FOR GENDER STUDIES (IGCS), RECORDED IN VOLUME 1813, PAGE 926, OPRECT.

THENCE S 66°55'51" E ALONG THE WEST LINE OF SAID TRACT 2 AND THE COMMON SOUTH LINE OF SAID IGCS TRACT, A DISTANCE OF 127.08 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "RPLS 4488" FOUND FOR AN ANGLE POINT IN THE WEST LINE OF SAID TRACT 2 THE COMMON SOUTHWEST CORNER OF SAID IGCS TRACT.

THENCE N 23°57'33" E ALONG THE WEST LINE OF SAID TRACT 2 AND THE COMMON EAST LINE OF SAID IGCS TRACT A DISTANCE OF 142.75 FEET TO A 1/2" IRON ROD WITH A TRIANGULAR CAP FOUND FOR THE NORTHWEST CORNER OF SAID TRACT 2 AND THE COMMON NORTHEAST CORNER OF SAID IGCS TRACT, IN THE NORTH LINE OF SAID BLOCK 34 AND THE COMMON SOUTH ROW LINE OF SAID McMILLAN STREET.

THENCE S 66°26'33" E ALONG THE NORTH LINE OF SAID TRACT 2, THE NORTH LINE OF SAID BLOCK 34, THE NORTH LINE OF SAID BLOCK 22 AND THE COMMON SOUTH ROW LINE OF SAID McMILLAN STREET A DISTANCE OF 294.06 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.632 ACRES OF LAND, MORE OR LESS.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT SOUTHORK CAPITAL, LLC DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS CATHEDRAL ADDITION, AN ADDITION TO THE CITY OF WAXAHACHE, ELLIS COUNTY TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE CITY OF WAXAHACHE, TEXAS FOR THE PUBLIC USE FOREVER, THE STREETS AND ALLEYS SHOWN IN THE RECON. THE STREETS AND ALLEYS ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS AS SHOWN ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS IF APPROVED BY THE CITY OF WAXAHACHE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR CROSS THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES. SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND CITY OF WAXAHACHE'S USE THEREOF. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENHANCE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WAXAHACHE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF ACCESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCURING PERMISSION FROM ANYONE.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF WAXAHACHE, TEXAS.

WITNESS MY HAND, THIS _____ DAY OF _____ 2021

CHRIS ACKER
SOUTHORK CAPITAL, LLC

STATE OF TEXAS
COUNTY OF ELLIS

BEFORE ME THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED CHRIS ACKER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE HEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL, THIS _____ DAY OF _____ 2021

NOTARY PUBLIC, IN AND FOR THE STATE OF TEXAS

I, TIMOTHY L. JACKSON, P.P.S., HEREBY CERTIFY THAT THIS PLAT WAS MADE ON THE GROUND, UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND THAT ALL PROPERTY CORNERS HEREON HAVE BEEN FOUND OR SET AS SHOWN.

"PRELIMINARY: THIS INSTRUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY INSTRUMENT."
TIMOTHY L. JACKSON
REGISTRATION NUMBER 5444

APPROVED BY PLANNING AND ZONING COMMISSION CITY OF WAXAHACHE

BY _____ DATE _____
CHAIRPERSON

ATTEST _____ DATE _____

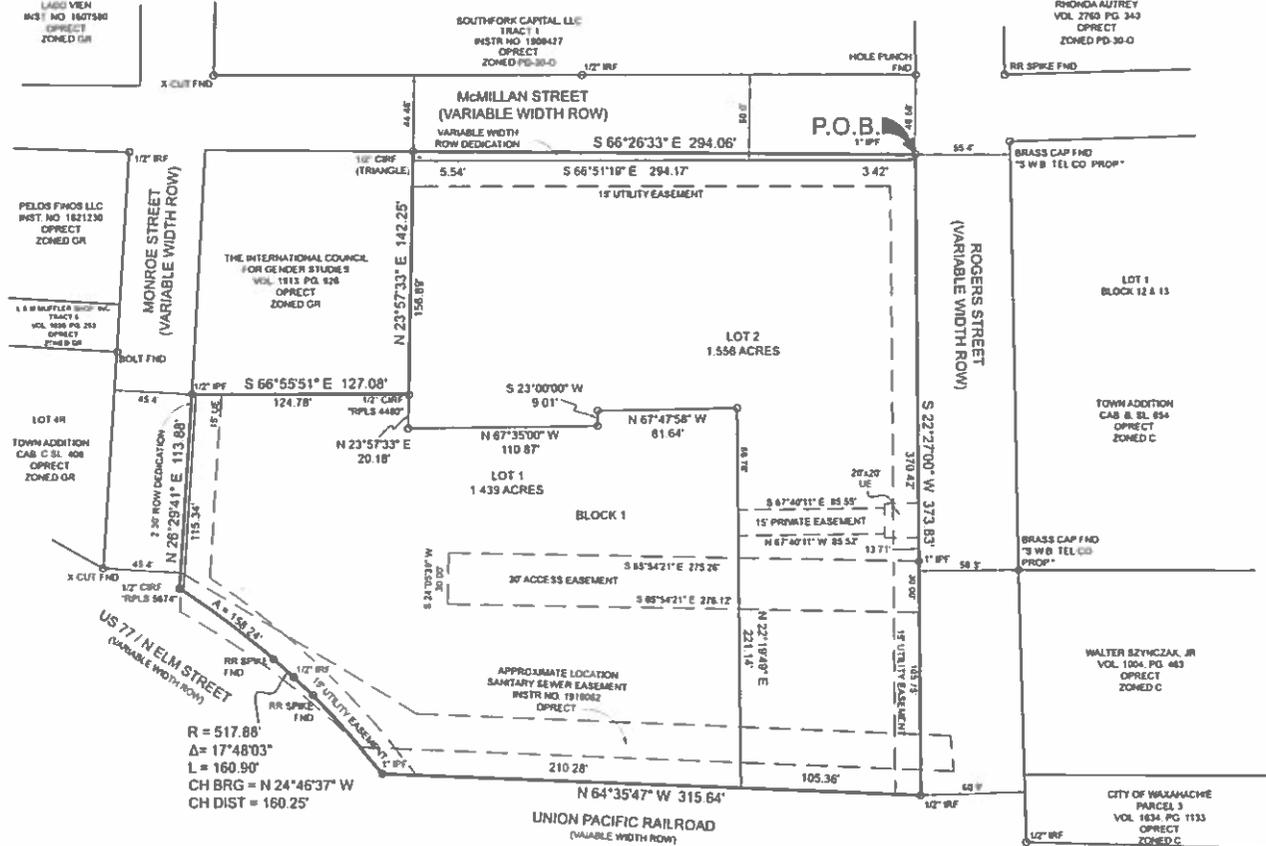
REPLAT

CATHEDRAL ADDITION

BEING A REPLAT OF BLOCK 22 & 34 OFFICIAL MAP OF WAXAHACHE, CABINET A, SLIDE 181, PLAT RECORDS, ELLIS COUNTY TEXAS, CITY OF WAXAHACHE, TEXAS, ELLIS COUNTY, TEXAS. 3.032 ACRES, 2 LOTS, ZONED GR, ZONED C.

OWNER
SOUTHORK CAPITAL, LLC
3751 US HIGHWAY 287
WAXAHACHE, TEXAS 75165
409-363-5038

SURVEYOR
TEXAS REALTY CAPTURE & SURVEYING, LLC
P.O. BOX 252
WAXAHACHE, TEXAS 75166
409-518-0330
TBPLS FORM NO 10194-959



LABO VIKEN
INST. NO. 1807390
OPRECT
ZONED GR

PELOS PHOS LLC
INST. NO. 1821230
OPRECT
ZONED GR

LOT 4R
TOWN ADDITION
CAB. & BL. 608
OPRECT
ZONED GR

US 77 / N. ELM STREET
(VARIABLE WIDTH ROW)
R = 517.88'
Δ = 17°48'03"
L = 160.90'
CH BRG = N 24°46'37" W
CH DIST = 160.25'

SOUTHORK CAPITAL, LLC
TRACT 1
INST. NO. 1809427
OPRECT
ZONED PD-30-D

McMILLAN STREET
(VARIABLE WIDTH ROW)
VARIABLE WIDTH ROW DEDICATION
S 66°26'33" E 294.06'

LOT 2
1.556 ACRES

LOT 1
1.439 ACRES

UNION PACIFIC RAILROAD
(VARIABLE WIDTH ROW)

RHONDA AUTREY
VOL. 2760, PG. 343
OPRECT
ZONED PD-30-D

BRASS CAP FND
"S W B TEL CO PROP"

TOWN ADDITION
CAB. & BL. 654
OPRECT
ZONED C

BRASS CAP FND
"S W B TEL CO PROP"

WALTER SZYMCZAK, JR.
VOL. 1084, PG. 463
OPRECT
ZONED C

CITY OF WAXAHACHE
PARCEL 3
VOL. 1634, PG. 1133
OPRECT
ZONED C

(6)

(7)

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-52-2021



MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021

City Council: May 17, 2021

CAPTION

Request by Mikel J. Craig, Waxahachie ISD for a renewal of Specific Use Permit (SUP) Ordinance 3116 for the purpose of a **Portable Storage Structure or Temporary Building** located at 411 N. Gibson (Property ID 193942) - Owner: WAXAHACHIE ISD (ZDC-52-2021)

APPLICANT REQUEST

The applicant is requesting to renew the Specific Use Permit (SUP) Ordinance 3116 which allows for the use of portable storage structures or temporary building at 411 N. Gibson St.

CASE INFORMATION

Applicant: Mikel J. Craig, Waxahachie ISD

Property Owner(s): Waxahachie ISD

Site Acreage: 5.365 acres

Current Zoning: Single Family-2 (SF-2) with Specific Use Permit (SUP)

Requested Zoning: SF-2 with SUP

SUBJECT PROPERTY

General Location: 411 N Gibson

Parcel ID Number(s): 193942

Existing Use: Waxahachie ISD Administration

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-2	Single Family Residential
East	SF-2	Single Family Residential
South	LI-2	Undeveloped Land
West	P	Undeveloped Land

Future Land Use Plan: Public/Semi-Public

(7)

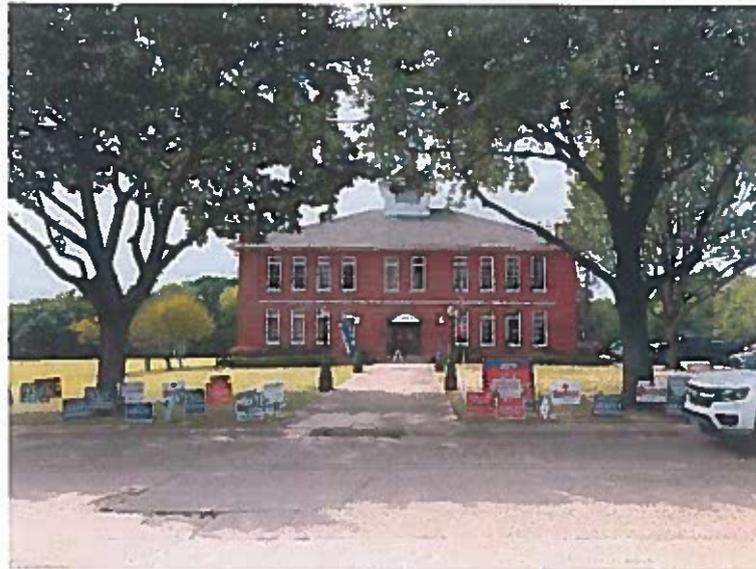
Comprehensive Plan:

This land use category includes uses that are educational, governmental or institutional in nature. This type of land use is generally permitted within any area, therefore, only the current Public/Semi-Public uses are shown on the map.

Thoroughfare Plan:

This site is accessible via N. Gibson St.

Site Image:



PLANNING ANALYSIS

The Waxahachie Independent School District (WISD) is requesting an extension to their Specific Use Permit allowing a temporary building on the property. The original SUP case came before P&Z and City Council in May of 2019. At that time WISD was advised by City staff that should an extension to the SUP for allowing the temporary structure be needed, the applicant will need to come back to City Council to renew their SUP. This case is for that extension request.

Currently on site is a temporary building 24'x64' with a floor area of 1,536 sq. feet. The current temporary building is 12' in height and houses seven (7) offices. *This case does not include site plan improvements.*

Note:

Planning Department staff has informed the applicant that if the Specific Use Permit is approved, the SUP shall expire and the temporary building shall be removed, once WISD leaves the property. Also, if the applicant is still occupying the building after two years, staff recommends that the applicant come back to City Council to renew the Specific Use Permit.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 27 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

PON RESPONSES

Staff has received one (1) response in support of the SUP Extension.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
 1. Planning Department staff has informed the applicant that if the Specific Use Permit is approved, the SUP shall expire and the temporary building shall be removed, once WISD leaves the property. Also, if the applicant is still occupying the building after two years, staff recommends that the applicant come back to City Council to renew the Specific Use Permit.
 2. Note: This site plan does not include any site improvements.

ATTACHED EXHIBITS

1. PON Responses
2. Site Layout Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(7)

PropertyID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
171784	SWS PROPERTIES LLC	1.72	LOT 1 & 2 BLK 297 TOWN WAXAHACHIE & LOT 51 FERRIS REV 1.72 AC	213 GIBSON ST	WAXAHACHIE	TX	75185	824 N GIBSON ST WAXAHACHIE TX 75185
171811	SWS PROPERTIES LLC	3.3995	LOT ALL 1 BLK 303 TOWN - WAXAHACHIE 3.3995 AC	213 GIBSON ST	WAXAHACHIE	TX	75185	N GIBSON ST WAXAHACHIE TX 75185
171880	SWS PROPERTIES LLC	9.0638	LOT 13 BLK 302 TOWN 9.0638 AC	213 GIBSON ST	WAXAHACHIE	TX	75185	821 CIRCLE ST WAXAHACHIE TX 75185
171940	ORTEGA MARIA E MD	0.694	LOT 1 BLK 354A TOWN - WAXAHACHIE .884 AC	603 W MARVIN AVE	WAXAHACHIE	TX	75185	603 W MARVIN AVE WAXAHACHIE TX 75185
171941	HILL WILLIAM D & MICKIE	1.741	2 1 354A 304 TOWN-WAXAHACHIE TOWN 43A FERRIS 1.741 ACRES	607 W MARVIN AVE	WAXAHACHIE	TX	75185	607 W MARVIN AVE WAXAHACHIE TX 75185
171942	FENTON ELLIOTT C & NANCY C	0.848	3A 10C 354A TOWN-WAXAHACHIE COLEMAN 0.848 ACRES	615 W MARVIN AVE	WAXAHACHIE	TX	75185	615 W MARVIN AVE WAXAHACHIE TX 75185
171943	RYAN ADELAIDE M	0.789	LOT 38 BLK 354A TOWN - WAXAHACHIE .789 AC	611 W MARVIN AVE	WAXAHACHIE	TX	75185	611 W MARVIN AVE WAXAHACHIE TX 75185
172779	MCDONN BRANDON L & LORI D	0.846	LOT 109 PT TA 304 COLEMAN .846 AC	707 W MARVIN AVE	WAXAHACHIE	TX	75185	707 W MARVIN AVE WAXAHACHIE TX 75185
173284	BUSHNELL KATHY & JOSEPH A	0.233	LOT 12 FERRIS REV 0.233 AC	3722 HIGHWAY 18	FRINGBURN	AR	72121	806 ROYAL ST WAXAHACHIE TX 75185
173314	FIRST UNITED METHODIST	0.258	PT 1R FUMC ADDN 0.258 ACRES	505 W MARVIN AVE	WAXAHACHIE	TX	75185	812 W PARKS AVE WAXAHACHIE TX 75185
173315	FINCHER BOBBIE L	0.256	MID 73 OF 42 FERRIS 0.256 ACRES	610 W PARKS AVE	WAXAHACHIE	TX	75185	810 W PARKS AVE WAXAHACHIE TX 75185
173318	FIRST UNITED METHODIST	0.256	PT 1R FUMC ADDN 0.256 ACRES	505 W MARVIN AVE	WAXAHACHIE	TX	75185	808 W PARKS AVE WAXAHACHIE TX 75185
173317	MORENO PETE	0.83	43B FERRIS 0.83 ACRES	501 N GIBSON ST	WAXAHACHIE	TX	75185	501 N GIBSON ST WAXAHACHIE TX 75185
173324	BARKER ERNEST & SUSAN	0.382	38A 38B4PT ALLEY FERRIS 0.382 ACRES	615 W PARKS AVE	WAXAHACHIE	TX	75185	815 W PARKS AVE WAXAHACHIE TX 75185
173326	AVERY TIMOTHY J & JACQUELYN	0.397	39A 4PT ALLEY FERRIS 0.397 ACRES	617 W PARKS AVE	WAXAHACHIE	TX	75185	817 W PARKS AVE WAXAHACHIE TX 75185
173334	SEABOLT GLEN E	0.25	LOT 31A FERRIS REV .25 AC	1702 LITTLE CREEK DR	WAXAHACHIE	TX	75185	408 N HAWKINS ST WAXAHACHIE TX 75185
173335	MARLIN JOHN	0.283	LOT 31B & PT ALLEY FERRIS REV .283 AC	411 N HAWKINS ST	WAXAHACHIE	TX	75185	411 N HAWKINS ST WAXAHACHIE TX 75185
173340	HALLABOUGH RICHARD L	0.09	LOT 29A FERRIS REV .09 AC	207 UNIVERSITY AVE	WAXAHACHIE	TX	75185	404 N GIBSON ST WAXAHACHIE TX 75185
173341	POARCH PROPERTIES LLC SERIES A	0.307	29B FERRIS 0.307 ACRES	1119 W MARVIN AVE	WAXAHACHIE	TX	75185	808 ROYAL ST WAXAHACHIE TX 75185
173342	LOREN GRAY INVESTMENTS LLC	0.25	LOT 30A & PT ALLEY FERRIS REV .25 AC	PO BOX 2868	WAXAHACHIE	TX	75185	408 N GIBSON ST WAXAHACHIE TX 75185
173346	CAMACHO PHILLIP & MARIA E L/E LILLIAN CAMACHO	0.218	LOT 27A & 28B FERRIS REV 0.218 AC	804 ROYAL ST	WAXAHACHIE	TX	75185	804 ROYAL ST WAXAHACHIE TX 75185
193484	HORAK BEVERLY	0.871	LOT 95&10A & PT T A BLK 304 COLEMAN .871 AC	711 W MARVIN AVE	WAXAHACHIE	TX	75185	711 W MARVIN AVE WAXAHACHIE TX 75185
193942	WAXAHACHIE ISD	3.385	BLK 44-48 FERRIS REV 3.385 AC	411 N GIBSON ST	WAXAHACHIE	TX	75185	411 N GIBSON ST WAXAHACHIE TX 75185
218714	FIRST UNITED METHODIST	4.229	PT 1R FUMC ADDN 4.229 ACRES	505 W MARVIN AVE	WAXAHACHIE	TX	75185	505 W MARVIN AVE WAXAHACHIE TX 75185
275406	POARCH PROPERTIES LLC SERIES H	0.177	LOT 13A FERRIS REV 0.177 AC	1119 W MARVIN AVE	WAXAHACHIE	TX	75185	807 ROYAL ST WAXAHACHIE TX 75185
173333	PROPERTY OWNER	0		406 N GIBSON ST	WAXAHACHIE	TX	75185	406 N GIBSON ST WAXAHACHIE TX 75185
173339	PROPERTY OWNER	0		808 ROYAL ST	WAXAHACHIE	TX	75185	808 ROYAL ST WAXAHACHIE TX 75185

(7)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-52-2021



LOREN GRAY INVESTMENTS LLC
PO BOX 2868
WAXAHACHIE, TX 75168

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, May 11, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, May 17, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Mikel J. Craig, Waxahachie ISD for a renewal of Specific Use Permit (SUP) Ordinance 3116 for the purpose of a **Portable Storage Structure or Temporary Building** located at 411 N. Gibson (Property ID 193942) - Owner: WAXAHACHIE ISD (ZDC-52-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-52-2021

City Reference: 173342

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Tuesday, May 4, 2021** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

[Handwritten signature]

Signature

Brad Yates

Printed Name and Title

4/26/21

Date

Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

Waxahachie ISD Proposal for Temporary HR Office Building

Building Size:

- Building will be 24' x 64' x 12'
- New build materials
 - New R-Panel exterior (stone color with green trim)
 - Sheetrock interior walls
 - Carpet
 - Drop Ceiling (2'x2' tiles)
 - 4 window on front side of building and 1 window in executive office
 - 1 main door entrance
- 7 total office spaces
 - (3) 11' x 10'
 - (2) 11.5' x 11.5'
 - (2) 16' x 11'
- 1 storage closet
 - 12' x 8'
- Building Signage
 - Wood composition
 - White paint
 - Black vinyl lettering
 - 4" x 4" posts painted green
 - Sealed
- Foreseen Duration of Temporary Office Building on Site
 - 3 years

(7)



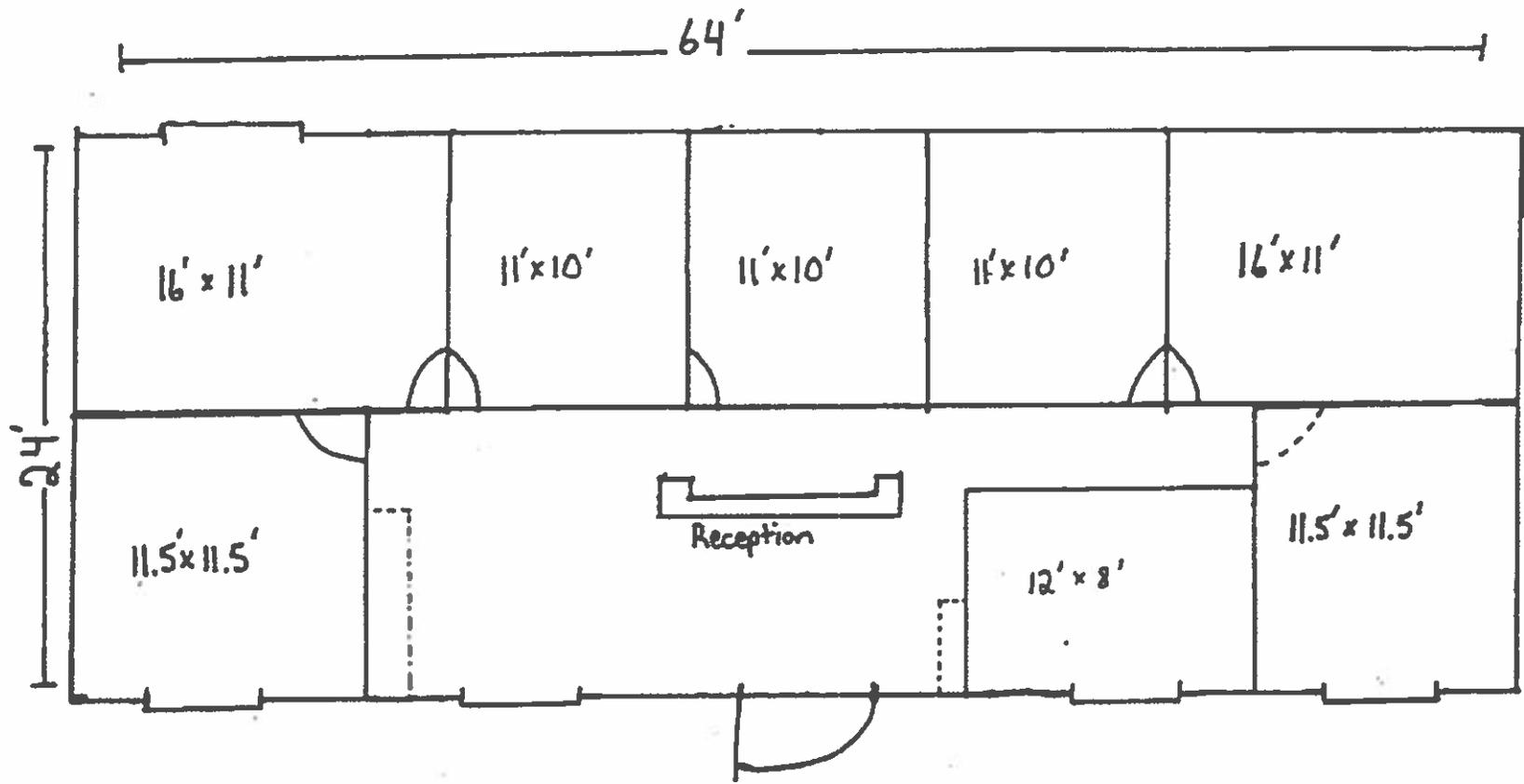
Sign: "Waxahachie ISD
Human Resources"
3'x5' (See Attached Picture)

24' x 64' x12'

Approx 30'

411 N 411 N Gibson St
Waxahachie, TX 75165
32.39°N 96.85°W

(7)



(7)

(9)

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-48-2021



MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021

City Council: May 17, 2021

CAPTION

Request by Nora De Los Santos for a Zoning Change from a Single Family-2 zoning district to Planned Development-Single Family-2, with Concept Plan, located at 211 Cumberland (Property ID 172281) - Owner: NORA DE LOS SANTOS (ZDC-48-2021)

APPLICANT REQUEST

The applicant is requesting to rezone the subject property from Single Family-2 (SF-2) to Planned Development-Single Family-2 (PD-SF-2), to adjust the front yard building setbacks on the lot to allow for a carport to be constructed.

CASE INFORMATION

Applicant: Nora De Los Santos

Property Owner(s): Nora De Los Santos

Site Acreage: 0.244 acres

Current Zoning: SF-2

Requested Zoning: PD-SF-2

SUBJECT PROPERTY

General Location: 211 Cumberland Rd

Parcel ID Number(s): 172281

Existing Use: A single family residence is located on the subject property.

Development History: This site was platted as part of the Belle-Vue Addition Unit 4 Plat, which was filed with Ellis County on January 6, 1956.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-2	Single Family Residence
East	SF-2	Single Family Residence
South	SF-2	Single Family Residence w/ Carport
West	SF-2	Single Family Residence w/ Carport

(9)

Future Land Use Plan:

Low Density Residential

Comprehensive Plan:

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of a similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Thoroughfare Plan:

The subject property is accessible via Cumberland Rd.

Site Image:



PLANNING ANALYSIS

Purpose of Request:

The applicant is requesting to rezone the subject property from Single Family-2 (SF-2) to Planned Development-Single Family-2 (PD-SF-2), to allow for the construction of a carport that would encroach into the front yard setback. Per standard SF-2 requirements, the minimum front yard setback is 30'.

Proposed Use:

The applicant is in need of the rezoning to allow for the construction of a carport over the driveway of 211 Cumberland. The proposed dimensions of the carport will be 25' long by 20' wide (total area of 500 sq. feet). Based off of the survey drawings provided by the applicant, the portion of the house where the rear of the carport will be located next to is setback 36' from the roadway. This would mean the front of the carport would be located approximately 11' from the edge of the property line.

Note:

It should be mentioned that there are several carports located along Cumberland Rd, including one on the property directly west of the subject property, and directly south of the subject property.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 28 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
 1. The carport will be allowed and the front yard setback for the proposed carport will be reduced to 10'. Any additional construction or improvement, whether it be to the primary structure, or an accessory use, will be the base SF-2 standard. Any deviation would require approval from City Council.
 2. The applicant will need to obtain a building permit form the City of Waxahachie Building Inspections department prior to construction of the proposed structure.

ATTACHED EXHIBITS

1. Site Plan
2. Elevation of Proposed Carport

APPLICANT REQUIREMENTS

FOR ZONING CASES

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(9)

SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at

No. 211 CUMBERLAND, in the city of WAXAHACHIE, Texas, described

as follows: 22

Lot No. 22 of BELLE-VUE ADDITION UNIT 4

City Block No. 7, Addition, an addition to the City of WAXAHACHIE

Texas, according to the plat recorded in Volume 376 at page 376 of the Map Records

of ELLIS COUNTY, Texas. TRANSFERRED TO MAP SHEET

A SLIDE A-301

of the City of WAXAHACHIE

Lot 23

LOT NO. 22

Lot 21

CUMBERLAND

BELLE-VUE ADDITION
BLOCK 7
NORTH

N 50° 14' 40" W

S 30° 14' 40" E

IRON

IRON

19'

22.7'

15.2'

38'

34.8'

139'

139'

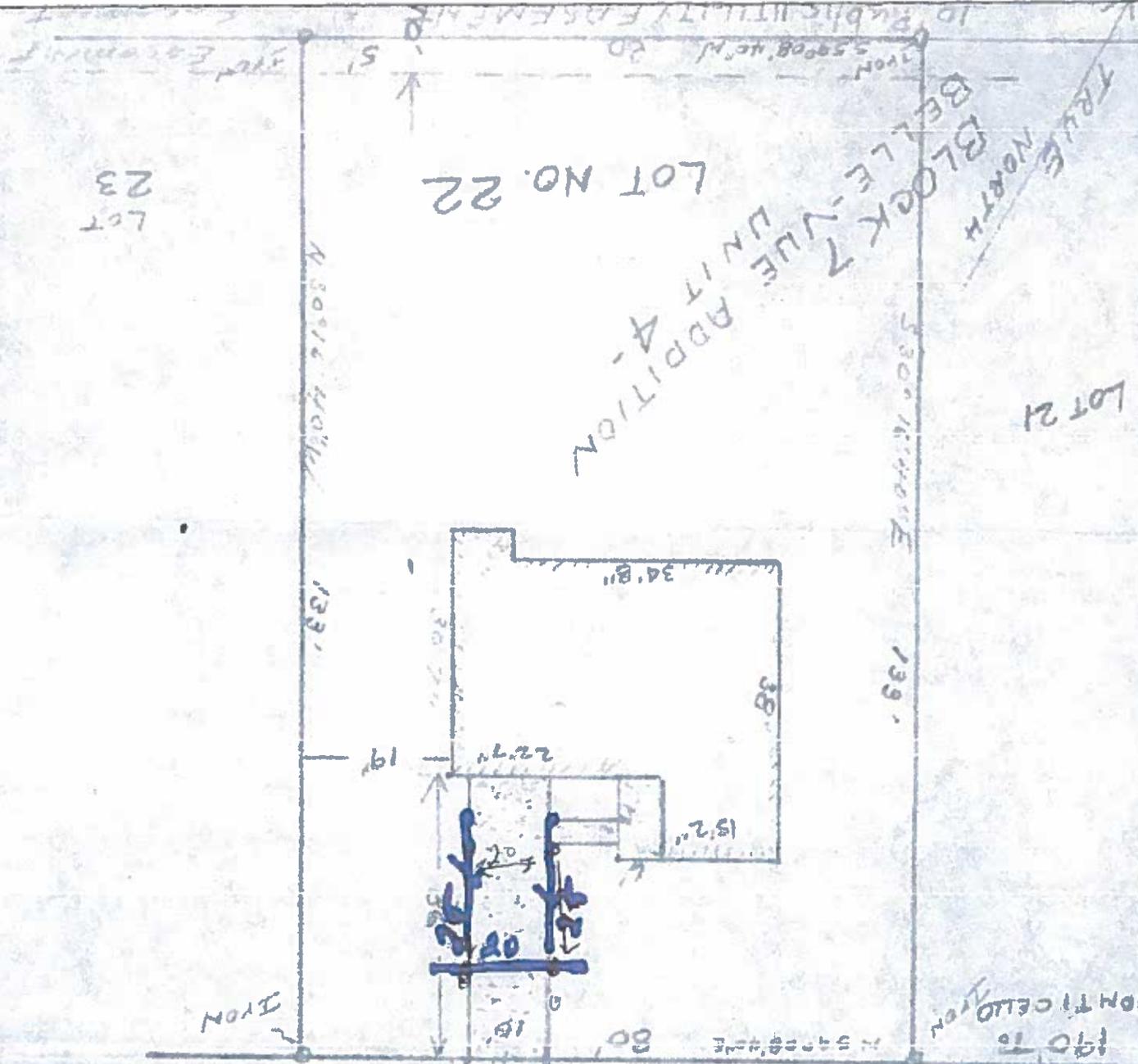
15'

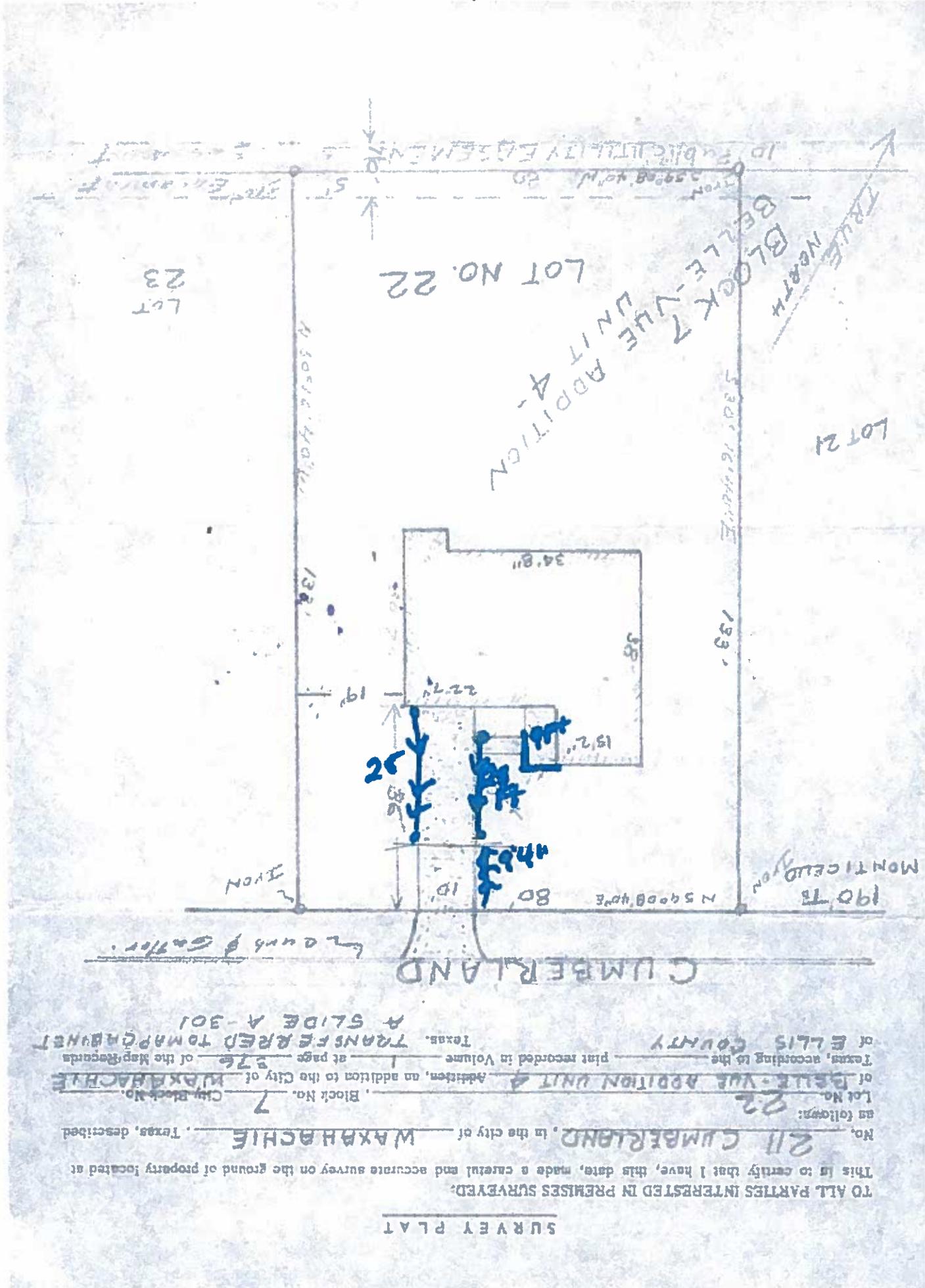
80'

N 54° 28' 44" E

190 TO

Corner of Center





TO ALL PARTIES INTERESTED IN PREMISES SURVEYED. This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at

No. 211 CUMBERLAND, in the city of WAXAHACHIE, Texas, described as follows: 22

Lot No. 22 of BELLE-VUE ADDITION UNIT A, Addition, an addition to the City of WAXAHACHIE, Texas, according to the plat recorded in Volume 316 at page 316 of the Map Records of ELLIS COUNTY, Texas. A SLIDE A-301 TRANSFERRED TO MAP RECORDS

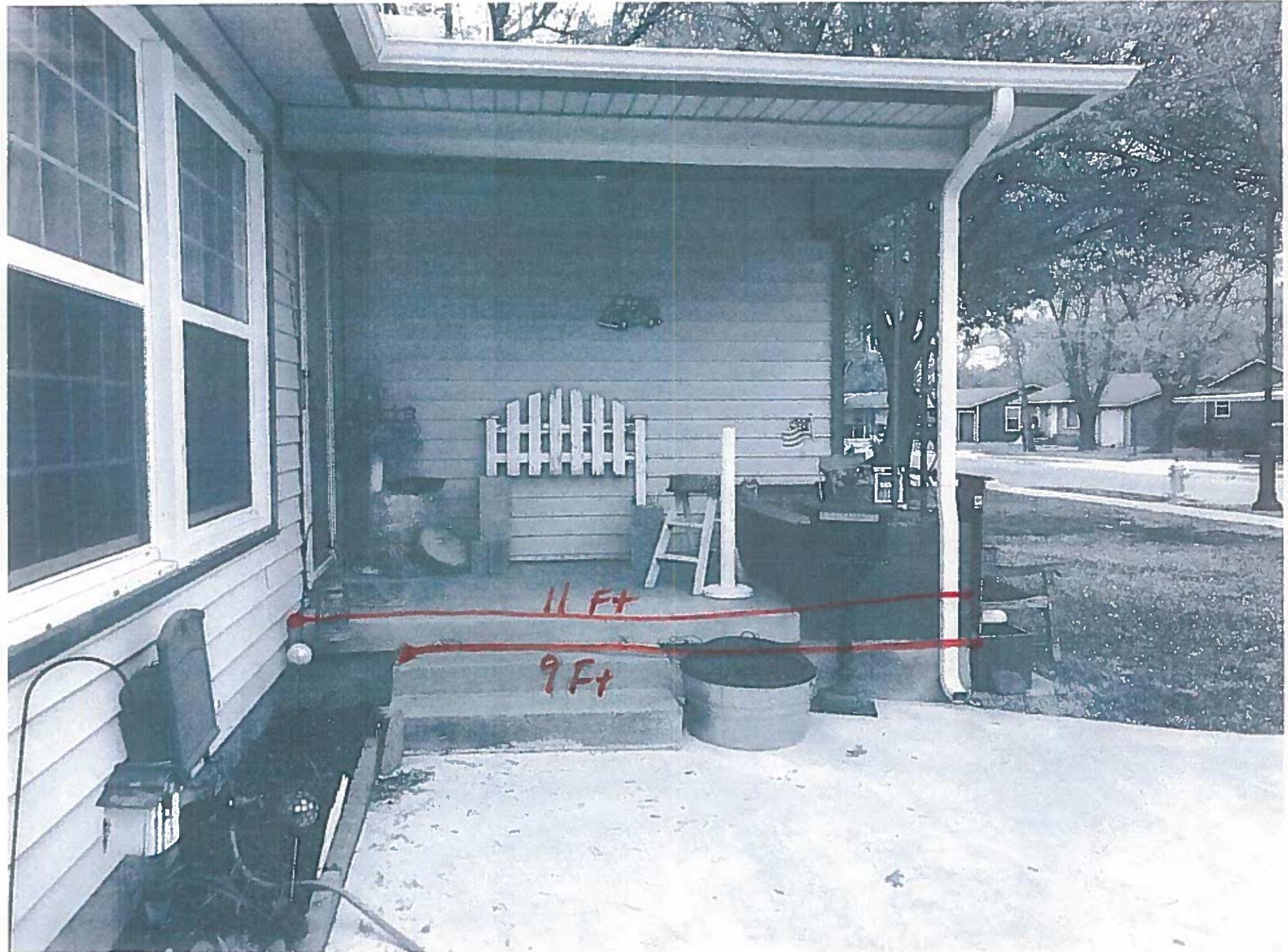
SURVEY PLAT

(9)

211 Cumberland Rd
WATAHACHIE



4x4 posts, purlins
2x6, 26ga metal
sheets. purlins will be
located every 4 ft



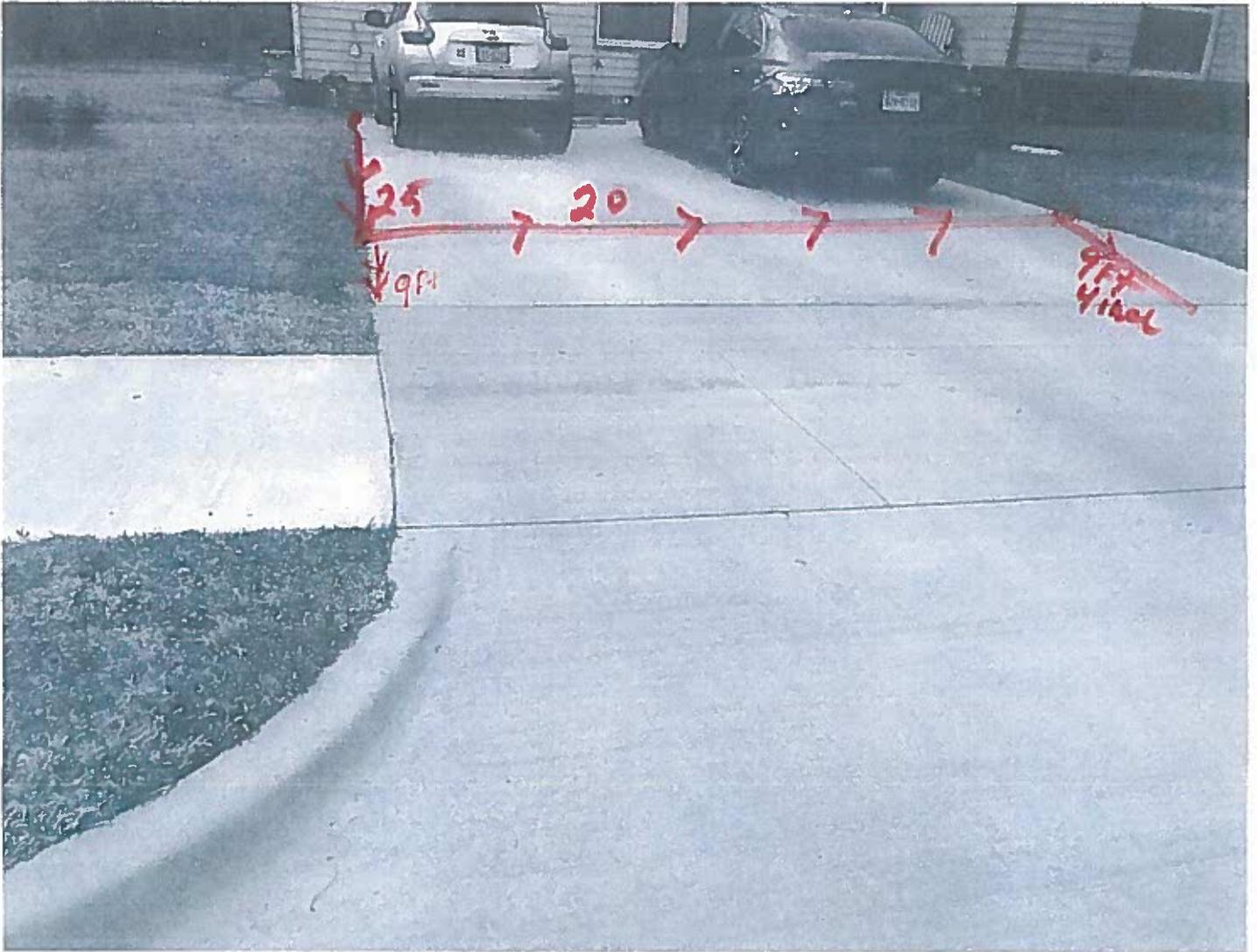
(b)



(b)

3/30/2021

(9) IMG_3215.jpg





Planning & Zoning Department

Zoning Staff Report

Case: ZDC-44-2021



MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021 (continued from April 27, 2021 PZ)

City Council: May 17, 2021

CAPTION

Public Hearing on a request by Jose Espinoza, Espinoza Stone, for a Specific Use Permit (SUP) for Outside Storage and Outside Display, use within a Light Industrial-1 and Future Development zoning district located at 4725 N Interstate 35 (Property ID 194416) - Owner: ESPINOZA STONE INC (ZDC-44-2021)

APPLICANT REQUEST

The applicant, Espinoza Stone, is requesting approval of a Specific Use Permit to allow for outside storage and outdoor display.

CASE INFORMATION

Applicant: Rex Hamilton, Espinoza Stone

Property Owner(s): Jose Espinoza, Espinoza Stone

Site Acreage: 14.162 acres

Current Zoning: Light Industrial-1 and Future Development

Requested Zoning: Light Industrial-1 and Future Development w/ SUP

SUBJECT PROPERTY

General Location: 4725 N Interstate Highway 35

Parcel ID Number(s): 194416

Existing Use: Currently Undeveloped

Development History: N/A

Table 1: Adjoining Zoning & Uses

Direction	Zoning	Current Use
North	LI1	Industrial Warehouse/Storage Use
East	----	N. Interstate 35 E. Service Rd.
South	LI2	Ervin Trucks
West	FD	Industrial Storage

(11)

Future Land Use Plan:

Highway Commercial

Comprehensive Plan:

Highway Commercial areas are intended to allow for traditional commercial land uses, but such uses should be developed to a higher standard. For example, outside storage may be permitted, but would have to be screened and not visible from the road. In addition, a more limited array of commercial uses would be permitted. Hotels, motels, and car dealerships would be permitted, for example, but manufactured home sales and self-storage buildings would not. The idea is for these areas to show a positive image of Waxahachie and make visitors want to travel into the main part of the City.

Thoroughfare Plan:

The subject property is accessible via N. Interstate Highway 35

Site Image:



PLANNING ANALYSIS

Purpose of Request:

The applicant, Espinoza Stone, is requesting approval of a Specific Use Permit to allow for outside storage and outdoor display. Per the City of Waxahachie Zoning Ordinance, a Specific Use Permit is required to be reviewed by City Council.

Case History:

Espinoza Stone previously occupied the adjacent property to the North of the subject site for the same use(s). On March 4, 2021, City Council approved Ordinance 2692 that required the applicant at the time (Espinoza Stone) to meet specific compliance requirements (as listed in the "Staff Concerns" section of the Staff Report).

Proposed Use:

The applicant, Espinoza Stone, intends to occupy the subject property for the use of outside storage and display. In addition to use of outdoor storage and outdoor display, the applicant intends to sale Texas limestone, dirt, sand, landscaping pavers, boulders for retaining walls, and other related items. Per the

Site Plan, the applicant is proposing to place two buildings on the site. One building will be used as a sales office and the second building is intended to be used as a supply shed. Per the Operational Plan, Espinoza Stone intends to have a maximum of six full time employees and proposed operational hours of 7:00am - 5:00pm, Monday thru Friday, and 7:00am – 12:00pm on Saturdays.

STAFF CONCERNS

Applicant Compliance History

On March 4, 2013, City Council approved Ordinance 2692 (for adjacent property to the North) that required the applicant at that time (Espinoza Stone) to meet the following conditions:

- Landscaping will be designed by a licensed Registered Landscape Architect and approved by the City.
- A concrete driveway will have to go to the proposed building.
- All storage has to be palletized and stored in an orderly fashion.
- Outdoor storage at the front of the property may be only a single pallet high and shall be limited in amount in front of the current building.
- Storage to the rear of the property shall be screened.
- Display at the front of the property must be on concrete.

Since Ordinance 2692 has been approved, the Espinoza Stone failed to meet the requirements of the Ordinance. If approved, prior to receiving an official Certificate of Occupancy, the applicant shall complete all recommendations made by staff.

- **Applicant Response:** The applicant understands staff concerns and intends to state their reasoning at the May 11, 2021 Planning and Zoning meeting.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 5 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:**
 1. All staff recommendations shall be completed prior to the applicant receiving an official Certificate of Occupancy.
 2. The front portion of the property shall be concrete.
 3. Staff suggests that any pavement added in the future be concrete.
 4. 6ft. ornamental fencing with landscaping (per the City of Waxahachie Zoning Ordinance) should be provided along the front and side(s) of the property.
 - a. Landscaping shall be designed by a licensed Registered Landscape Architect and approved by the City.
 5. All storage shall be palletized and stored in an orderly fashion.
 6. Any outdoor storage/display at the front of the property may only be a single pallet high and shall be limited in amount in front of the current building. Any display located at the front of the property shall be on concrete.
 7. Any storage in the rear of the property shall be screened from public view.

ATTACHED EXHIBITS

1. Ordinance 2692
2. Site Plan
3. Landscape Plan
4. Elevation/Façade Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

(11)

ORDINANCE NO. 2692

AN ORDINANCE AUTHORIZING A SPECIFIC USE PERMIT ON LOT 1, BLOCK A, ESPINOZA ADDITION, IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, CONTAINING 7.081 ACRES, LOCATED AT 4743 NORTH IH-35E, WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING LIGHT INDUSTRIAL-1 (LI-1) TO LIGHT INDUSTRIAL-1 WITH SPECIFIC USE PERMIT (LI-1 w/SUP), FOR THE PURPOSE OF MANUFACTURING AND SALE OF STONE AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and,

WHEREAS, the hereinbelow described property is classified in said ordinance and any amendments thereto as Light Industrial-1 (LI-1); and

WHEREAS, proper application for a Specific Use Permit has been made in accordance with the zoning ordinances in the City of Waxahachie, and same having been referred to the Planning and Zoning Commission, and said Planning and Zoning Commission has recommended the issuance thereof; and,

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and,

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said Specific Use Permit;

NOW, THEREFORE, a Specific Use Permit for the purpose of manufacturing and sale of stone is hereby authorized on the following property:

Lot 1, Block A, Espinoza Addition, Waxahachie, Ellis County, Texas, containing 7.081 acres, located at 4743 North IH-35E, Waxahachie, Texas.

This Specific Use Permit is granted subject to the following provisions:

1. Landscaping will be designed by a licensed Registered Landscape Architect and approved by the City.
2. A concrete driveway will have to go to the proposed building.
3. All storage has to be palletized and stored in an orderly fashion.
4. Outdoor storage at the front of the property may be only a single pallet high and shall be limited in amount in front of the current building.
5. Storage to the rear of the property shall be screened.
6. Display at the front of the property must be on concrete.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance herewith.

PASSED, APPROVED AND ADOPTED on this 4th day of March, 2013.



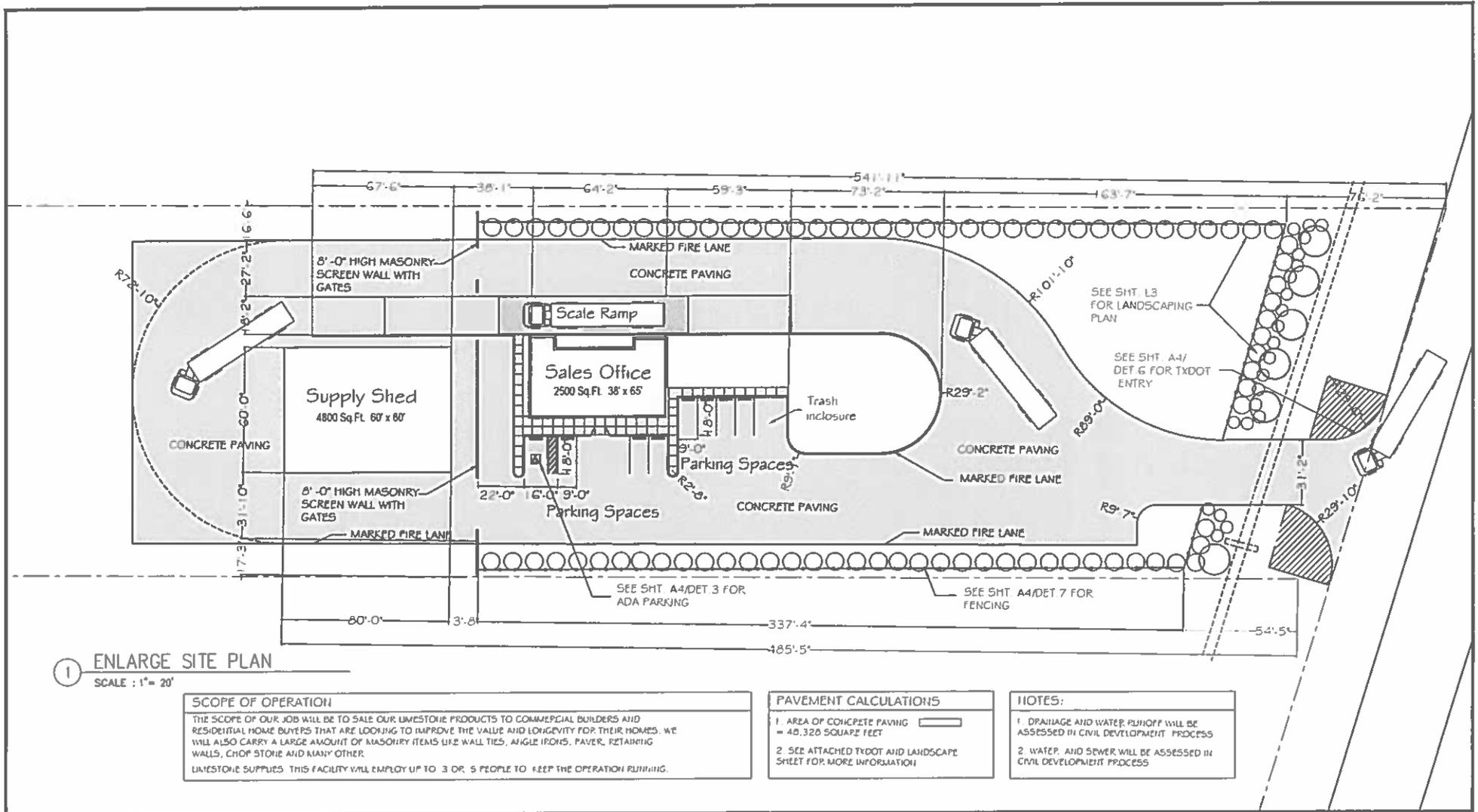
ATTEST:

Roni Saunders

City Secretary

D. Jordan

MAYOR



① ENLARGE SITE PLAN
SCALE : 1" = 20'

SCOPE OF OPERATION
 THE SCOPE OF OUR JOB WILL BE TO SALE OUR LIMESTONE PRODUCTS TO COMMERCIAL BUILDERS AND RESIDENTIAL HOME BUYERS THAT ARE LOOKING TO IMPROVE THE VALUE AND LONGEVITY FOR THEIR HOMES. WE WILL ALSO CARRY A LARGE AMOUNT OF MASONRY ITEMS LIKE WALL TIES, ANGLE IRONS, PAVER, RETAINING WALLS, CHOP STONE AND MANY OTHER LIMESTONE SUPPLIES. THIS FACILITY WILL EMPLOY UP TO 3 OR 5 PEOPLE TO KEEP THE OPERATION RUNNING.

PAVEMENT CALCULATIONS
 1. AREA OF CONCRETE PAVING = 48,320 SQUARE FEET
 2. SEE ATTACHED TXDOT AND LANDSCAPE SHEET FOR MORE INFORMATION

NOTES:
 1. DRAINAGE AND WATER RUNOFF WILL BE ASSESSED IN CIVIL DEVELOPMENT PROCESS
 2. WATER AND SWER WILL BE ASSESSED IN CIVIL DEVELOPMENT PROCESS



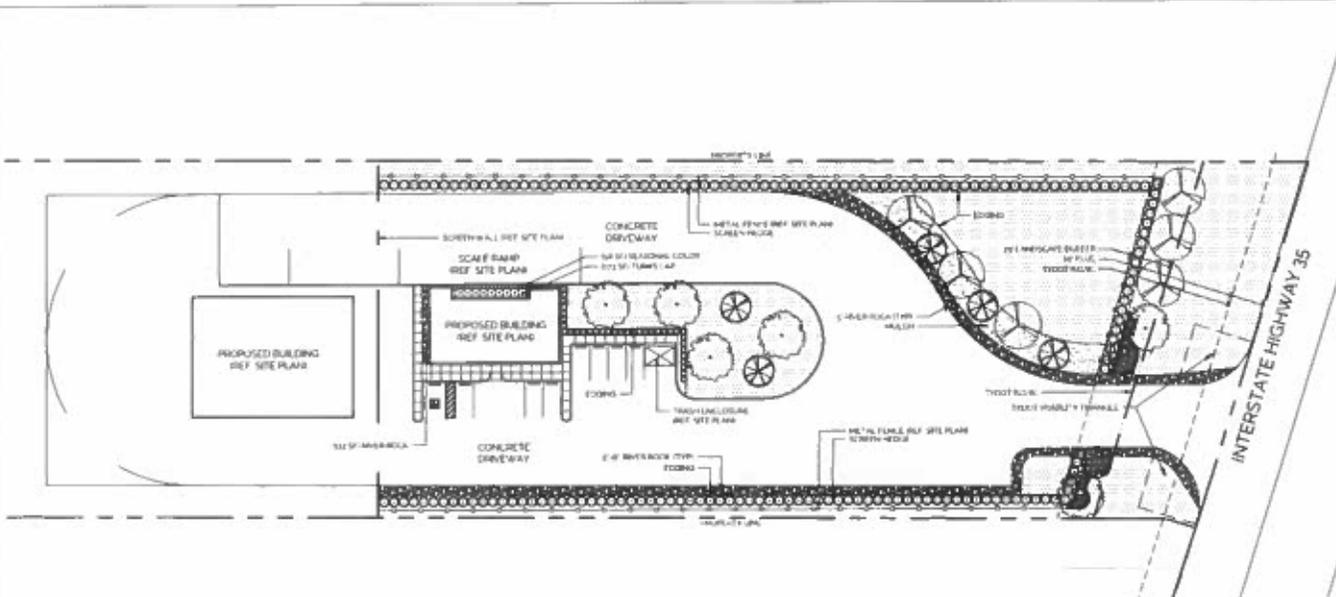
Color =
Jesse Espinoza
 4725 North IH 35 East Waxahachie, TX 75165

Job No. EST# xxxxx
 04/29/2021
 Mortar Joints: 1/4"
 Drawn By: Rex
 Delivery Date:

Sheet
A2
 of

Waxahachie Sales Office

(11)



PLANT SYMBOL LEGEND

CANOPY TREES

- CEDAR ELM
- TEXAS RED OAK
- LIVE OAK

SHRUBS / LG. PERENNIALS

- BLUE SAGE
- TEXAS MOUNTAIN LAUREL

ORNAMENTAL GRASSES

- BLUE ANEMONE

PERENNIALS / G.C.

- TURF TURF
- SEASONAL COLOR (OWNER SELECTED)

TURF

- MULTI-PLANTING
- NEGATIVE AREA

LANDSCAPE PLAN



PLANT MATERIAL SCHEDULE						
NO.	SYMBOL	SYMBOL NAME	TYPE OF PLANT	SIZE	QUANTITY	REMARKS
1		CECEDAR ELM	T	12"	100	PLANTING IN BUFFER ZONE
2		TEXAS RED OAK	T	12"	100	PLANTING IN BUFFER ZONE
3		LIVE OAK	T	12"	100	PLANTING IN BUFFER ZONE
4		BLUE SAGE	S	12"	100	PLANTING IN BUFFER ZONE
5		TEXAS MOUNTAIN LAUREL	S	12"	100	PLANTING IN BUFFER ZONE
6		BLUE ANEMONE	G	12"	100	PLANTING IN BUFFER ZONE
7		TURF TURF	G	12"	100	PLANTING IN BUFFER ZONE
8		SEASONAL COLOR	G	12"	100	PLANTING IN BUFFER ZONE

PROJECT LANDSCAPE DATA TABLE				
CITY LANDSCAPE REQUIREMENTS				
TYPE	REQUIREMENT	AREA / MEASUREMENT	REQUIRED	PROVIDED
STREET TREES	1 TREE PER EVERY 50 FT	100 FT	2 TREES	2 TREES
OUTDOOR LANDSCAPE	30% OF TOTAL SF OF THE BUILDING SHALL BE LANDSCAPED	7,000 SF (10,000 SF)	-	-
INLANDER LANDSCAPE	REQUIRED UNDER CANOPY TREES	4,000 SF (10,000 SF)	2 TREES	2 TREES
	REQUIRED UNDER 10' X 10' TREES	1,000 SF (10,000 SF)	2 TREES	2 TREES
	REQUIRED SHRUBS	1,000 SF (10,000 SF)	20 SHRUBS	20 SHRUBS
	REQUIRED PERENNIALS	1,000 SF (10,000 SF)	20 PERENNIALS	20 PERENNIALS
	REQUIRED SEASONAL COLOR	1,000 SF (10,000 SF)	20 SC	20 SC
PARKING	20' X 10' PER SPACE AND ONE SHRUB FOR EVERY 500 SF OF REQUIRED PARKING LANDSCAPE AREA	100 SF (10,000 SF)	20 TREES AND 20 SHRUBS	20 TREES AND 20 SHRUBS
WALKWAY	MINIMUM 10' WIDE LANDSCAPE BUFFER BETWEEN WALKWAY AND ADJACENT PARKING AREAS	-	100	100
	MINIMUM 10' WIDE LANDSCAPE BUFFER BETWEEN WALKWAY PROPERTY LINE AND ANY PARKING AREAS	-	100	100

Valley Quest
DESIGN
LANDSCAPE ARCHITECTS
252 S. Elm St. Ste. 120
Denon, Texas 75019
ph: 254.783.1175

CONSULTANT:

OWNER / CLIENT:

ESPINOZA STONE INC.
4725 N. IH 35 E.
WAXAHACHE, TX 75165

Project No.	2024-001
Client No.	001
Revision No.	00
Scale Table	0 = 1" = 10'
Scale Date	12/11/2024

REVISIONS		
No.	Date	Description



DATE: 12/11/2024

PROJECT:

OFFICE BUILDING

WAXAHACHE, TX 75165

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

LP1.0

(11)

Valley Quest
DESIGN
LANDSCAPE ARCHITECTS
212 S. Elm St. Ste. 120
Denton, Texas 76201
ph 214.783.1715

CONSULTANT:

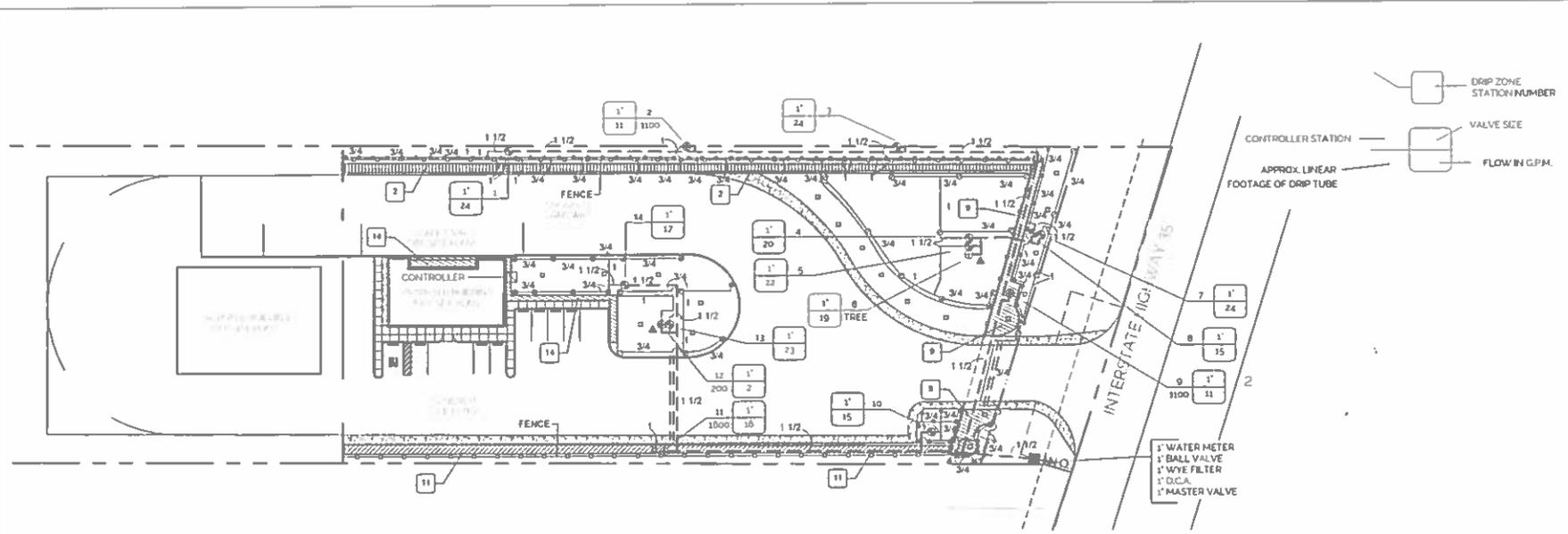
OWNER / CLIENT:
ESPINOZA STONE INC.
4775 N. BY 35 E.
WAXAHACHE, TX 75165

Project No.	1913-044
Client No.	015
Issued By	JL
Date	12/11/2019
Scale	1/4" = 1'-0"

REVISIONS:		
No.	Date	Description



DATE: 12/11/2019
PROJECT:
OFFICE BUILDING
Waxahatche, TX 75165
SHEET TITLE:
IRRIGATION PLAN
SHEET NUMBER:
L11.0

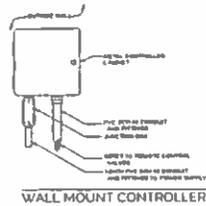


IRRIGATION PLAN

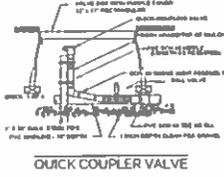


- IRRIGATION LEGEND**
- RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER #10 RAINBIRD #1402 SERIES BUBBLER NOZZLES. (TWO PER TREE) SEE INSTALLATION NOTE #8 REGARDING TREE BUBBLER LATERAL PIPE
 - RAINBIRD 1804-SAM-PRS SERIES POP UP SPRAY HEAD WITH SST / EST SERIES NOZZLE AS NOTED BELOW
 - RAINBIRD 1804-SAM-PRS SERIES POP UP SPRAY HEAD WITH U-SERIES NOZZLE AS NOTED BELOW
 - RAINBIRD 500APCSAMR ADJUSTABLE ARC 4" POP UP ROTARY HEAD PART CIRCLE #15 LA NOZZLE UNLESS NOTED OTHERWISE
 - RAINBIRD 500APCSAMR ADJUSTABLE ARC 4" POP UP ROTARY HEAD PART CIRCLE #25 NOZZLE UNLESS NOTED OTHERWISE
 - RAINBIRD 500APCSAMR ADJUSTABLE ARC 4" POP UP ROTARY HEAD PART CIRCLE #25 NOZZLE UNLESS NOTED OTHERWISE
 - METAFIRM TECHLINE TLVC12075-12 DRIP TUBE IN SHRUB BED INSTALLED AT 3" DEPTH
SEE INSTALLATION NOTE #16 REGARDING DRIP TUBE LAYOUT IN SHRUB BEDS.
 - Ⓢ RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL VALVE
 - Ⓣ RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL "TREE BUBBLER ZONE" VALVE
SEE INSTALLATION NOTE #8 REGARDING TREE BUBBLER LATERAL PIPE
 - METAFIRM LVCZ SERIES DRIP VALVE ASSEMBLY WITH 50 PSI PRESSURE REGULATOR AND 1/10 MESH SCREEN
USE MODEL LVCZ58010075-LF FOR DRIP ZONES WITH .25 TO 4.4 GPM FLOW RATE WITH PRESSURE REGULATOR MODEL #PRV075LF50V2K
USE MODEL LVCZ12075-MFIP FOR DRIP ZONES WITH .45 TO 17.8 GPM FLOW RATE WITH PRESSURE REGULATOR MODEL #PRV075LF50V2K
 - ▲ RAINBIRD 33-DRIP QUICK COUPLING VALVE WITH LOCKING PURPLE COVER AND 3/4" PVC BALL VALVE
 - WILKINS 360 SERIES D.C.A. INSTALLED PER CITY CODE, WITH SAME SIZE WILKINS 860 SERIES BRONZE BALL VALVE AND WILKINS 8 SERIES BRONZE W/VE FILTER WITH 20 MESH STAINLESS STEEL SCREEN
 - LASCO "VIVID" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
 - IRRIGATION WATER METER AND TAP, SIZE AS NOTED ON THE PLAN
 - RAINBIRD ESPLUXME SERIES AUTOMATIC CONTROLLER WITH ONE ESPLUXME8 MODULE AND W/RJ-RFC RAIN / FREEZE SENSOR LOCATE SENSOR AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT
 - MASTER ELECTRIC VALVE (SAME SIZE AS WATER METER) AND FLOW METER DEVICE
- CLASS 200 PVC MAINLINE PIPE
— CLASS 200 (EXCEPT 1/2 INCH # 315) PVC LATERAL PIPE
— ONE 4" CLASS 200 SLEEVE PIPE
— TWO 4" CLASS 200 SLEEVE PIPES
- LIC. SHALL SELECT SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE. ADJUSTED FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.

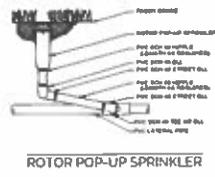
(11)



WALL MOUNT CONTROLLER



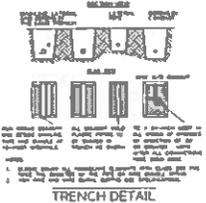
QUICK COUPLER VALVE



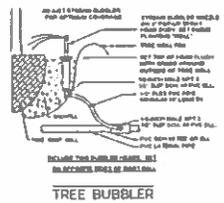
ROTOR POP-UP SPRINKLER



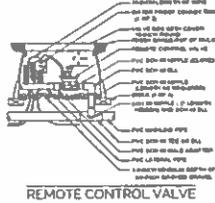
POP-UP SPRAY HEAD



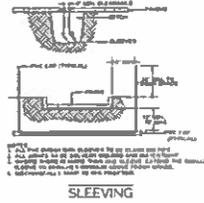
TRENCH DETAIL



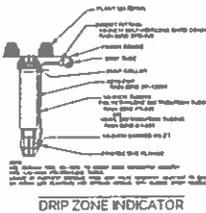
TREE BUBBLER



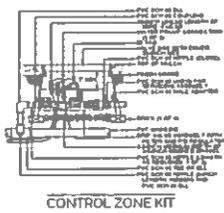
REMOTE CONTROL VALVE



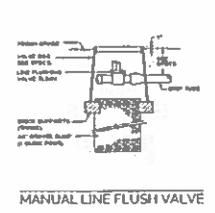
SLEEVING



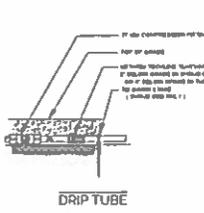
DRIP ZONE INDICATOR



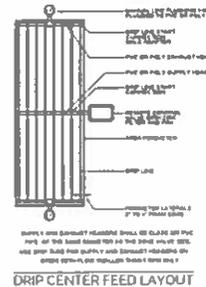
CONTROL ZONE KIT



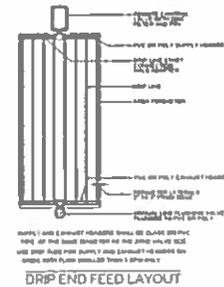
MANUAL LINE FLUSH VALVE



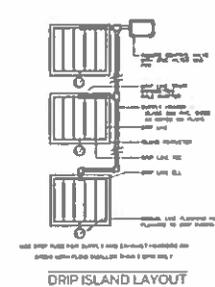
DRIP TUBE



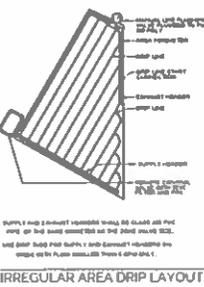
DRIP CENTER FEED LAYOUT



DRIP END FEED LAYOUT



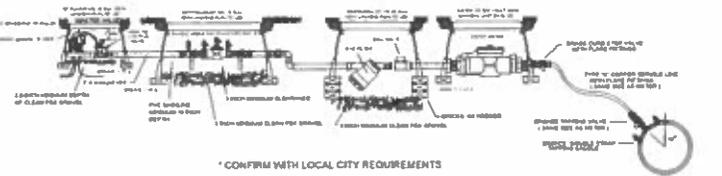
DRIP ISLAND LAYOUT



IRREGULAR AREA DRIP LAYOUT

INSTALLATION NOTES

- CONFIRM MINIMUM STATIC WATER PRESSURE OF 65 PSI AT THE HIGHEST ELEVATION OF THE SYSTEM LIMITS AND MAXIMUM STATIC WATER PRESSURE OF 90 PSI AT THE LOWEST ELEVATION OF THE SYSTEM LIMITS AT LEAST 7 DAYS BEFORE BEGINNING WORK. IF STATIC WATER PRESSURE IS OUTSIDE THE RANGE STATED ABOVE, DO NOT ELECTRIC POWER SHALL BE PROVIDED WITH 1/2 FIVE FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR. L.I.C. TO PROVIDE FINAL HARD-WIRE TO CONTROLLER.
- 1/2" WIRE SHALL BE A #14 GAUGE U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR "BRIGATION WIRE" WIRE SPICES SHALL INCLUDE DEBY CONNECTORS AS MANUFACTURED BY 3M COMPANY. ALL FIELD SPICES SHALL BE LOCATED IN A ROUND VALVE BOX OF SUFFICIENT SIZE TO ALLOW INSPECTION.
- UNSEWERED PIPES MAY BE SHOWN UNDER PAVEMENT FOR GRAPHIC CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPED AREAS.
- VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED. WITH 1/2" INCHES OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE. USE 12" x 12" RECTANGULAR VALVE BOXES WITH PURPLE LID FOR QUICK COUPLING VALVES. AND 10" ROUND BOXES FOR ELECTRIC VALVES UNLESS NOTED OTHERWISE. D.C.A. WITH UPSTREAM BALL VALVE AND WYE FILTER SHALL BE BOXED AND LOCATED ACCORDING TO LOCAL CODE.
- USE RAINBOW FITTINGS PVC SWAGING JOINT ASSEMBLIES TO CONNECT ALL ROTARY HEADS AND QUICK COUPLERS.
- ALL SPRAY HEADS SHALL BE CONNECTED WITH A 12" MINIMUM LENGTH OF 1/2" FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #9-70 PRIMER.
- LATERAL PIPE TO TREE STREAM BUBBLER HEADS IS OMITTED FOR GRAPHIC CLARITY. CONNECT TREE BUBBLER HEADS TO VALVES AS SHOWN WITH CLASS 200 PVC PIPE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF 5 FEET PER SECOND.
- NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS. PROCEED UNTIL DIRECTED BY THE LANDSCAPE ARCHITECT.
- LATERAL PIPE SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12 INCHES. MAINLINE PIPE AND WIRES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES. NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN EXISTING TREE ROOT ZONES. WHEN HAND TRENCHING WITHIN EXISTING TREE ROOT ZONES, NO ROOTS LARGER THAN 1" DIAMETER SHALL BE CUT.
- PROVIDE ONE QUICK COUPLER KEY WITH SWIVEL HOSE END FOR EVERY SIX (6) VALVES. (MINIMUM ONE SET).
- CONTRACTOR IS TO CONTACT APPROPRIATE AUTHORITIES AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 4" FROM PAVEMENT EDGES, 18" OR GREATER WHERE REQUIRED BY LOCAL CODE. FINAL HEAD ADJUSTMENTS BY THE CONTRACTOR SHALL INCLUDE THE ADDITION OF CHECK VALVES WHERE NEEDED TO PREVENT EXCESSIVE LOW HEAD DRAINAGE. THE CONTRACTOR SHALL BUDGET FOR AND INSTALL CHECK VALVES FOR UP TO 1% OF THE TOTAL NUMBER OF HEADS WHEN NEEDED WITH NO ADDITIONAL COST TO THE OWNER.
- THE PROPOSED LOCATIONS OF ALL ABOVE-GROUND EQUIPMENT INCLUDING BACKFLOW PREVENTORS, CONTROLLERS, AND WEATHER SENSORS SHALL BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE BEFORE THESE ITEMS ARE INSTALLED.
- COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES AND WILL SECURE ALL REQUIRED PERMITS. L.I.C. SHALL PAY ANY ADDITIONAL FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN AND SHALL BE ADDRESSED BEFORE ANY CONSTRUCTION BEGINS.
- WHERE SHOWN ON THE PLANS, MASS SHRUB / GROUND COVER BEDS SHALL INCLUDE NETAFIM TECH-LINE TLHCVA9 WIRES. DRIP TUBE WITH PRE-INSTALLED 2" CPH DRIP EMITTERS AT 12" INTERVALS, INSTALLED IN CENTER-FED GRIDS WITH ROWS SPACED 18" APART. INDIVIDUAL DRIP TUBE RUNS SHALL NOT EXCEED 150 LF. PVC LATERAL TRUNK LINES SHALL BE INSTALLED 10" DEEP. DRIP TUBE SHALL BE SET 2" BELOW FINISHED SOIL GRADE (NOT INCLUDING MULCH LAYER) AND SECURELY STAKED EVERY 18". FLUSH VALVES SHALL BE INSTALLED AT THE FARTHEST POINTS FROM THE ZONE VALVE. USE 1/2" M4 BARBED FITTINGS FOR DRIP LINE CONNECTIONS. SET THE MAXIMUM OPERATING PRESSURE AT 40 PSI. DRIP TUBE SHALL BE INSTALLED PERPENDICULAR TO SLOPE FACE. INSTALL IN-LINE CHECK VALVES EVERY 45 FEET OF DRIP LINE ELEVATION CHANGE WITHIN THE ZONE. USE NETAFIM STAPLES TO SECURE TUBING EVERY 18". EACH DRIP ZONE SHALL INCLUDE ONE NETAFIM EZ OPERATION FLAG. THE OPERATION FLAG SHALL BE CONNECTED TO THE DRIP ZONE PIPE, AND SET FLUSH WITH GRADE, AND LOCATED AT THE FARTHEST DISTANCE FROM THE DRIP VALVE ASSEMBLY. INSTALL THE FLAG HEAD ADJACENT TO EDGING OR LOW PLANTINGS FOR EASE OF VIEWING.



* CONFIRM WITH LOCAL CITY REQUIREMENTS

WATER TAP WITH METER, BALL VALVE, WYE FILTER, BACKFLOW ASSEMBLY, AND MASTER VALVE

Valley Quest DESIGN
 LANDSCAPE ARCHITECTS
 212 S. Elm St. Ste. 120
 Denton, Texas 76201
 ph 214.783.1715

CONSULTANT:
 OWNER / CLIENT:
 ESPINOZA STONE INC.
 4725 N. H. 35 E.
 WAXAHACHE, TX 75165

Request No.	0000-000
Project No.	0000
Issued/Revised By	JLB
Issue Type	Change
Issue Date	06/19/2020

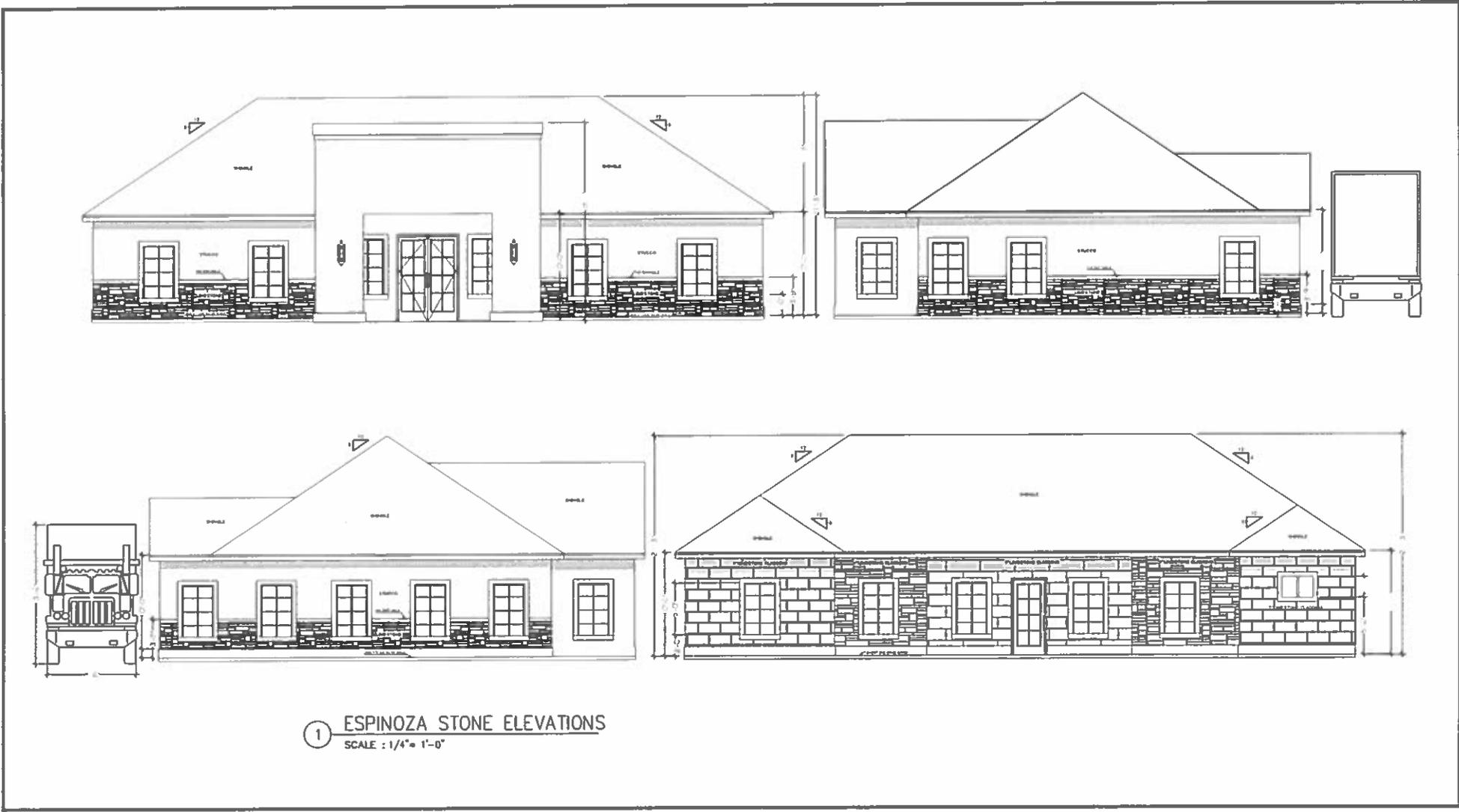
REVISIONS:		
No.	Date	Description



DATE: 06/19/2020
 PROJECT:
 OFFICE BUILDING
 Waxahatche, TX 75165
 SHEET TITLE:
 IRRIGATION DETAILS
 SHEET NUMBER:

L11.1

(11)



① ESPINOZA STONE ELEVATIONS
SCALE : 1/4" = 1'-0"

(11)



Color =
Jesse Espinoza
 4725 North IH 35 East Waxahachie, TX 75165

Job No. EST# xxxxx
 04/29/2021
 Mortar Joints 1/4"
 Drawn By: Rex
 Delivery Date:

Sheet
A6
 of

Waxahachie Sales Office

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-49-2021



MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021

City Council: May 17, 2021

CAPTION

Public Hearing on a request by Sam Anderson, WCA Construction, for a Specific Use Permit (SUP) for Trailer and Heavy Load Vehicle Repair use within a Light Industrial-1 zoning district located at 2270 & 2290 Highway 287 Business (Property ID 180390 & Property ID 180394) - Owner: MYTI PROPERTIES, LLC (ZDC-49-2021)

APPLICANT REQUEST

The applicant is requesting approval to construct a facility for the use of office and Trailer and Heavy Load Vehicle Repair on 5.48 acres.

CASE INFORMATION

Applicant: Sam Anderson, WCA Construction & Greg Guerin, East Star Design

Property Owner(s): MYTI Properties, LLC

Site Acreage: 5.48 acres

Current Zoning: Light Industrial-1

Requested Zoning: Light Industrial-1 w/ SUP

SUBJECT PROPERTY

General Location: Located at 2270 & 2290 Highway 287 Business

Parcel ID Number(s): 180394

Existing Use: TIMCO Logistics Systems Inc.

Development History: N/A

Table 1: Adjoining Zoning & Uses

Direction	Zoning	Current Use
North	SF1	Currently Undeveloped
East	LI1	Central Kubota, LLC
South	LI1	Currently Undeveloped
West	SF1	Currently Undeveloped

(13)

Future Land Use Plan:

Mixed Use Non-Residential

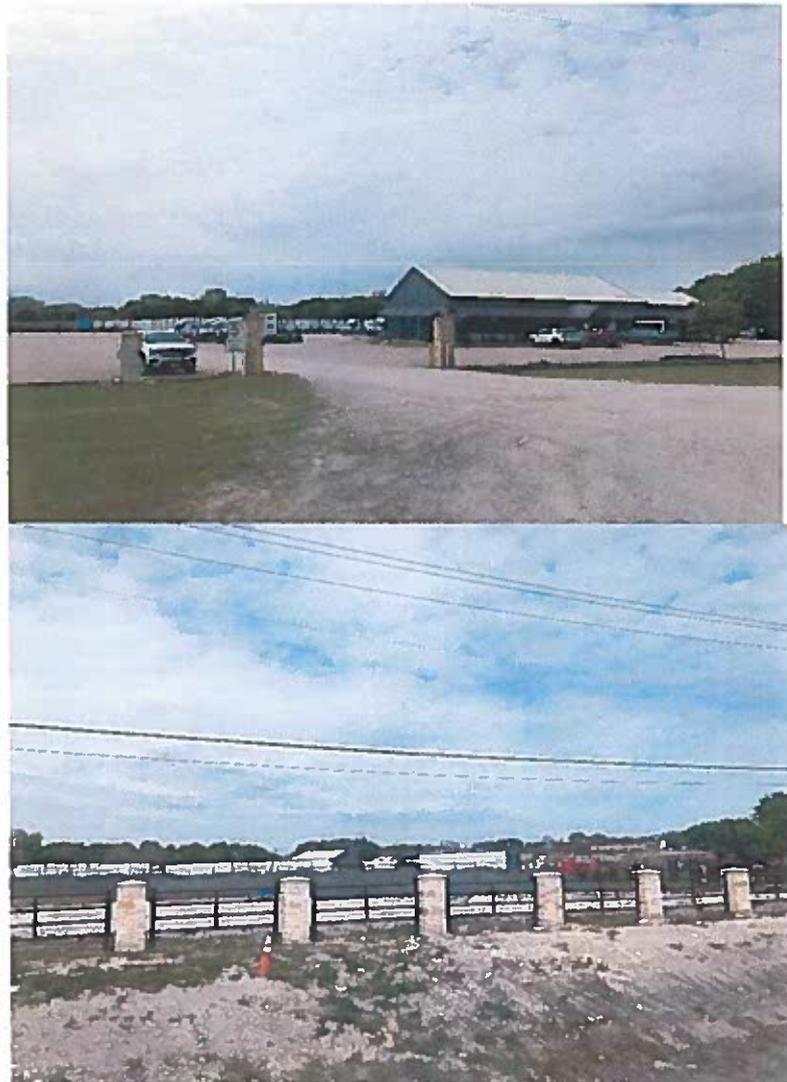
Comprehensive Plan:

Mixed Use Non-Residential: Similar to Mixed Use Residential, land designated with this land use are intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with the remaining 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use.

Thoroughfare Plan:

The subject property is accessible via US Business 287

Site Image:



PLANNING ANALYSIS**Purpose of Request:**

The applicant is requesting approval to construct a facility for the use of office and Trailer and Heavy Load Vehicle Repair on 5.48 acres. The use of Trailer and Heavy Load Vehicle repair requires a Specific Use Permit. Per the City of Waxahachie Zoning Ordinance, a Specific Use Permit must be reviewed by City Council.

Proposed Use:

The applicant, TIMCO Logistics, intends to construct a facility for the use of office and Trailer and Heavy Load Vehicle Repair on the subject property. The facility will consist of 32,718 sq. ft. total. 18,845 sq. ft. will be used for trailer and heavy load vehicle repair, and the remaining 13,873 sq. ft. will be used as a three story office building. TIMCO intends for the site to be its new national headquarters. Furthermore, the building is proposed to consolidate other company office locations from across the state to bring possibly 300 employees to this location.

Table 2: Proposed Development Standards (Light Industrial-1)

***Items highlighted in bold do not meet the City of Waxahachie requirements**

Standard	City of Waxahachie	TIMCO Logistics	Meets Y/N
Min. Lot Area (Sq. Ft.)	7,000	238,709 (5.48 acres)	Yes
Min. Lot Width (Ft.)	70	362	Yes
Min. Lot Depth (Ft.)	100	902	Yes
Min. Front Yard (Ft.)	40	40	Yes
Min. Side Yard (Ft.)	30	30	Yes
Min. Rear Yard (Ft.)	30	30	Yes
Max. Height	6 stories	3 stories	Yes
Max. Lot Coverage (%)	60	14	Yes
Parking	84	87	Yes

**The building is proposed to be constructed of stucco, stone, and metal.*

STAFF CONCERNS**Bay Doors**

Staff suggests that the applicant reduce the amount of bay doors (7) facing US Business 287.

- **Applicant Response:** The applicant understands staff concerns and intends to state their reasoning at the May 11, 2021 Planning and Zoning meeting.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 10 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:**
 1. Per the applicant's request, a Development Agreement will be required for the property.
 2. Any additional pavement added to the site shall be concrete material.

ATTACHED EXHIBITS

1. Site Plan
2. Landscape Plan
3. Elevation/Façade Plan
4. Rendering

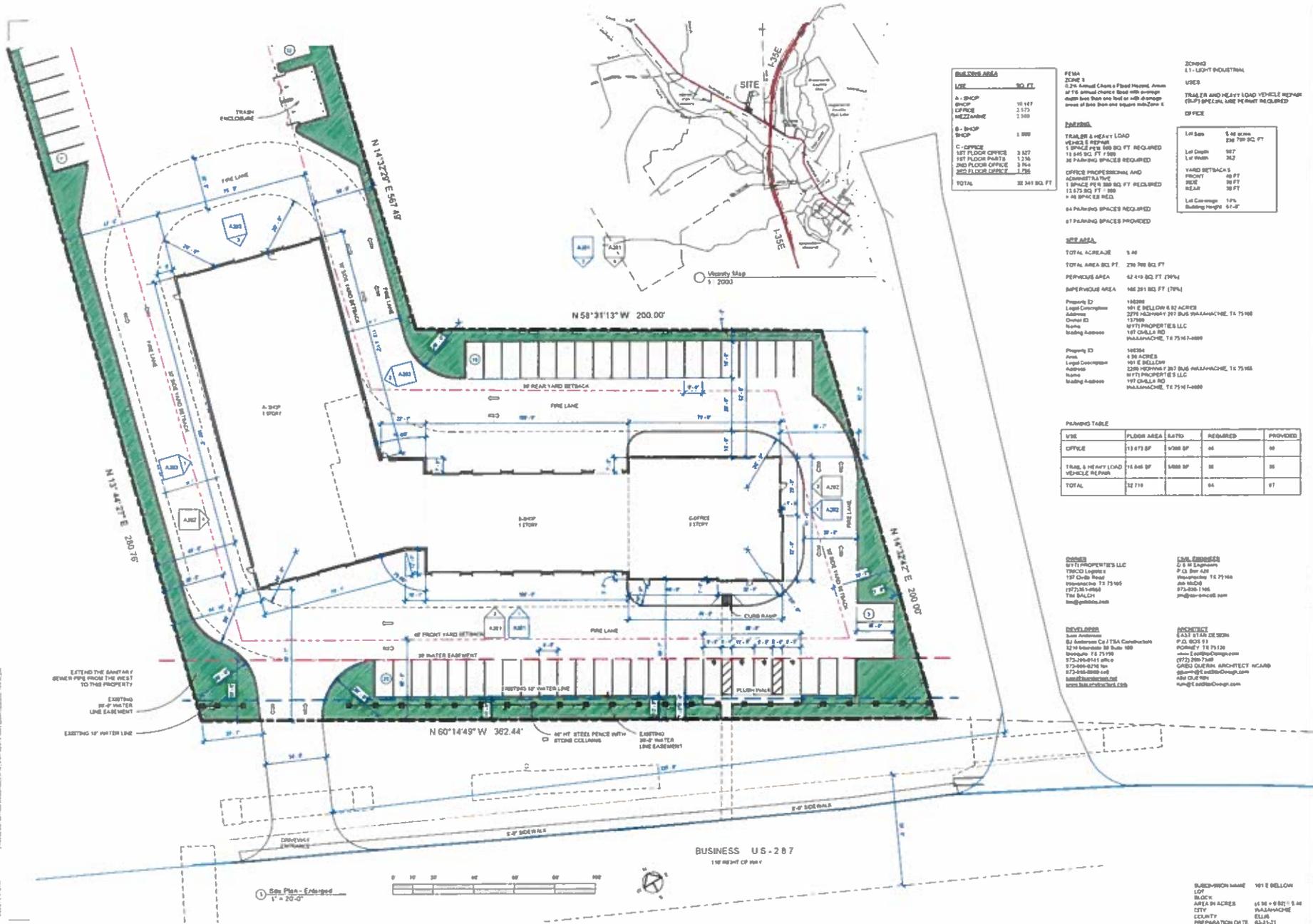
APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



BUILDING AREA

USE	SQ. FT.
A - SHOP	10,147
SHOP	2,370
MEZZANINE	2,300
B - SHOP	1,000
SHOP	1,000
C - OFFICE	3,827
1ST FLOOR OFFICE	1,236
2ND FLOOR OFFICE	3,364
3RD FLOOR OFFICE	1,227
TOTAL	33,341 SQ. FT.

PERMITS
TRAILER & HEAVY LOAD VEHICLE STORAGE
 1 SPACE PER 500 SQ. FT. REQUIRED
 13,646 SQ. FT. / 500 = 27.29
 28 PARKING SPACES REQUIRED
OFFICE PROFESSIONAL AND ADMINISTRATIVE
 1 SPACE PER 300 SQ. FT. REQUIRED
 11,113.67 SQ. FT. / 300 = 37.05
 48 SPACES REQ.
 64 PARKING SPACES REQUIRED
 67 PARKING SPACES PROVIDED

TRUCK

Lot Size	9.48 acres
Lot Area	236,700 SQ. FT.
Lot Depth	567'
Lot Width	362'
YARD SETBACKS	
FRONT	45 FT
SIDE	30 FT
REAR	30 FT
Lot Coverage	1.9%
Building Height	51'-0"

PERMITS TABLE

USE	FLOOR AREA	S&TD	REQUIRED	PROVIDED
OFFICE	13,473 SF	3/200 SF	66	60
TRAILER & HEAVY LOAD VEHICLE STORAGE	13,646 SF	5/500 SF	28	28
TOTAL	27,119		94	87

OWNER
 SITE PROPRIETOR'S LLC
 TIMCO Logistics
 157 Oak Road
 Palmdale, CA 93550
 (773) 281-1161
 tim@timco.com

DEVELOPER
 Alan Anderson
 61 Anderson Ct / TSA Constructors
 1214 S. Main St. Suite 100
 Palmdale, CA 93550
 (773) 281-1161 office
 (773) 281-0276 fax
 (773) 281-0200 cell
 anderson@tscconstructors.com
 anderson@tscconstructors.com

ARCHITECT
 EAST STAR DESIGN
 P.O. Box 426
 Palmdale, CA 93550
 (773) 281-7168
 GREGORY ARCHITECTURE LLC
 6600 E. 1st Street
 Palmdale, CA 93550
 (773) 281-7168
 greg@eaststar.com

NOT FOR CONSTRUCTION
 THIS DOCUMENT MAY NOT BE USED FOR CONSTRUCTION PERMITTING OR REGULATORY APPROVAL
 King County Assessor
 75 Leavenworth St.
 Seattle, WA 98101

TIMCO Logistics
 Timco Logistics
 157 Oak Road
 Palmdale, CA 93550
 (773) 281-1161
 tim@timco.com

WCA Construction
 6000
 675 N. 1st St. Ste. 200
 Palmdale, CA 93550
 (773) 281-1161
 wca@wca.com



Permit

NO.	Description	DATE

Office and Shop
 2270 Highway 257 Bus.
 Palmdale, CA 93551

Enlarged Site Plan

Project Number 20023
 Date: 04/20/12 01:01 PM

Drawn by: QQ
 Checked by: -
A004
 Scale: As indicated

(13)

BUSINESS US-287
 1/8" = 1' CP 100'

1. Site Plan - Enlarged
 1" = 20'-0"



BUSINESS US-287
 LOT
 AREA BY ACRES (4.98 ± 0.02) ± 5.44
 CITY: PALMDALE
 COUNTY: KINGS
 PREPARATION DATE: 03-31-12

The property owner, tenant, or agent shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds, and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

Landscape

Quantity	Symbol	Description
Annuala-Perennials		
30		Lantana, 'Dallas Red' / Lantana camara 'Dallas Red' 1 Gallon
Ground Cover-Vines		
10151		Bermudagrass / Cynodon dactylon sq. ft.
114		Wintercreeper / Euonymus fortunei 1 Gallon
Shrubs Under 4 Feet		
50		Abelia, Glossy / Abelia x grandiflora 5 Gallon
80		Holly, Dwarf Burford / Ilex cornuta 'Burfordiana' 24" ht. min.
40		Holly, Dwarf Yaupon / Ilex vomitoria nana 5 Gallon
Trees		
14		Chaste Tree / Vitex agnus-castus 6 ft. to 8 ft.
8		Elm, Cedar / Ulmus crassifolia 4 in. cal min
10		Oak, Bur or Mossycup / Quercus macrocarpa 3 in. cal min
7		Oak, Southern Live / Quercus virginiana 3 in. cal min

Interior Area Landscape Requirements
Building Footprint - 22,700 Sq. Ft.

Interior Landscape Area
Required - 3,405 Sq. Ft. (15%)
Provided - 6,275 Sq. Ft. (27%)

Canopy Trees 1 per 500 Sq. Ft. Required
Trees Required - 7
Trees Provided - 7

Understory Trees 1 per 250 Sq. Ft.
Understory Trees Required - 14
Understory Trees Provided - 14

Shrubs 1 per 70 Sq. ft.
Shrubs Required - 49
Shrubs Provided - 49

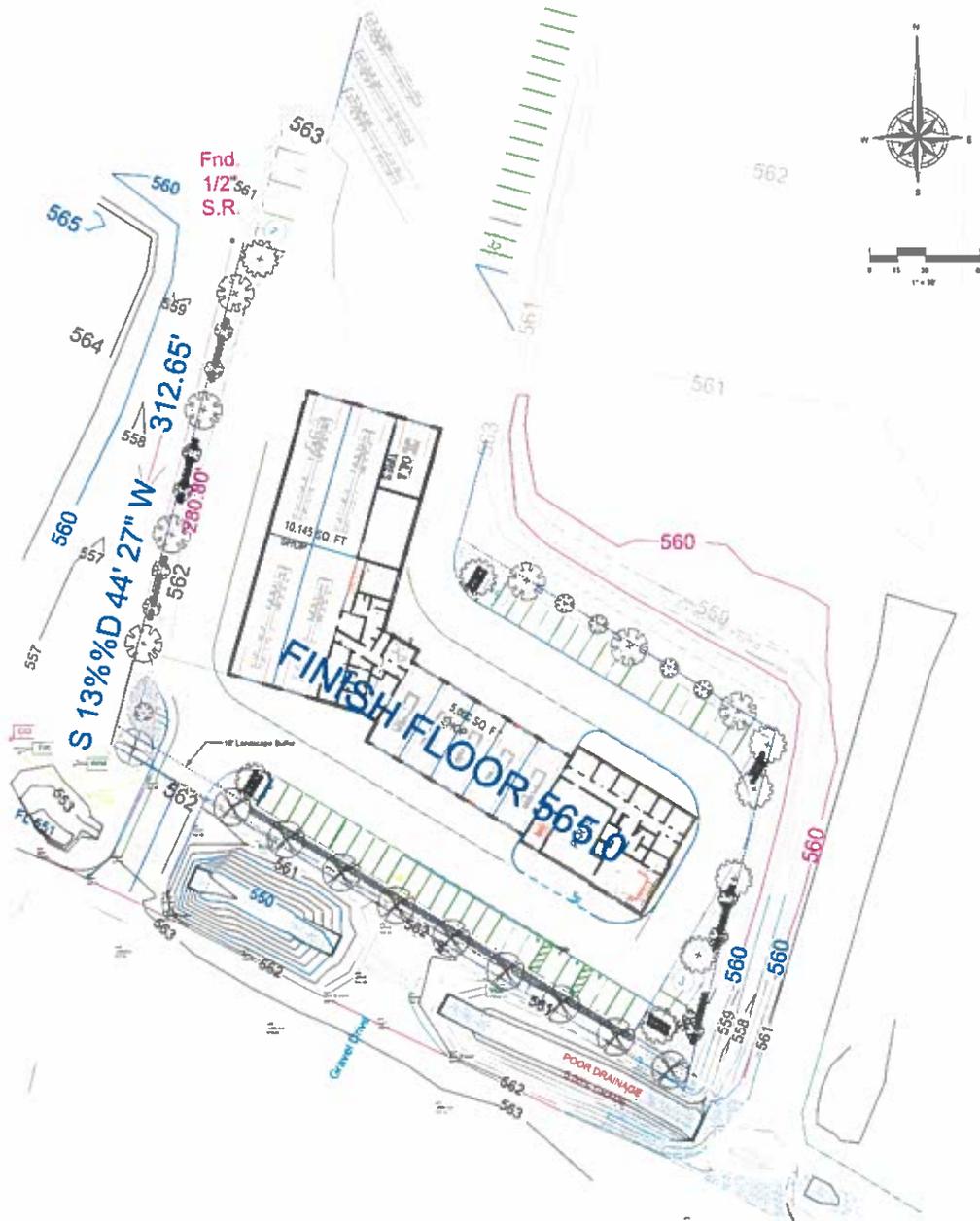
Ground Cover - 15% of required area
Ground Cover Area Required - 510 Sq. Ft.
Ground Cover Area Provided - 510 Sq. Ft.

Seasonal Color - 2% of required area
Seasonal Color Area Required - 68 Sq. Ft.
Seasonal Color Area Provided - 88 Sq. Ft.

Parking Lot Landscaping
47 Parking Spaces

Parking Lot Area 33 Sq. ft. per Space
Landscape Area Required - 1,531 Sq. Ft.
Landscape Area Provided - 1802 Sq. Ft.

Two 4 inch Trees and Ten shrubs per 500 Sq. Ft. of
Parking Landscape Area
Trees required - 8 Trees
Trees Provided - 8 Trees
Shrubs Required - 40 Shrubs
Shrubs provided - 40 Shrubs



<p>1 of 1</p> <p>SEE GRAPHIC</p> <p>DATE: MAR 18 2021</p> <p><i>Sam Anderson</i></p>	<p>PROJECT:</p> <p>TIMCO LOGISTICS HAROLD McWILLIAMS 197 OVILLA ROAD WAXAHACHIE TX 75165 972-351-9565</p>	<p>COMPANY:</p> <p>WCA CONSTRUCTION SAM ANDERSON 3218 IH 30 STE 100 MESQUITE TEXAS 972-896-0860</p>
--	---	---

NOT FOR CONSTRUCTION
 THIS DOCUMENT MAY NOT BE LOANED FOR CONSTRUCTION PERMITS OR REGULATORY APPROVAL
 One's Quasi Architect
 T6 License # 22811

TIMCO
 Logistics
 Timco Logistics
 10000 West Loop
 Suite 1000
 Houston, TX 77036
 (713) 861-1000
 timco@timco.com

WCA
 Construction
 Dan Schaefer
 21114 29th Street
 Houston, TX 77058
 (281) 384-4444
 dan@wcaconstruction.com



Office and Shop
 2270 Highway 29 F Bus.
 Houston, TX 77058

Revisions

No.	Description	Date

Office and Shop
 2270 Highway 29 F Bus.
 Houston, TX 77058

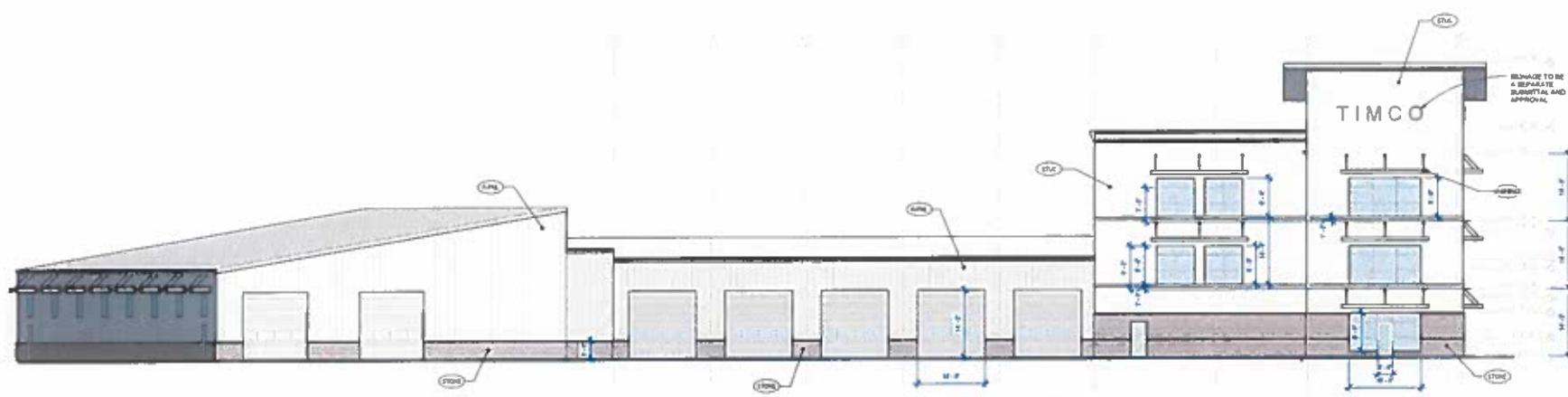
Revisions

Project Number: 200223
 Date: 04/20/12 12:56 PM
 Drawn by: Alpha
 Checked by: Chase

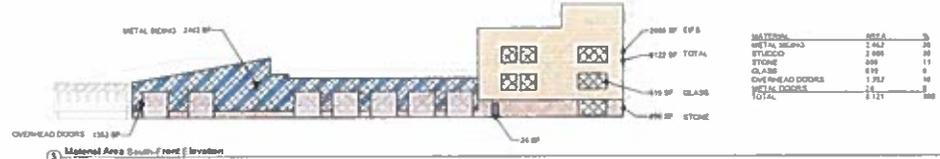
A201

Scale: As indicated

(13)



1 South Front Elevation
 3/32" = 1'-0"

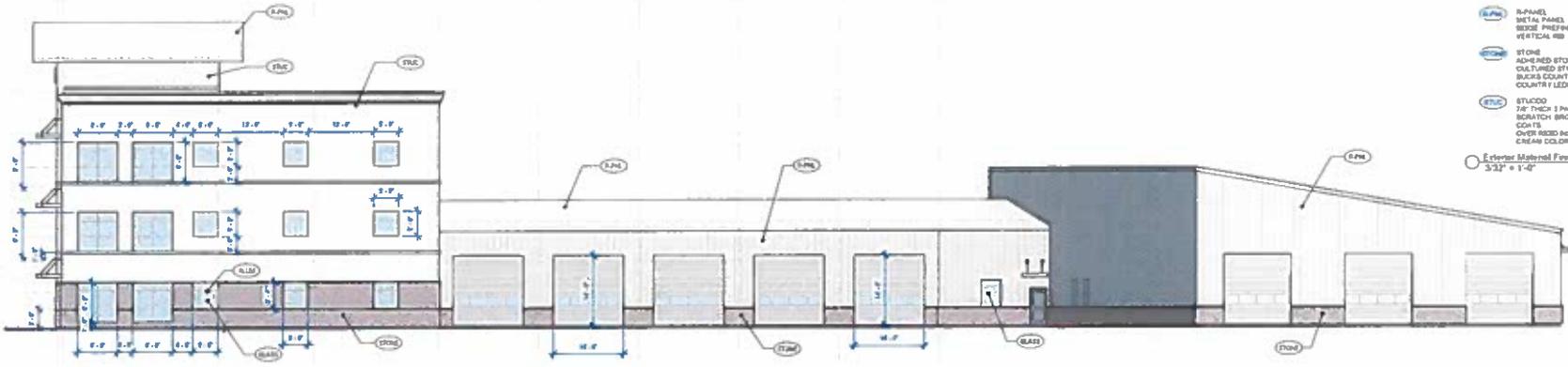


3 Material Area - South Front Elevation
 1" = 30'-0"

MATERIAL	AREA	%
METAL SIDING	2,462	20
STUCCO	2,898	23
STONE	600	5
GLASS	610	5
OVERHEAD DOORS	1,757	14
METAL DOORS	14	0
TOTAL	8,121	68

- ALUM ALUMINUM VINYL WALLINGS CLEAR ANODIZED 1500
- GLASS BLUE-GREEN AND INSULATED GLASS
- R-PANEL METAL PANEL BRUSH FINISH VERTICAL RID
- STONE ADHESIVE STONE CULTURED STONE BRUSH COUNTY COUNTRY LEDGESTONE
- STUCCO 1/2" THICK 3 PART STUCCO BOUTCH BRICKS 1 FINISH COATS OVER RIGID INSULATION CREAM COLOR

Exterior Material Finish Legend
 3/32" = 1'-0"



2 North
 3/32" = 1'-0"

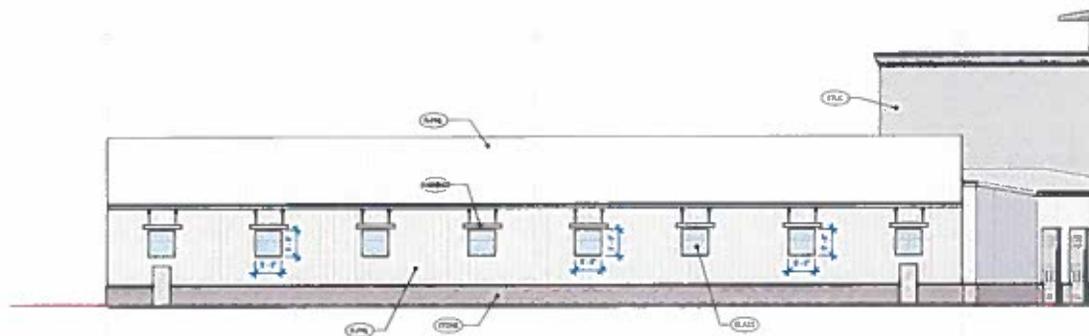


4 Material Area - North Elevation
 1" = 30'-0"

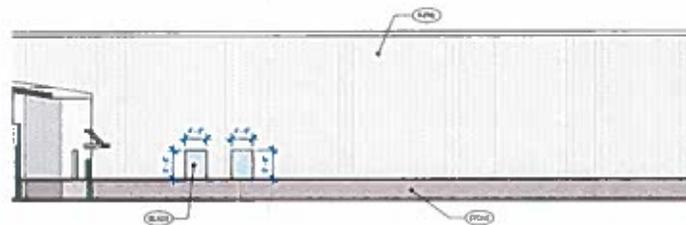
MATERIAL	AREA	%
METAL SIDING	2,241	26
STUCCO	2,090	25
STONE	600	7
GLASS	671	8
OVERHEAD DOORS	1,588	19
METAL DOORS	6	0
TOTAL	6,526	78

SUBMISSION NAME: 991 F BELLOW
 LOT:
 BLOCK:
 AREA IN ACRES: 14.56 ± 0.02 ± 1.0
 CITY: BALDWIN
 COUNTY: TARRANT
 PREPARATION DATE: 04-23-12

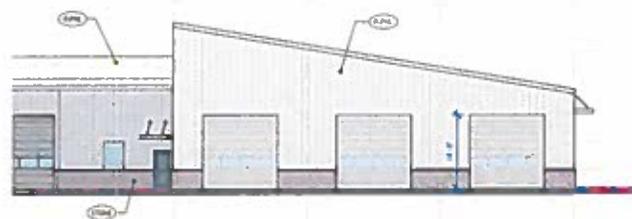
© 2012 WCA Construction, Inc. All rights reserved. WCA Construction, Inc. is a registered trademark of WCA Construction, Inc.



1 West Elevation 2
3/32" = 1'-0"



2 East Elevation 2
3/32" = 1'-0"



3 North Elevation 2
3/32" = 1'-0"

- ALUM ALUMINUM WINDOW MULLIONS CLEAR ANODIZED VENT
 - GLASS BLUE-GREEN TINT INSULATED GLASS
 - ALUM METAL PANEL DE GRIP, PREFINISHED VERTICAL RIB
 - STONE ADHERED STONE CULTURED STONE BUCKS COUNTY COUNTRY LEDGESTONE
 - STUCCO 1" THICK 3 PART STUCCO SCRATCH, SANDY & FRESH COAT OVER RIGID INSULATION CREAM COLOR
- 4 Exterior Material Finish Legend
3/32" = 1'-0"

SUBDIVISION NAME 101 E BELLFLOW
 LOT
 BLOCK
 AREA IN ACRES 14.56 ± 0.00 ± 0.01
 CITY INDIANAPOLIS
 COUNTY CLAY
 PREPARATION DATE 03-11-21

NOT FOR CONSTRUCTION
 THIS DOCUMENT MAY NOT BE USED FOR CONSTRUCTION PERMITTING OR REGULATORY APPROVAL
 Only Owner Architect To License # 22811

TIMCO
 Logistics
 Timco Logistics
 10000 South
 10000 South
 10000 South
 10000 South
 10000 South

WCA
 Construction
 WCA Construction
 2200 N. 16th St.
 Indianapolis, IN 46204
 317-555-1111
 wcaconstruction.com

AIA
 East Coast Region
 1200 N. 16th St.
 Indianapolis, IN 46204
 317-555-1111
 aia.org

Rev	Description	Date

Rev	Description	Date

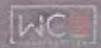
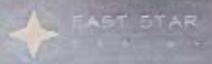
Office and Shop
 2279 Highway 357 East
 Indianapolis, IN 46219

Project number 20023
 Date 04/02/21 12:13:15 PM
 Drawn by QH
 Checked by
A203
 Scale 3/32" = 1'-0"

(13)



www.weststar.com (512) 355-0421



Planning & Zoning Department

Zoning Staff Report



Case: ZDC-35-2021

MEETING DATE(S)

Planning & Zoning Commission: May 11, 2021 (continued from April 27, 2021 PZ)

City Council: May 17, 2021

ACTION SINCE INITIAL STAFF REPORT

At the April 27, 2021 Planning and Zoning meeting, the Planning and Zoning Commission voted 7-0 to continue case number ZDC-35-2021 to the May 11, 2021 Planning and Zoning meeting and the May 17, 2021 City Council meeting.

CAPTION

Public Hearing on a request by George Salvador, Lilian Custom Homes, for a **Zoning Change** from a Single Family Residential-1 zoning district to Planned Development-Single Family Residential-3, located at 401 Ovilla Road (Property ID 180391) - Owner: WAXAHACHIE ONE DEVELOPMENT (ZDC-35-2021)

APPLICANT REQUEST

The applicant is requesting to create a Planned Development, known as Dominion Park, to allow for the development of 209 single family detached homes.

CASE INFORMATION

Applicant: George Salvador, Waxahachie One Development

Property Owner(s): George Salvador, Waxahachie One Development

Site Acreage: 78.22 acres

Current Zoning: Single Family-1

Requested Zoning: Planned Development-Single Family-3

SUBJECT PROPERTY

General Location: 401 Ovilla Rd.

Parcel ID Number(s): 180391

Existing Use: Currently Undeveloped

Development History: N/A

Table 1: Adjoining Zoning & Uses

Direction	Zoning	Current Use
North	PD-SF2	Sheppard's Place Development
East	C & GR	Single Family Residences
South	SF1	Currently Undeveloped
West	SF1	Currently Undeveloped

Future Land Use Plan:

Low Density Residential with a portion on the Northern boundary being Mixed Use Non-Residential

Comprehensive Plan:

Low Density Residential: Low Density Residential category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Mixed Use Non-Residential: Similar to Mixed Use Residential, land designated with this land use are intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with the remaining 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use.

Thoroughfare Plan:

The subject property is accessible via Ovilla Rd.

Site Image:

PLANNING ANALYSIS**Purpose of Request:**

The applicant is requesting to create a Planned Development, known as Dominion Park, to allow for the development of 209 single family detached homes. Per the City of Waxahachie Zoning Ordinance, a Planned Development request is required to be reviewed by City Council.

Proposed Use:

The applicant is proposing a zoning change request from a Single Family-1 (SF1) zoning district to Planned Development-Single Family-3, with Concept Plan, located at 401 Ovilla Rd. The proposed development will consist of two hundred nine (209) single family lots and three lot types (Type 1: 60' wide lots, Type 2: 70' wide lots, and Type 3: 80' wide lots) on 78.22 acres. Of the 78.22 acres for the development, 21 acres is located within a floodplain (will not be used), and 6.41 acres will be used as park space/open space. The park area is proposed to include a kid's soccer play area and multi-purpose sports court. It should also be noted that no homes within the development will have front facing garages. 169 lots (81%) will consist of rear entry lots, and 40 lots (19%) will be side entry lots.

Per "Table 3" of the staff report, the applicant is stating that of the 209 proposed lots, 134 lots will be below the 10,000 sq. ft. Per the City of Waxahachie Zoning Ordinance, the minimum lot size for Single Family-3 (SF3) zoning is 10,000 sq. ft. Per the Concept Plan, the applicant is proposing a minimum lot size of 7,200 sq. ft. If approved, over half of the residential development (64%) will be constructed under the SF3 minimum lot size requirement.

At the April 27, 2021 Planning and Zoning meeting, the Planning and Zoning Commission requested that the applicant revise the submitted Concept Plan for the proposed development to further address surrounding neighbor concerns, staff concerns, PZ Commission concerns, as well as be more conducive to the surrounding area. Per the Commission's request, listed below is a summary of changes made by the applicant.

CHANGES FROM THE 4/27/2021 PZ MEETING

- Reduced total lot count from 212 to 209
- Total percentage amount of 10,000 sq. ft. lots increased from 28% to 35%
- Revised Landscape plans to show two (2) trees per lot that are 2.5" caliper. (*Originally had one - 2" caliper.*)
- Reduced rear entry lots from 172 to 169
- Provided updated Elevation/Façade renderings
- Revised interior setback for Type 2 lots to 10 ft. (interior) and 15 ft. (corner) (*Originally 10 ft. (interior); 10 ft. (corner lots)*)

Conformance with the Comprehensive Plan:

Residential developments can include low density residential, medium density residential, and high density residential. The proposed development is consistent with the FLUP and the following goals and objectives in the 2016 Comprehensive Plan Addendum:

- **Growth Strategies – Goal 12:** Promote growth of the community where infrastructure exists.

Table 2: Proposed Single Family Residential (per SF3 standards)

*The second column depicts the standards for the current zoning (Single Family-1) of the property. Items reflected in the second column are not represented in the "Meets" column.

**The third column depicts the Single Family-3 zoning standards (what applicant is requesting)

Items highlighted in bold do not meet the City of Waxahachie SF3 requirements

Standard	City of Waxahachie (Existing SF1 Standards)	City of Waxahachie SF3 Standards	Dominion Park	Meets
Min. Lot Area	16,000 sq. ft.	10,000 sq. ft.	Type 1 Lots: 7,200 sq. ft. Type 2 Lots: 8,400 sq. ft.	No
Min. Lot Width	90 ft.	80 ft.	Type 1 Lots: 60 ft. Type 2 Lots: 70 ft.	No
Min. Lot Depth	140 ft.	100 ft.	100 ft.	Yes
Min. Front Setback	40 ft.	30 ft.	20 ft.	No
Min. Interior Setback	15 ft.; 20 ft. (ROW)	10 ft.; 15 ft. (ROW)	Type 1 Lots: 5 ft.; 10 ft. on corner lots	No
Min. Rear Setback	25 ft.	25 ft.	20 ft.	No
Min. Dwelling Size	2,200 sq. ft.	1,200 sq. ft.	Type 1 & 2 Lots: 1,800 sq. ft. Type 3 Lots: 2,400 sq. ft.	Yes
Max. Lot Coverage	50%	50%	50%	Yes
Parking	Minimum of 2 enclosed parking spaces behind the front building line on the same lot as the main structure	Minimum of 2 enclosed parking spaces behind the front building line on the same lot as the main structure	Minimum of 2 enclosed parking spaces behind the front building line on the same lot as the main structure	Yes

Note: Per the Elevation/Façade renderings and Planned Development Provisions, the homes will be constructed of 75% masonry (min.)

Table 3: Single Family Lot Notes (209 Total Lots)

Items highlighted in bold do not meet the City of Waxahachie SF3 requirements

Lot Size (Sq. Ft.)	Number of Lots	Lot Percentage
7,200 – 8,000 SF	61 lots	29.18% (orig. 28.77%)
8,000 – 9,000 SF	73 lots (orig. 91 lots)	34.92% (orig. 39.15%)
10,000+ SF	75 lots (orig. 60 lots)	35.88% (orig. 28.30%)
REAR ENTRY LOTS	169 (orig. 172)	80.86% (orig. 81.13%)
SIDE ENTRY LOTS	40	19.13% (orig. 18.86%)

SPECIAL EXCEPTION/VARIANCE REQUEST:**Lot Area**

The minimum lot area requirement is 10,000 sq. ft.

- The applicant is proposing a minimum lot size of 7,200 sq. ft. for Type 1 lots
- The applicant is proposing a minimum lot size of 8,400 sq. ft. for Type 2 lots

Front Yard Setback

The minimum front yard setback requirement is 30ft.

- The applicant is proposing a minimum front yard setback of 20ft.

Side Setback

The minimum side yard setback requirement is 10 ft. (interior) and 15 ft. (adjacent to ROW)

- The applicant is proposing a minimum side yard setback of 5 ft. (interior) and 10 ft. (adjacent to ROW) for Type 1 lots.

Rear Setback

The minimum rear yard setback requirement is 25ft.

- The applicant is proposing a minimum rear yard setback of 20ft.

Lot Width

The minimum lot width requirement is 80ft.

- The applicant is proposing a minimum lot width of 60ft. for Type 1 lots.
- The applicant is proposing a minimum lot width of 70ft. for Type 2 lots.

Screening

Single Family residential developments require masonry material for fencing/screening.

- The applicant is proposing a 6ft. wood fence at the North and South boundaries of the development.

STAFF CONCERNS**Lot Area**

Staff has concerns with the proposed lot sizes for the development. As shown above in "Table 2" and "Table 3", the applicant is asking for a deviation request from the requested Single Family-3 zoning minimum lot size requirement (10,000 sq. ft.). Staff suggests that a greater mixture of j-swing and side entry units for the development.

Residential Screening

Per the City of Waxahachie Zoning Ordinance, for screening of single family residential developments, the approved materials requirement is 100% masonry (limited to brick and/or stone). The applicant is proposing a 6ft. wood fence at the North and South boundaries of the development. Staff suggests that the applicant meet the screening requirement.

Elevation/Façade

At the April 27, 2021 Planning and Zoning meeting, the Planning and Zoning Commission requested that the applicant revise the submitted Elevation/Façade plan(s) for the proposed development.

- Per the Commission's request, the applicant has provided different options of Elevation/Façade rendering for the Planning and Zoning Commission to review at the May 11, 2021 Planning and Zoning meeting.
- **Staff Note:** No single building elevation shall be duplicated within six (6) lots or tracts either direction on the same blockface.

- **Staff Note:** Elevations may not be duplicated on any lot directly across a street or within four (4) lots either direction.

APPLICANT RESPONSE TO CONCERNS

1. The applicant understands staff’s concerns and intends to state their reasoning at the May 11, 2021 Planning and Zoning meeting.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City’s public hearing notice requirements, 46 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

PROPERTY OWNER NOTIFICATION RESPONSES

Inside 200 ft. Notification Area: Staff received one (1) letter of support and one (1) letter of opposition for the proposed development.

Outside 200 ft. Notification Area: Staff received one (1) letter of opposition for the proposed development.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
Due to staff concerns, staff is recommending denial.
- Approval, as presented.
- Approval, per the following comments:

ATTACHED EXHIBITS

1. Property Owner Notification Responses
2. Planned Development Provisions
3. Dominion Park Exhibit Packet

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

PropertyID	Owner's Address	Acres	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
135566	BROOME REX A & CONSTANCE M	70.6875	101 E BELLOW 70.6875 ACRES	731 BROADHEAD RD	WAXAHACHIE	TX	75165	HIGHWAY 287 WAXAHACHIE TX 75165
179584	SEVEN-FIVE WAXAHACHIE	7.5	41 J BARKER 7.5 ACRES	113 WILLOWCREST	WAXAHACHIE	TX	75165	INTERSTATE 35 WAXAHACHIE TX 75165
179591	FRISBEE MICHAEL	1	41 J BARKER 1 ACRES	308 W MADISON ST	WAXAHACHIE	TX	75167	FM 664 WAXAHACHIE TX 75167
180316	OTTIS KARON E & JOEL P	1	99 J B BOUNDS 1 ACRES	410 OVILLA RD	WAXAHACHIE	TX	75167	410 OVILLA RD WAXAHACHIE TX 75167
180321	MARLIN ODENA	0.964	99 J B BOUNDS 0.964 ACRES	400 OVILLA RD	WAXAHACHIE	TX	75167	400 OVILLA RD WAXAHACHIE TX 75167
180383	MARTINEK & ASSOC, LP	31.107	101 E BELLOW 31.107 ACRES	2258 BELLS CHAPEL RD	WAXAHACHIE	TX	75165	HIGHWAY 287 WAXAHACHIE TX 75165
180391	WAXAHACHIE ONE DEVELOPMENT	78.22	101 E BELLOW & 466 E HORTON 78.22 ACRES	6350 N INTERSTATE HIGHWAY 35 E	WAXAHACHIE	TX	75165	401 OVILLA RD WAXAHACHIE TX 75167
180503	WAXAHACHIE ISD	117.2	108 J BOYD, 109 W J BOYD, 466 E HORTON, 1080 WM C TUNNELL 117.20 ACRES	411 N GIBSON ST	WAXAHACHIE	TX	75165	HIGHWAY 287 BYPASS WAXAHACHIE TX 75165
180984	JBS PARTNERS LLC	2.851	101 E BELLOW 2.851 ACRES	P.O. BOX 837	WAXAHACHIE	TX	75168	301 OVILLA RD WAXAHACHIE TX 75167
221705	PETERS SCOTT S	1.209	LOT 1 NAIL ESTS-REV 1.209 AC	408 OVILLA RD	WAXAHACHIE	TX	75167	408 OVILLA RD WAXAHACHIE TX 75167
281920	BOZE D WAYNE & MARIA M	20	101 E BELLOW 20 ACRES	2322 W HWY 287 BUSINESS	WAXAHACHIE	TX	75165	2322 HIGHWAY 287 WAXAHACHIE TX 75165
277458	SHEPPARD'S PLACE DEVELOPMENT CO LLC	54.929	466 E HORTON 54.929 ACRES	5137 DAVIS BLVD	FT WORTH	TX	76180	FM 664 WAXAHACHIE TX 75167
281573	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1758	LOT 1 BLK 3 SHEPPARDS PLACE PH 1 0.1758 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2224 SHEPPARDS LN WAXAHACHIE TX 75167
281574	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1748	LOT 2 BLK 3 SHEPPARDS PLACE PH 1 0.1748 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2228 SHEPPARDS LN WAXAHACHIE TX 75167
281575	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1827	LOT 3 BLK 3 SHEPPARDS PLACE PH 1 0.1827 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2232 SHEPPARDS LN WAXAHACHIE TX 75167
281578	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1829	LOT 4 BLK 3 SHEPPARDS PLACE PH 1 0.1829 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2236 SHEPPARDS LN WAXAHACHIE TX 75167
281577	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1828	LOT 5 BLK 3 SHEPPARDS PLACE PH 1 0.1828 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2240 SHEPPARDS LN WAXAHACHIE TX 75167
281570	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1827	LOT 6 BLK 3 SHEPPARDS PLACE PH 1 0.1827 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2244 SHEPPARDS LN WAXAHACHIE TX 75167
281579	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1826	LOT 7 BLK 3 SHEPPARDS PLACE PH 1 0.1826 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2248 SHEPPARDS LN WAXAHACHIE TX 75167
281580	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1826	LOT 8 BLK 3 SHEPPARDS PLACE PH 1 0.1826 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2252 SHEPPARDS LN WAXAHACHIE TX 75167
281581	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1908	LOT 9 BLK 3 SHEPPARDS PLACE PH 1 0.1908 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2256 SHEPPARDS LN WAXAHACHIE TX 75167
281591	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1722	LOT 1 BLK 4 SHEPPARDS PLACE PH 1 0.1722 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2213 SHEPPARDS LN WAXAHACHIE TX 75167
281592	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1681	LOT 2 BLK 4 SHEPPARDS PLACE PH 1 0.1681 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2217 SHEPPARDS LN WAXAHACHIE TX 75167
281593	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1854	LOT 3 BLK 4 SHEPPARDS PLACE PH 1 0.1854 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2221 SHEPPARD LN WAXAHACHIE TX 75167
281594	JB SANDLIN REAL ESTATE INC	0.1885	LOT 4 BLK 4 SHEPPARDS PLACE PH 1 0.1885 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2225 SHEPPARDS LN WAXAHACHIE TX 75167
281595	HMH LIFESTYLES LP	0.1727	LOT 5 BLK 4 SHEPPARDS PLACE PH 1 0.1727 AC	5137 DAVIS BLVD	NORTH RICHLAND HILLS	TX	76180	2229 SHEPPARD LN WAXAHACHIE TX 75167
281596	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1655	LOT 6 BLK 4 SHEPPARDS PLACE PH 1 0.1655 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2233 SHEPPARDS LN WAXAHACHIE TX 75167
281597	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1653	LOT 7 BLK 4 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2237 SHEPPARDS LN WAXAHACHIE TX 75167
281598	MSAND BUILD LLC	0.1653	LOT 8 BLK 4 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	NORTH RICHLAND HILLS	TX	76180	2241 SHEPPARD LN WAXAHACHIE TX 75167
281599	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1653	LOT 9 BLK 4 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2245 SHEPPARDS LN WAXAHACHIE TX 75167
281600	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1653	LOT 10 BLK 4 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2249 SHEPPARDS LN WAXAHACHIE TX 75167
281601	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1653	LOT 11 BLK 4 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2253 SHEPPARDS LN WAXAHACHIE TX 75167
281602	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.171	LOT 12 BLK 4 SHEPPARDS PLACE PH 1 0.171 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2257 SHEPPARDS LN WAXAHACHIE TX 75167
281603	SHEPPARDS PLACE PROPERTY OWNERS ASSOCIATION INC	0.0539	LOT A BLK 4 (HOA) SHEPPARDS PLACE PH 1 0.0539 AC	11149 RESEARCH BLVD STE 100	AUSTIN	TX	78759	2201 SHEPPARDS LN WAXAHACHIE TX 75167
281608	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1917	LOT 1 BLK 5 SHEPPARDS PLACE PH 1 0.1917 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2280 WINDY HILL LN WAXAHACHIE TX 75167
281623	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.2313	LOT 16 BLK 5 SHEPPARDS PLACE PH 1 0.2313 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	404 GREEN HILL DR WAXAHACHIE TX 75167
281824	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.2082	LOT 1 BLK 7 SHEPPARDS PLACE PH 1 0.2082 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	405 GREEN HILL DR WAXAHACHIE TX 75167
281833	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1917	LOT 1 BLK 8 SHEPPARDS PLACE PH 1 0.1917 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2201 SHEPPARDS LN WAXAHACHIE TX 75167
281834	SHEPPARD'S PLACE DEVELOPMENT CO LLC	0.1653	LOT 2 BLK 8 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	FT WORTH	TX	76180	2285 SHEPPARDS LN WAXAHACHIE TX 75167
281835	HMH LIFESTYLES LP	0.1653	LOT 3 BLK 8 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	NORTH RICHLAND HILLS	TX	76180	2289 SHEPPARDS LN WAXAHACHIE TX 75167
281836	HMH LIFESTYLES LP	0.1653	LOT 4 BLK 8 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	NORTH RICHLAND HILLS	TX	76180	2277 SHEPPARDS LN WAXAHACHIE TX 75167
281837	HMH LIFESTYLES LP	0.1653	LOT 5 BLK 8 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	NORTH RICHLAND HILLS	TX	76180	2281 SHEPPARDS LN WAXAHACHIE TX 75167
281838	HMH LIFESTYLES LP	0.1653	LOT 6 BLK 8 SHEPPARDS PLACE PH 1 0.1653 AC	5137 DAVIS BLVD	NORTH RICHLAND HILLS	TX	76180	2285 SHEPPARDS LN WAXAHACHIE TX 75167
281839	SHEPPARDS PLACE PROPERTY OWNERS ASSOCIATION INC	0.0508	LOT X (HOA) SHEPPARDS PLACE PH 1 0.0508 AC	11149 RESEARCH BLVD STE 100	AUSTIN	TX	78759	2202 SHEPPARDS LN WAXAHACHIE TX 75167
180392		0		303 OVILLA RD	WAXAHACHIE	TX	75167	303 OVILLA RD WAXAHACHIE TX 75167

(15)

(15)

¹
Outside 200 ft. Notification Area

PropertyID	Owner's Address	Owner's City	Owner's State	Owner's ZIP
221766	414 Ovilla Rd	Waxahatchie	TX	75167

RECEIVED APR 12 2021



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-35-2021

MARTINEK & ASSOC. LP
2256 BELLS CHAPEL RD
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 27, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, May 3, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

- 1. *Public Hearing* on a request by George Salvador, Lilian Custom Homes, for a **Zoning Change** from a Single Family Residential-1 zoning district to Planned Development-Single Family Residential-3, located at 401 Ovilla Road (Property ID 180391) - Owner: WAXAHACHIE ONE DEVELOPMENT (ZDC-35-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-35-2021

City Reference: 180383

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, April 20, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

I support the SF 3 request

Ernest Martinek
Signature

4/12/21
Date

ERNEST MARTINEK *owner/manager*
Printed Name and Title

Prop I.D # 180383
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(15)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-35-2021

WILLIAMS MICHAEL W & KELLY J
312 OVILLA RD
WAXAHACHIE, TX 75167

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 27, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, May 3, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. **Public Hearing** on a request by George Salvador, Lilian Custom Homes, for a **Zoning Change** from a Single Family Residential-1 zoning district to Planned Development-Single Family Residential-3, located at 401 Ovilla Road (Property ID 180391) - Owner: WAXAHACHIE ONE DEVELOPMENT (ZDC-35-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-35-2021

City Reference: 205402

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Tuesday, April 20, 2021** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

Please do NOT allow this!

Kelly Williams

Signature

4.9.21

Date

Kelly Williams, Owner

Printed Name and Title

312 Ovilla Rd.

Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(15)

Dear Sir,

The Wyatt family has lived at 414 Ovilla Road, Property ID # 221796, since 7/1/2004, over 16.5 years.

Our home is directly across from Sheppard's Place Phase One.

Three years ago TXDOT improved the approximate 2 mile section of Ovilla Road bounded by US 287 Bypass to the North and Business 287 to the South. The improvements included widening the road by about 18 inches, raising the grade level and resurfacing the roadway. Both of the properties subject to the zoning meeting are located on the West side of this section of Ovilla road.

The speed limit on Ovilla road is 55 mph. Rarely does the City of Waxahachie police department or DPS monitor/enforce the speed limit. Truck traffic has substantially increased on this section of Ovilla Road over the past 5 years due to the intermodal trucking terminal of TIMCO located on the South end of this section of roadway.

The existing two entrances to Sheppard's Place do not have any deceleration lanes at present allowing for the safe movement of traffic from Ovilla Road to the subdivision.

Traffic has substantially increased on Ovilla Road

In 2018 the City of Waxahachie approved a zoning change on Parcel 191627 to single family -3 zoning for this 119 acre parcel. The developer has not begun to develop the parcel however it is approved for 265 lots at this time. This parcel is located north of the subject properties also on the West side of Ovilla Road. When developed additional traffic will be using Ovilla Road.

Several weeks ago the City Of Waxahachie also approved Ordinance 3224, which rezones the 124 acre parcel just East of Ovilla Road bounded by I 35 and just east of existing properties on Ovilla Road. The approved plan calls for a city funded collector road which connects Ovilla Road to property East of I 35 via a new bridge. New zoning approves apartment buildings, retail commercial and warehousing. Again the development will substantially increase the traffic on Ovilla Road.

The city should require TXDOT to perform a new traffic study monitoring traffic count as well as average speed at two locations, North of Sheppard's Place phase One and South of the proposed Dominion Park.

(15)

The speed limit should be lowered on Ovilla Road to more appropriately represent that of residential neighborhoods, i.e. 30 mph.

Deceleration lanes should be required at the entrances of all the residential development including the existing Sheppard's Place Phase One.

The City of Waxahachie and the developers should be concerned with the potential financial liability possibly incurred should fatal and/or property damage accidents occur on the roadway near the entrances of each of these new and proposed development's due to unsafe roadway design without appropriate deceleration lanes.

Specific to our property, when exiting our driveway in a passenger car the higher grade level of the road surface at the top of a the hill or rise in the road, coupled with the high speed of traffic makes it dangerous to pull on to the roadway safely.

Further, the South end of Ovilla Road connect to US287 Business without any traffic control device other than a stop sign only for Ovilla Road traffic. Frequent long backups already occur at the intersection without a traffic signal.

I do not support approval of the zoning changes.

Regards,

Gary R. Wyatt

EXHIBIT "B"

Purpose and intent of this Planned Development (PD) known as Dominion Park is to allow for the development of 209 single family detached homes as shown in the enclosed PD site plan. Any standards not written herein should default to the Base Zoning District (SF-3) as described in the City of Waxahachie's Code of Ordinances.

Compliance with City's Comprehensive Plan:

Single Family – 3 (SF-3) zoning district is the intended base zoning classification underlying this PD. The proposed PD zoning district is intended to be similar to the SF-3 with principal permitted uses include single family detached dwellings.

Description of the request:

- We intend to modify the existing Single Family 1 (SF-1) requirements under a planned development which will allow for the development of 209 single family detached homes.

Proposed use of the property:

- Dominion Park consists of a mix of residential dwellings with majority of the dwellings being rear entry. Three different lot types are proposed. Type 1 is 60' wide with a minimum lot area of 7,200 SF. Type 2 is 70' wide with a minimum lot area of 8,400 SF. Type 3 is 80' wide with a minimum lot area of 10,200 SF. Overall, lots vary from 7200 SF up to 19,000 SF that blends with the adjacent development. The development will provide a high-quality residential neighborhood that will serve as a model for future developments in this area. The development will feature an elegant entrance monument, water feature, wider roadways, and a masonry fence at the front. Parks, jogging trails, multipurpose sports courts, community gathering areas, 5' sidewalks and lush landscaping are proposed for amenities. Common areas will be maintained by the HOA.

General development requirements

- The development site plan is attached in Exhibit "C"
- Elevations are attached in Exhibit "C"
- Density of the proposed development is 3.25 units per acre (outside the floodplain).
- Entrance monument sign, Landscaping and Screening plans are attached in Exhibit "C"
- Main access to Dominion Park will be provided by connecting the proposed entrance to the existing Ovilla Rd and additional access will be provided by connecting to the existing Shephard's Place PD to the north.
- Internal streets: proposed 50' right of way with 30' back to back curb and gutter streets with 5' sidewalks.
- 140' right of way is proposed near the entrance with divided roadway.
- Multiple park areas with amenities are proposed in the development.
- Homeowners association (HOA) will be established.
- All common areas landscaping, playground equipment will be maintained by the HOA.
- Park Benches, Pergolas, Playground, Trash receptacles throughout the open space and park areas.

(15)

- All park areas are within walkable distance to the residences.
- Sidewalk connectivity throughout the development and to the adjacent developments.
- SF lot coverage @50% maximum.
- Proposed masonry percentage for SF residential lots @75%. All materials should be in accordance with the City of Waxahachie requirements.
- Accessory buildings for SF Residential lots limited to 1 per lot with
- Size of Type 1 SF Residential lots
 - Minimum lot area – 7,200 Square Ft.
 - Minimum lot width – Sixty (60')
 - Minimum lot depth – 100'
- Sizes of SF Residential yards:
 - Minimum Front Yard – 20'
 - Minimum Side Yard – 5' Regular. 10' on corner lots.
 - Minimum Rear Yard – 20'
- Size of Type 2 SF Residential lots
 - Minimum lot area – 8,400 Square Ft.
 - Minimum lot width – Seventy (70')
 - Minimum lot depth – 100'
- Sizes of SF Residential yards:
 - Minimum Front Yard – 20'
 - Minimum Side Yard – 10' Regular and 15' on corner lots.
 - Minimum Rear Yard – 20'
- Size of Type 3 SF Residential lots
 - Minimum lot area – 10,000 Square Ft.
 - Minimum lot width – Eighty (80')
 - Minimum lot depth – 100'
- Sizes of SF Residential yards:
 - Minimum Front Yard – 20'
 - Minimum Side Yard – 10' Regular. 15' on corner lots.
 - Minimum Rear Yard – 20'
- SF lot coverage @50% maximum.
- SF Maximum height at Two (2) stories for the main building. One story for accessory building buildings.
- At a minimum, each lot should follow the landscaping requirements shown in exhibit C. A minimum of two (2) canopy trees with a minimum caliper of two and half (2.5) inches per tree shall be required for each dwelling unit.
- A minimum of 2 enclosed parking spaces per dwelling unit in front of rear building line on the same lot as main structure for rear entry houses and rear of front building line on the same lot as main structure for front entry homes.

(15)

Single Family Residential (SF1) –
Existing Zoning

Height Regulations	
	2 Stories for the main building. 1 story for accessory buildings without garages
Area Regulations	
Minimum Lot Area	16,000 SF
Minimum Lot Width	90'
Minimum Lot Depth	140'
Minimum Front Yard	40'
Minimum Side Yard	15' Required; 20' from a street ROW
Minimum Rear Yard	25'
Maximum Lot Coverage	50% by main and accessory buildings
Parking Regulations	Minimum 2 enclosed parking spaces behind the front building line on the same lot as the main structure
Minimum DUA	2,200 SF

(15)

Type 1 - 60' Wide Lots

Required in base zoning SF3	Type 1	Variances Required for Type 1
Min lot area - 10,000 SF	7,200 SF	Yes
Min lot width - 80'	60'	Yes
Min lot depth -100'	100'	No
Min front yard - 30'	20'	Yes
Min side yard - 10' and 15' on Corner lots	5' and 10' on corner lots	Yes
Minimum rear yard 25'	20'	Yes
Min lot coverage - 50% by main and accessory buildings	50% by main and accessory buildings	No
Min DUA - 1,200 SF	1,800 SF	No

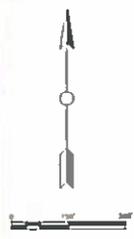
Type 2 - 70' Wide Lots

Required in base zoning SF3	Type 2	Variances Required for Type 2
Min lot area - 10,000 SF	8,400 SF	Yes
Min lot width - 80'	70'	Yes
Min lot depth -100'	100'	No
Min front yard - 30'	20'	Yes
Min side yard - 10' and 15' on Corner lots	10' and 15' on corner lots	Yes
Minimum rear yard 25'	20'	Yes
Min lot coverage - 50% by main and accessory buildings	50% by main and accessory buildings	No
Min DUA - 1,200 SF	1,800 SF	No

Type 3 - 80' Wide Lots

Required in base zoning SF3	Type 3	Variances Required for Type 3
Min lot area - 10,000 SF	10,000 SF	No
Min lot width - 80'	80'	No
Min lot depth -100'	100'	No
Min front yard - 30'	20'	Yes
Min side yard - 10' and 15' on Corner lots	10' and 15' on corner lots	No
Minimum rear yard 25'	20'	Yes
Min lot coverage - 50% by main and accessory buildings	50% by main and accessory buildings	No
Min DUA - 1,200 SF	1,800 SF	No

	Base Zoning SF3	Type 1	Variance Required Type 1	Type 2	Variance Required Type 2	Type 3	Variance Required Type 3
Minimum Lot Area	18,000 SF	7,200 SF	Yes	8,400 SF	Yes	18,000 SF	No
Minimum Lot Width	80'	60'	Yes	70'	Yes	80'	No
Minimum Lot Depth	100'	100'	No	100'	No	100'	No
Front Yard	30'	30'	Yes	30'	Yes	30'	Yes
Minimum side yard	10 and 10' on corner lots	0 and 10' on corner lots	Yes	10 and 10' on corner lots	No	10 and 10' on corner lots	No
Minimum rear yard	30'	30'	Yes	30'	Yes	30'	Yes
Minimum lot coverage	80% by main and accessory buildings	80% by main and accessory buildings	No	80% by main and accessory buildings	No	80% by main and accessory buildings	No
Minimum DUA	1,200 SF	1,800 SF	No	1,800 SF	No	2,400 SF	No
Number of units	64			76		68	
% of Total		36.92%		36.39%		23.01%	



SITE PLAN
05-01-2021



No.	Revision/Notes	Date

WAXAHACHE ONE DEVELOPMENT
GEORGE SALVADOR
6350 N I-35E, SERVICE ROAD
WAXAHACHE, TX 75165
info@luxurycustomhomes.com

JOB NUMBER: 202002007

TURNKEY TRACT
2770 MAIN ST #171
FRISCO, TX 75033
nk.civil@engineer4@gmail.com
214-377-0388

DOMINION PARK
WAXAHACHE, TEXAS, USA

Page: 2 OF 18

LOT COLOR LEGEND

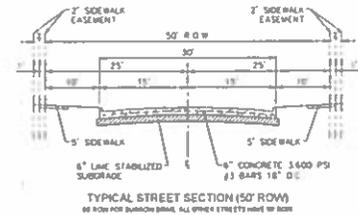
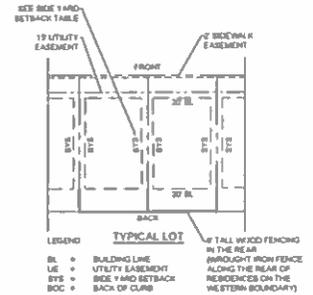
90' wide lots - Type 1	Light Green
70' wide lots - Type 2	Light Yellow
80' wide lots - Type 3	Light Orange



Regulation	Single Family Residential (SF3)
Height Regulations	2 Stories for the main building, 1 story for accessory buildings without garages
Area Regulations	
Minimum Lot Area	18,000 SF
Minimum Lot Width	80'
Minimum Lot Depth	100'
Minimum Front Yard	30'
Minimum Side Yard	10' Required, 30' back a street ROW
Minimum Rear Yard	30'
Maximum Lot Coverage	80% by main and accessory buildings
Parking Requirements	Minimum 2 enclosed parking spaces behind the front building for all the same
	60 sq ft per main structure
Minimum DUA	2,400 SF

SITE DATA

EXISTING ZONING	PROPOSED
PLANNED DEVELOPMENT	PLANNED DEVELOPMENT
SITE AREA	79.23 ACRES
VISITOR PARKING SPACE	57
PARK AREA 1	20,000 SF (0.88 ACRES)
PARK AREA 2	80,500 SF (2.05 ACRES)
PARK AREA 3	72,000 SF (1.65 ACRES)
LANDSCAPE AREA 4	90,822 SF (1.00 ACRES)
LANDSCAPE AREA 5	19,750 SF (0.45 ACRES)
OPEN SPACE	888,791 SF (15.63 ACRES)
GREEN SPACE	21.66 ACRES (WITHOUT FLOODPLAIN)
GREEN SPACE DENSITY	3.3 LANTSA/ACRE SOUTH SIDE THE FLOODPLAIN
TOTAL LOTS	328 LOTS



SIDE YARD SETBACK

	Type 1	Type 2	Type 3
REGULAR LOT SIDE SETBACK	0	10	10
CORNER LOT SIDE SETBACK	10	15	15

LEGEND

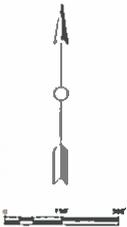
Green Area	GREEN SPACE
White Area	SIDE WALK
Grey Area	CONCRETE PAVING

CONCEPTUAL SITE PLAN

(15)



VICINITY MAP (N.T.S.)



COLOR CODED PLAN

05-01-2021



No.	Description/Value	Total

WAXAHACHE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@11lioncustomhomes.com

REV NUMBER: 00202007
 DATE: 05/01/2021
 *NOT FOR CONSTRUCTION
 *FOR OFFICIAL USE ONLY
 *NOT TO BE REPRODUCED
 *FOR OFFICIAL USE ONLY

TURNKEY TRACT
 2770 MAIN ST. #171
 FRISCO, TX 75033
 nkci@engineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

3
 OF
 18



SITE PLAN - COLOR CODED

FROM ACOR SF	#1	20.1%
6000 ACOR SF	71	34.8%
10000 + SF	75	36.0%
NEAR ENTRY LOTS	140	65.0%
BACK ENTRY LOTS	40	19.1%

(15)



PRELIMINARY WATER AND SANITARY SEWER

- LEGEND
- PROPOSED 8" SANITARY SEWER
 - PROPOSED 8" WATER LINE



PRELIMINARY WATER AND SANITARY SEWER

PRELIMINARY WATER AND SANITARY SEWER

05-01-2021

No.	Revision/Issue	Date

WAXAHACHE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@tlancustomhomes.com

JOB NUMBER: 202002007
 TITLE: PRELIMINARY WATER AND SANITARY SEWER
 PROJECT: WAXAHACHE ONE DEVELOPMENT
 CLIENT: TLAN CUSTOM HOMES

TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nk.civil.engineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

Sheet	4
Of	18

(15)



FRONT ELEVATION

Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings



2750 FRONT ELEVATION
 MODERN FARMHOUSE



2750 LEFT ELEVATION
 MODERN FARMHOUSE



2750 RIGHT ELEVATION
 MODERN FARMHOUSE



2750 REAR ELEVATION
 MODERN FARMHOUSE

RENDERING 1

05-01-2021



No.	Revision/Notes	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHIE, TX 75165
 info@tkancustomhomes.com

202002007
 2750
 2750

TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nk.civil@engineer4@gnwd.com
 214-377-0388

DOMINION PARK
 WAXAHACHIE, TEXAS, USA

Sheet 5 OF 18

(15)



FRONT ELEVATION

Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings



3100 FRONT ELEVATION
 FRENCH ECCLECTIC



3100 LEFT ELEVATION
 FRENCH ECCLECTIC



3100 RIGHT ELEVATION
 FRENCH ECCLECTIC



3100 FRONT ELEVATION
 FRENCH ECCLECTIC

RENDERING 2

05-01-2021



No.	Revision/Issue	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHIE, TX 75165
 info@t1oncustomhomes.com

TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHIE, TEXAS, USA

Sheet	6
OF	18

(15)



FRONT ELEVATION

**Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings**



2994 FRONT ELEVATION
FRENCH ECCLECTIC



2994 RIGHT ELEVATION
FRENCH ECCLECTIC



2994 LEFT ELEVATION
FRENCH ECCLECTIC



2994 REAR ELEVATION
FRENCH ECCLECTIC

RENDERING 3

05-01-2021



No.	Revision/Status	Date

WAXAHACHIE ONE DEVELOPMENT
GEORGE SALVADOR
6350 N I-35E, SERVICE ROAD
WAXAHACHIE, TX 75165
info@turnkeycustomhomes.com

PROJECT NO: 20202007
DATE: 05/01/2021

TURNKEY TRACT
2770 MAIN ST. #171
FRISCO, TX 75033
nicholas@turnkey4@gmail.com
214-377-0388

DOMINION PARK
WAXAHACHIE, TEXAS, USA

Sheet No.	7
OF	18

(15)



FRONT ELEVATION

Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings



242D FRONT ELEVATION
 FILE: 242D.FRONT ELEVATION



242D LEFT ELEVATION
 FILE: 242D.LEFT ELEVATION



242D RIGHT ELEVATION
 FILE: 242D.RIGHT ELEVATION



242D REAR ELEVATION
 FILE: 242D.REAR ELEVATION

RENDERING 4

05-01-2021



No.	Revision/Status	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHIE, TX 75165
 info@kianoustomhomes.com

DATE: 05/01/2021
 PROJECT: 242D.FRONT ELEVATION
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

TURNKEY TRACT
 2770 MAIN ST. #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHIE, TEXAS, USA

Sheet	B
Date	OF
Drawn	18

(15)



FRONT ELEVATION

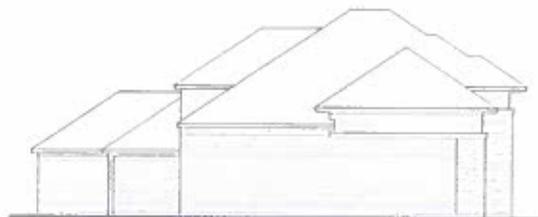
Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings



FRONT ELEVATION
 DRAWING NUMBER



SIDE ELEVATION
 DRAWING NUMBER



REAR ELEVATION
 DRAWING NUMBER



FRONT ELEVATION
 DRAWING NUMBER

RENDERING 5

05-01-2021



No.	Description/Status	Date

Client Name
 WAXAHACHE ONE DEVELOPMENT
 GEORGE, SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@1oncustomhomes.com

Job Number 20200007

Architect/Engineer
 TURNKEY TRACT
 2770 MAIN ST. #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

Client Name and Address
 TURNKEY TRACT
 2770 MAIN ST. #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

Project Name and Address
 DOMINION PARK
 WAXAHACHE, TEXAS, USA

Project	Sheet
	9
	OF
	18

(15)



FRONT ELEVATION

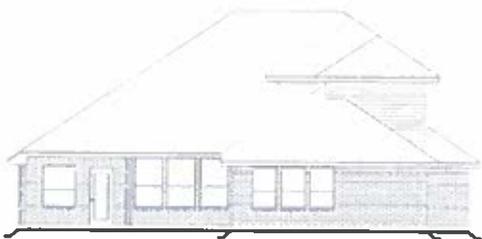
Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings



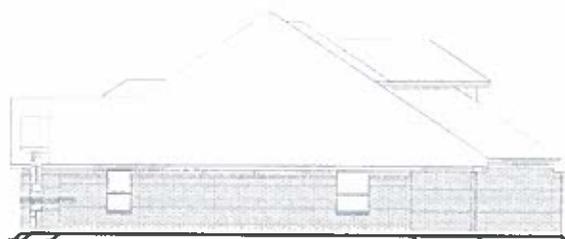
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

RENDERING 6

05-01-2021



No.	Revision/Notes	Date

WAXAHACHE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@lioncustomhomes.com

JOB NUMBER: 202002007
 PROJECT FOR: TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

Page	10
OF	18

(15)



FRONT ELEVATION

Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

RENDERING 7

05-01-2021



No.	Revisions/Notes	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@lioncustomhomes.com

TURNKEY TRACT
 2770 MAIN ST, #171
 FRISCO, TX 75033
 nkci@engineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

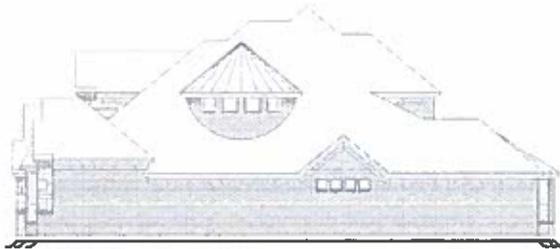
	11
	OF
	18

(15)



Option 1
(Presented to PZ
4/27/2021) -
Elevation/Facade
Renderings

FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

RENDERING 8

05-01-2021



NO.	REVISION/ISSUE	DATE

WAXAHACHE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@kiancustomhomes.com

JOB NUMBER 20202007

Project: KIAN Custom Homes
 10000 N. I-35E, WAXAHACHE, TX 75165
 © 2020 KIAN Custom Homes, Inc.
 All rights reserved.

TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nkci@engineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

Sheet	12
Total	OF
Drawn	18

(15)

**Option 2 -
Elevation/Facade
Renderings**

FARM 2823



MODERN 2823



Facades 1

05-01-2021



No.	Revisions/Status	Date

WAXAHACHE ONE DEVELOPMENT
GEORGE SALVADOR
6350 N I-35E, SERVICE ROAD
WAXAHACHE, TX 75165
info@tancustomhomes.com

JOB NUMBER 20202007
DATE 05-01-2021
PROJECT MANAGER
TANC CUSTOM HOMES
11001 WEST 10TH STREET, SUITE 100
DALLAS, TX 75244
TEL: 214-388-1111
WWW.TANCUSTOMHOMES.COM

TURNKEY TRACT
2770 MAIN ST #171
FRISCO, TX 75033
nkci@engineer4@gmail.com
214-377-0388

Project Name and Address
DOMINION PARK
WAXAHACHE, TEXAS, USA

Sheet	F1
Of	18

(157)

**Option 2 -
Elevation/Facade
Renderings**

FARM 2998



MODERN 2998



Facades 2

05-01-2021



WAXAHACHE ONE DEVELOPMENT
GEORGE SALVADOR
6350 N I-35E, SERVICE ROAD
WAXAHACHE, TX 75165
info@turnkeycustomhomes.com

05/01/2021 09:07
Project: Waxahache One Development
Project Path: CustomHomes
Project Name: Waxahache One Development
Project Location: Waxahache, TX
Project Status: In Progress

TURNKEY TRACT
2770 MAIN ST, #171
FRISCO, TX 75033
nkch@engineer4@pmo.com
214-377-0388

Project Name and Address
DOMINION PARK
WAXAHACHE, TEXAS, USA

	F2
	DF
	18

(15)

**Option 2 -
Elevation/Facade
Renderings**

FRONT VIEW



FRONT VIEW



Facades 3

05-01-2021



No.	Revisions/Notes	Date

WAXAHACHE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@lioncustomhomes.com

PROJ NUMBER 20882807
 PROJECT NAME
 PROJECT FILE
 PROJECT LOCATION
 PROJECT DATE

TURNKEY TRACT
 2770 MAIN ST. #171
 FRISCO, TX 75033
 nk.civil.engineer.4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

Sheet	F3
Of	18
Date	

(15)

**Option 2 -
Elevation/Facade
Renderings**

FRONT VIEW



FRONT VIEW



Facades 4

05-01-2021



NO.	Revision/Phase	Date

WAXAHACHE ONE DEVELOPMENT
GEORGE SALVADOR
6350 N I-35E, SERVICE ROAD
WAXAHACHE, TX 75165
info@kiancustomhomes.com

PROJ NUMBER 202002007

"NOT FOR CONSTRUCTION"
This drawing is the property of KIAN CUSTOM HOMES
and is not to be used for any other purpose without
written permission from KIAN CUSTOM HOMES.

TURNKEY TRACT
2770 MAIN ST. #171
FRISCO, TX 75033
nkci@engineer48pmo3.com
214-377-0386

DOMINION PARK
WAXAHACHE, TEXAS USA

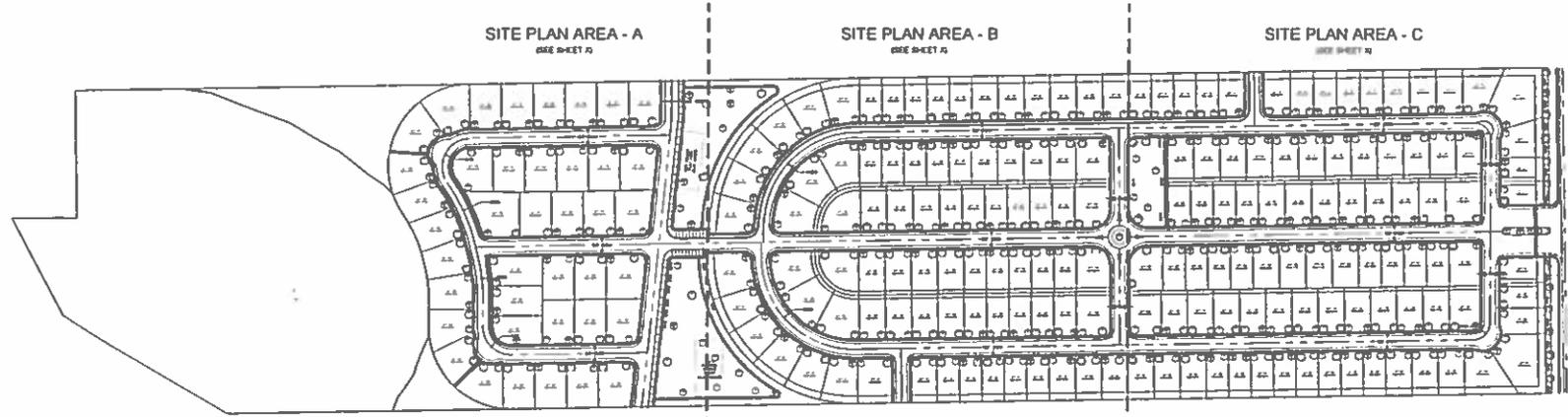
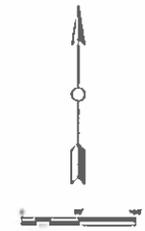
Sheet	F4
Date	05
Scale	1/8"

(15)

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	QUANTITY	COMMENTS
Trees						
	Quercus shumardii	Shumard Red Oak	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	Ulmus crassifolia	Cedar Elm	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	Quercus virginiana	Southern Live Oak	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	Platycodon grandiflorus	Chinese Platycodon	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	Pinus elliottii	Alphn Pine	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	Taxodium distichum	Bald Cypress	12 Min	Ref Plans	Ref Plans	Single Straight Trunk

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QUANTITY	COMMENTS
Shrubs							
	Ilex cornuta 'Dorset Burford'	Dorset Burford Holly	5 Gal	18'-24"	36" O.C.	Ref Plans	
	Ilex vomitoria 'Yana'	Dorset Yaupon	5 Gal	12 Min	36" O.C.	Ref Plans	
	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	3 Gal	12 Min	48" O.C.	Ref Plans	
	Lonicera maackii	Lindheimer's Mahoe	5 Gal	12 Min	36" O.C.	Ref Plans	
	Myrica pauciflora	Dorset Southern Wax Myrtle	5 Gal	12 Min	36" O.C.	Ref Plans	

Landscape Requirements
 A maximum of two (2) canopy tree with a minimum caliper of two and half (2 1/2) inches per tree shall be required for each dwelling unit.
 Canopy Trees Required 418
 Canopy Trees Provided 484



LANDSCAPE PLAN
 05-01-2021



No.	Revised/Notes	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 H I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@tkoncustomhomes.com

PROJ NUMBER 202002007
 DATE 05/01/2021
 DRAWN BY nkcivil

TURKEY TRACT
 2770 MAIN ST. #171
 FRISCO, TX 75033
 nkcivilengineer4@gmail.com
 214-377-0388

DOMINION PARK
 WAXAHACHE, TEXAS, USA

Sheet	13
OF	18

(15)

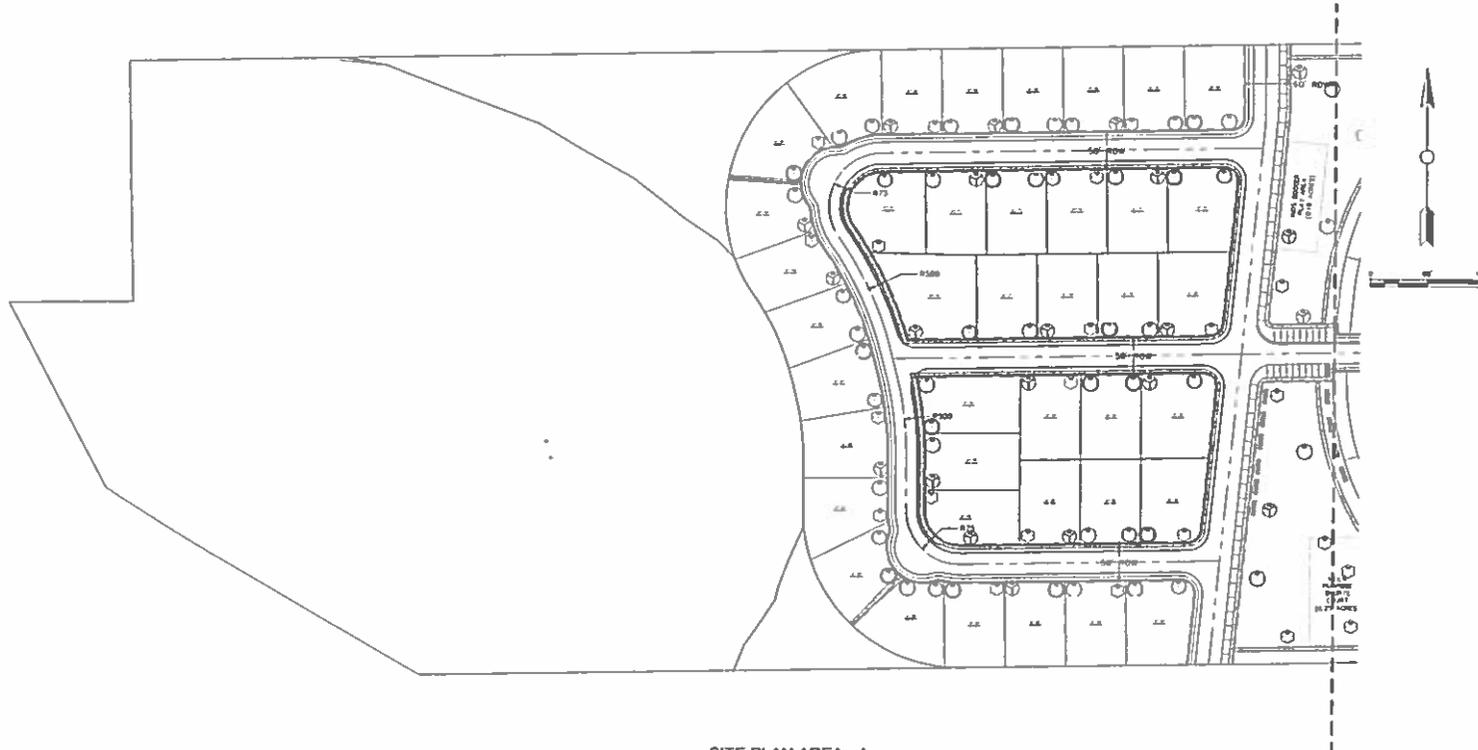
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	QUANTITY	COMMENTS
	<i>Quercus shumardii</i>	Shumard Red Oak	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	<i>Ulmus crassifolia</i>	Cedar Elm	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	<i>Quercus virginiana</i>	Southern Live Oak	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	<i>Platanus chinensis</i>	Chinese Platano	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	<i>Pinus strobus</i>	Alghan Pine	12 Min	Ref Plans	Ref Plans	Single Straight Trunk
	<i>Taxodium distichum</i>	Bald Cypress	12 Min	Ref Plans	Ref Plans	Single Straight Trunk

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QUANTITY	COMMENTS
	<i>Ilex cornuta</i>	Dwarf Burford	5 Gal	18"-24"	36" O.C.	Ref Plans	
	<i>Ilex vomitoria</i>	Dwarf Yaupon	5 Gal	12 Min	36" O.C.	Ref Plans	
	<i>Juncus horizontalis</i>	Bar Harbor	3 Gal	12 Min	48" O.C.	Ref Plans	
	<i>Muhlenbergia lindheimeri</i>	Lindheimer's Muhly	5 Gal	12 Min	36" O.C.	Ref Plans	
	<i>Myrica pauciflora</i>	Dwarf Southern Wax Myrtle	5 Gal	12 Min	36" O.C.	Ref Plans	

Landscape Requirements

A minimum of two (2) canopy trees with a minimum caliper of two and half (2 1/2) inches per tree shall be required for each dwelling unit.

Canopy Trees Required: 418
 Canopy Trees Provided: 484



SITE PLAN AREA - A

LANDSCAPE
 PLAN-AREA - A

05-01-2021



No.	Revision/Notes	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHIE, TX 75165
 info@millioncu.stormhomes.com

PROFESSIONAL SEAL
 STATE OF TEXAS
 ARCHITECT
 No. 123456789
 EXPIRES 12/31/2024

TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nk.civ@engineer4@gmail.com
 214-377-0386

DOMINION PARK
 WAXAHACHIE, TEXAS, USA

Sheet	14
Of	18

(15)

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	QUANTITY	COMMENTS	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QUANTITY	COMMENTS
Trees														
	Quercus shumardii	Shumard Red Oak	12' Min	Ref Plans	Ref Plans	Single Straight Trunk		Ilex cornuta Dwarf Burford	Dwarf Burford Holly	5 Gal	18'-24"	36" O.C.	Ref Plans	
	Ulmus crassifolia	Cedar Elm	12' Min	Ref Plans	Ref Plans	Single Straight Trunk		Ilex vomitoria 'Nana'	Dwarf Yaupon	5 Gal	12' Min	36" O.C.	Ref Plans	
	Quercus virginiana	Southern Live Oak	12' Min	Ref Plans	Ref Plans	Single Straight Trunk		Juniperus horizontalis 'Blue Heron'	Blue Heron Creeping Juniper	3 Gal	12' Min	48" O.C.	Ref Plans	
	Pistacia chinensis	Chinese Pistache	12' Min	Ref Plans	Ref Plans	Single Straight Trunk		Lantana camara	Lantana	5 Gal	12' Min	36" O.C.	Ref Plans	
	Pinus mitis	Alghan Pine	12' Min	Ref Plans	Ref Plans	Single Straight Trunk		Myrica pubes	Dwarf Southern Wax Myrtle	5 Gal	12' Min	36" O.C.	Ref Plans	
	Taxodium distichum	Bald Cypress	12' Min	Ref Plans	Ref Plans	Single Straight Trunk								

Landscape Requirements
 A maximum of two (2) canopy tree with a minimum caliper of two and half (2 1/2) inches per tree shall be required for each dwelling unit.
 Canopy Trees Required 418
 Canopy Trees Provided 484



SITE PLAN AREA - C



LANDSCAPE
 PLAN-AREA - C

05-01-2021



No.	Revision/Notes	Date

Project Number:
 WAXAHACHE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHE, TX 75165
 info@tkcscustomhomes.com

JOB NUMBER: 20200007
 PREPARED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 05/01/2021

Project Name and Address:
 TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nkci@engineer4@gmail.com
 214-377-0388

Project Name and Address:
 DOMINION PARK
 WAXAHACHE, TEXAS, USA

DATE	16
BY	DF
CHECKED	18

(15)

FENCE AND LIGHTING

05-01-2021



No.	Revision/Notes	Date

WAXAHACHIE ONE DEVELOPMENT
 GEORGE SALVADOR
 6350 N I-35E, SERVICE ROAD
 WAXAHACHIE, TX 75165
 info@blanccustomhomes.com

JOB NUMBER: 202002007
 TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 nhcivilengineer4@gmail.com
 214-377-0388

Project Name and Address
 DOMINION PARK
 WAXAHACHIE, TEXAS, USA

Sheet	17
OF	18



ENTRY SIGN AND FENCES



SCREEN WALL

Edge LED Street Light
 Smart and Professional
 IP66 10-1V K08 Protocol

- Tool-free installation
- Special lens for all kinds of roads
- Daylight Sensor (optional)

(15)

