

A G E N D A

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, August 27, 2019 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX

Commission Members: Rick Keeler, Chairman
 Melissa Ballard, Vice Chairman
 Betty Square Coleman
 Bonney Ramsey
 Jim Phillips
 David Hudgins
 Erik Test

1. Call to Order
2. Invocation
3. ***Consent Agenda***

All matters listed under Item 3, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a. Minutes of the regular Planning & Zoning Commission meeting of August 13, 2019
 - b. Minutes of the Planning and Zoning Commission briefing of August 13, 2019
4. ***Public Hearing*** on a request by Kevin Cribley, Cribley Enterprises, Inc., for a Specific Use Permit (SUP) for **Outside Storage** use within a Commercial and Light Industrial-1 zoning district, located at 100 W Sterrett (Property ID 273754) – Owner: M AND M INVESTMENTS (SU-19-0098)
5. ***Consider*** recommendation of Zoning Change No. SU-19-0098
6. ***Consider*** request by John Ed Justice, BKG Legacy Ranch 1, LLC, for a **Replat** of Lot 3, Block B, Legacy Ranch, Phase One, to create Lots 3R-A and 3R-B, Block B, Legacy Ranch, Phase One, 1.382 acres (Property ID 267513) – Owner: BKG LEGACY RANCH 1 LLC (RP-19-0100)
7. ***Consider*** request by James McDill, Davis & McDill, for a **Replat** of Lots 1 and 2, Chapman Place Business Addition, and 1.3974 acres out of the WM Baskins Survey, Abstract 148, to create Lot 1-R, Block A, Chapman Place Business Addition, 2.152 acres (Property ID 247595, 247596, 180847) – Owner: STEVEN F & RICHARD A CHAPMAN (RP-19-0101)

8. **Consider** request by Matthew Martinez, JPH Land Surveying, for a **Preliminary Plat** of Chapman Acres Subdivision for 1 lot being 0.973 acres situated in William Baskins Survey, Abstract 148 (Property ID 180816 and 180826) Owner: VAQUERO KIRKSEY STREET PARTNERS LP (PP-19-0103)
9. **Public Hearing** on a request by Kayla Sterling, SunRun, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Planned Development-Single Family-2 zoning district, located at 90 Lilly Lane (Property ID 222788) – Owner: ROBERT J BOUDREAU (SU-19-0095)
10. **Consider** recommendation of Zoning Change No. SU-19-0095
11. **Public Hearing** on a request by Stephen Masker, Sunpro Solar, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Single Family-2 zoning district, located at 112 Barger Drive (Property ID 172017) – Owner: JUSTIN T WITT (SU-19-0096)
12. **Consider** recommendation of Zoning Change No. SU-19-0096
13. **Public Hearing** on a request by Sean Neal, TGS Architects, for a Specific Use Permit (SUP) for **Drive Through Establishment** use within a General Retail zoning district, located at 1905 N Highway 77 (Property ID 262426) – Owner: COMMUNITY NATIONAL BANK & TRUST OF TEXAS (SU-19-0097)
14. **Consider** recommendation of Zoning Change No. SU-19-0097
15. **Public Hearing** on a request by Alec Broadus, Broadus Services LLC, for a Specific Use Permit (SUP) for **Communications Antennas and Support Structures/Towers** use within an Office zoning district, located at 106 Chambers Circle (Property ID 174573) – Owner: DAWSON J & SHIRLEY STAFFORD REVOCABLE TRUST (SU-19-0099)
16. **Consider** recommendation of Zoning Change No. SU-19-0099
17. **Public Comments:** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.
18. Adjourn

The P&Z reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

<p style="text-align: center;"><i>Notice of Potential Quorum</i> <i>One or more members of the Waxahachie City Council may be present at this meeting.</i> <i>No action will be taken by the City Council at this meeting.</i></p>

Planning and Zoning Commission
August 13, 2019

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, August 13, 2019 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX

Members Present: Rick Keeler, Chairman
Bonney Ramsey
David Hudgins
Erik Test

Members Absent: Melissa Ballard, Vice Chairman
Betty Square Coleman
Jim Phillips

Others Present: Shon Brooks, Director of Planning
Colby Collins, Senior Planner
James Gaertner, City Engineer
Lori Cartwright, City Secretary
Mary Lou Shipley, Council Representative

1. **Call to Order**
2. **Invocation**

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. **Consent Agenda**

- a. Minutes of the regular Planning & Zoning Commission meeting of July 23, 2019
- b. Minutes of the Planning and Zoning Commission briefing of July 23, 2019

Action:

Mrs. Bonney Ramsey moved to approve items a. and b. on the Consent Agenda. Mr. David Hudgins seconded, All Ayes.

4. **Consider request by William Jilbert for a Preliminary Plat of Breezy Meadows for 2 lots, being 10.011 acres situated in the E. Balch Survey, Abstract 89 (Property ID 201198) in the Extra Territorial Jurisdiction – Owner: WILLIAM R & VIRGINIA L JILBERT (PP-19-0092)**

Senior Planner Colby Collins reported the applicant proposed a Preliminary Plat to divide one lot into two lots. He stated staff received a letter from Rockett SUD depicting adequate services could be provided to the property. Mr. Collins recommended approval.

Action:

Mr. David Hudgins moved to approve a request by William Jilbert for a Preliminary Plat of Breezy Meadows for 2 lots, being 10.011 acres situated in the E. Balch Survey, Abstract 89 (Property ID 201198) in the Extra Territorial Jurisdiction – Owner: WILLIAM R & VIRGINIA L JILBERT (PP-19-0092). Mr. Erik Test seconded, All Ayes.

5. **Consider request by William Jilbert for a Final Plat of Breezy Meadows for 2 lots, being 10.011 acres situated in the E. Balch Survey, Abstract 89 (Property ID 201198) in the Extra Territorial Jurisdiction – Owner: WILLIAM R & VIRGINIA L JILBERT (FP-19-0093)**

Mr. Collins reported the Final Plat is a companion to PP-19-0092 and recommended approval.

Action:

Mrs. Bonney Ramsey moved to approve a request by William Jilbert for a Final Plat of Breezy Meadows for 2 lots, being 10.011 acres situated in the E. Balch Survey, Abstract 89 (Property ID 201198) in the Extra Territorial Jurisdiction – Owner: WILLIAM R & VIRGINIA L JILBERT (FP-19-0093). Mr. Erik Test seconded, All Ayes.

6. **Public Hearing on a request by Chris Cooper, Sunpro Solar, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Single Family-3 zoning district, located at 636 Oliver Lane (Property ID 230582) – Owner: JAIME MUNOZ (SU-19-0086)**

Chairman Keeler opened the Public Hearing.

Mr. Collins reported the applicant is proposing solar panels and according to the current site plan submitted by the applicant, there will be no solar panel systems facing the public right-of-way. Staff recommended approval.

There being no others to speak for or against SU-19-0086, Chairman Keeler closed the Public Hearing.

7. **Consider recommendation of Zoning Change No. SU-19-0086**

Action:

Mr. Erik Test moved to approve a request by Chris Cooper, Sunpro Solar, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Single Family-3 zoning district, located at 636 Oliver Lane (Property ID 230582) – Owner: JAIME MUNOZ (SU-19-0086). Mrs. Bonney Ramsey seconded, All Ayes.

8. **Public Hearing on a request by Jerimiah Read, Kosmos Solar, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Planned Development-Single Family-2 zoning district, located at 210 Goodnight Lane (Property ID 232289) – Owner: GERALD CORNWELL (SU-19-0094)**

Chairman Keeler opened the Public Hearing.

Mr. Collins reported the applicant is proposing solar panels and according to the current site plan submitted by the applicant, there will be no solar panel systems facing the public right-of-way. He stated staff received 2 letters of support, 1 letter of opposition and 1 incomplete letter. Mr. Collins recommended approval.

There being no others to speak for or against SU-19-0094, Chairman Keeler closed the Public Hearing.

9. Consider recommendation of Zoning Change No. SU-19-0094

Action:

Mrs. Bonney Ramsey moved to approve a request by Jerimiah Read, Kosmos Solar, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Planned Development-Single Family-2 zoning district, located at 210 Goodnight Lane (Property ID 232289) – Owner: GERALD CORNWELL (SU-19-0094). Mr. David Hudgins seconded, All Ayes.

10. Public Hearing on a request by Tracy Leonard, Razor Signs, for a Specific Use Permit (SUP) for Electronic Message Center use within a General Retail zoning district, located at 2471 Brown Street (Property ID 230757) – Owner: COLLEGE STREET CHURCH OF CHRIST (SU-19-0087)

Chairman Keeler opened the Public Hearing.

Mr. Collins reported the applicant proposes to replace the existing monument sign with an electronic message ground monument sign. He stated the applicant meets the Zoning Ordinance stipulations and recommended approval.

There being no others to speak for or against SU-19-0087, Chairman Keeler closed the Public Hearing.

11. Consider recommendation of Zoning Change No. SU-19-0087

Action:

Mr. David Hudgins moved to approve a request by Tracy Leonard, Razor Signs, for a Specific Use Permit (SUP) for Electronic Message Center use within a General Retail zoning district, located at 2471 Brown Street (Property ID 230757) – Owner: COLLEGE STREET CHURCH OF CHRIST (SU-19-0087). Mr. Erik Test seconded, All Ayes.

12. Public Hearing on a request by Megan Silva, PE, Wantman Group, Inc., for a Specific Use Permit (SUP) for Outdoor Storage use within a Light Industrial-1 zoning district, located at 103 E. Sterrett (Property ID 209624) – Owner: MAGNABLEND INC. (SU-19-0091)

Chairman Keeler opened the Public Hearing.

Mr. Collins presented slides of the proposed site plan depicting the outside storage location to store roofing materials. He stated the agenda packet reflects to deny and prior to the meeting the applicant submitted a revision with screening of Live Oak trees and Crape Myrtle trees along IH35 and Arizona Cyprus trees around the water tank noting when planted they will be twelve feet tall. The revised fencing is a six foot masonry wall on one side of the storage area and chain link fencing on the other side. Mr. Collins recommended approval as amended.

Mr. Grayson Hughs, Wantman Group, Inc., 8144 Walnut Hill Lane, Dallas, representing the applicant was present for questions.

Chairman Keeler confirmed the applicant is amenable with the changes made prior to the meeting. Mr. Hughs concurred noting the storage area is concrete as well as the fire lane. Chairman Keeler asked the height of the water tank. Mr. Grayson stated the tower is approximately 20 feet tall. Chairman Keeler confirmed the storage will not exceed the height of the fencing. Mr. Grayson agreed.

There being no others to speak for or against SU-19-0091, Chairman Keeler closed the Public Hearing.

13. Consider recommendation of Zoning Change No. SU-19-0091

Action:

Mr. David Hudgins moved to approve a request by Megan Silva, PE, Wantman Group, Inc., for a Specific Use Permit (SUP) for Outdoor Storage use within a Light Industrial-1 zoning district, located at 103 E. Sterrett (Property ID 209624) – Owner: MAGNABLEND INC. (SU-19-0091) subject to all stipulations per staff comments. Mrs. Bonney Ramsey seconded, All Ayes.

14. Public Hearing on a request by Mark Thedford, Akamai Designs, for a Zoning Change from a Single-Family Residential-1 zoning district to Single-Family Residential-2, located at 106 Santa Fe Trail (Property ID 221873) - Owner: AKAMAI DESIGNS INC (ZC-19-0089)

Chairman Keeler opened the Public Hearing.

Mr. Collins reported the applicant proposes the zoning change to allow construction of residential homes. He presented a layout of the new single family residences and the residential development standards for Single-Family-2 noting the City requires a minimum lot size of 12,500 sq. ft. and the applicant proposes 12,562 square feet. The City requires a minimum living area of 1,600 square feet and the applicant proposes 2,600 square feet. Mr. Collins reported inside the required 200' notification area the city received two letters of support and nine letters of opposition. He stated fifty letters of opposition were received outside the required 200' notification area. Staff recommended to approve.

The Commission held discussion and Director of Planning Shon Brooks stated currently the request is for straight zoning of Single-Family- 2 (SF-2) with a minimum living area of 1,600 square feet. He explained if the Commission wants to put stipulations such as increasing the square footage of the home they would have to make it a Planned Development SF-2 (PD-SF-2).

Mr. Erik Test referenced the drainage noting it will be addressed during the Preliminary Plat process. City Engineer James Gaertner stated the Preliminary Plat will lay out the lots and infrastructure such as water, sewer, and drainage. He stated the applicant will have to provide approved civil construction plans whereas the applicant will have to provide a study showing it will not impact adjacent properties.

Mr. Mark Thedford, Akamai Designs, Inc., 145 Royal Park Lane, Waxahachie, stated he is available for questions.

Chairman Keeler asked the applicant if he is amenable to stipulate a Planned Development SF-2 with a minimum of at least 2,600 square foot homes. Mr. Thedford concurred and stated the brick screening wall is on the city property. Mr. Thedford stated he will be donating to the City one foot of land for the future thoroughfare.

Those who spoke against ZC-19-0089:

Melinda Miller, 160 Old Bridge Road, Waxahachie
 Macel Whitfield, 323 Osage Drive, Waxahachie
 John Scott, 126 Old Bridge Road, Waxahachie
 Mark Kimble, 120 Oak Ridge Road, Waxahachie
 Jacob Vincent, 148 Old Bridge Road, Waxahachie
 Greg Burdette, 103 Cattail Court, Waxahachie
 Wendell Howard, 118 Santa Fe Trail, Waxahachie
 Janice Emmert-Dolezalik, 112 Old Bridge Road, Waxahachie
 Sherry Sims, 107 Waters Garden Drive, Waxahachie

Those who spoke for ZC-19-0089:

Rodney Lacy, 108 Santa Fe Trail, Waxahachie
 Wendy Lacy, 108 Santa Fe Trail, Waxahachie
 Cecil Taylor, 321, Osage Drive, Waxahachie
 Michael Hester, 110 Water Garden Drive, Waxahachie

There being no others to speak for or against ZC-19-0089, Chairman Keeler closed the Public Hearing.

15. Consider recommendation of Zoning Change No. ZC-19-0089

Action:

Mr. Erik Test moved to approve a request by Mark Thedford, Akamai Designs, for a Zoning Change from a Single-Family Residential-1 zoning district to Single-Family Residential-2, located at 106 Santa Fe Trail (Property ID 221873) - Owner: AKAMAI DESIGNS INC (ZC-19-0089) subject to it being a Planned Development Single-Family-2 with minimum dwellings of 2,800 square feet per dwelling and subject to staff comments. Mr. David Hudgins seconded, All Ayes.

16. Consider request by Mark Thedford, Akamai Designs, for a Preliminary Plat of Fountain Court Addition for 5 lots, being a 1.74 acre addition in the JB & A Adams Survey, Abstract 5 (Property ID 221873) – Owner: AKAMAI DESIGNS INC (PP-19-0090)

Mr. Collins reported the Preliminary Plat is a companion case to ZC-19-0089 and recommended approval per the following staff comments:

- Upon approval of this plat and before the acceptance of Civil Plans, a drainage study will need to be conducted on this site by a licensed engineer

- Proposed utilities need to be included on any future civil plans and will need to be drawn by a licensed engineer
- Legal access to the site from Garden Valley Parkway must be confirmed

Action:

Mr. David Hudgins moved to approve a request by Mark Thedford, Akamai Designs, for a Preliminary Plat of Fountain Court Addition for 5 lots, being a 1.74 acre addition in the JB & A Adams Survey, Abstract 5 (Property ID 221873) – Owner: AKAMAI DESIGNS INC (PP-19-0090) subject to staff comments. Mrs. Bonney Ramsey seconded, All Ayes.

17. Public Comments

Mr. Wendell Howard, 118 Santa Fe Trail, Waxahachie, stated he is disappointed in the Commission for approving ZC-19-0089 and PP-19-0090.

Mr. Mark Thedford, Akamai Designs, Inc., 145 Royal Park Lane, Waxahachie, stated the house he is currently building is 2,900 square feet. He stated an eight foot brick fence will be installed.

18. Adjourn

Planning Director Shon Brooks stated the above cases are scheduled for the City Council meeting of August 19, 2019.

City Engineer James Gaertner stated the property owner understands he needs to go through the due diligence to get the Final Plat approved.

There being no further business, the meeting adjourned at 8:15 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary

Planning and Zoning Commission
August 13, 2019

The Waxahachie Planning & Zoning Commission held a briefing session on Tuesday, August 13, 2019 at 6:15 p.m. in the City Council Conference Room at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman
Bonney Ramsey
David Hudgins
Erik Test

Members Absent: Melissa Ballard, Vice Chairman
Betty Square Coleman
Jim Phillips

Others Present: Shon Brooks, Director of Planning
Colby Collins, Senior Planner
James Gaertner, City Engineer
Lori Cartwright, City Secretary
Mary Lou Shipley, Council Representative

1. Call to Order

Chairman Rick Keeler called the meeting to order.

2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting

Senior Planner Colby Collins reviewed the following cases:

- PP-19-0092, applicant proposing Preliminary Plat creating two lots from one lot. Staff received letter noting adequate water facilities were available. Staff recommended approval.
- FP-19-0093, Final Plat of PP-19-0092. Staff recommended approval.
- SU-19-0086, applicant proposes a roof top solar panel system. Staff recommended approval.
- SU-19-0094, applicant proposes a roof top solar panel system. Staff received 2 letters of support, 1 letter of opposition, and 1 incomplete letter. Staff recommended approval.
- SU-19-0087, applicant proposes an electronic message sign and meets all city stipulations. Applicant will replace current sign with electronic sign. Staff recommended approval.
- SU-19-0091, applicant proposes outside storage of roofing materials. Staff originally recommended to deny. Applicant proposed revisions to include landscaping screening along Interstate 35 and around the water tank. Staff recommended approval per changes.
- ZC-19-0089, applicant request zoning change from SF-1 to SF-2 to allow construction of residential homes. Applicant proposes minimum lot size of 12,562 and the city's requirement is 12,500. Minimum living area requirement is 1,600 square feet and applicant proposes 2,600 square feet. Applicant meets the residential development standards.

- PP-19-0090, Preliminary Plat for companion case ZC-19-0089. Staff concerns include:
 1. A drainage study needs to be conducted by a licensed engineer.
 2. The language in the surveyor's signature block does not adhere to the city ordinance language.
 3. Proposed utilities need to be drawn by a licensed engineer on the Civil Plans.

Staff recommended approval per the following comments:

1. Zoning for this property (case ZC-19-0089) must be approved prior to preliminary plat approval.
2. Upon approval of this plat and before the acceptance of Civil Plans, a drainage study will need to be conducted on this site by a licensed engineer.
3. Proposed utilities need to be included on any future civil plan and will need to be drawn by a licensed engineer.
4. Legal access to the site from Garden Valley Parkway must be confirmed.

It was noted the Indian Hills Phase 7 the property was intended to be a detention pond. Discussion was held in reference to changing the request from SF-2 to Planned Development SF-2.

3. Adjourn

There being no further business, the meeting adjourned at 6:47 p.m.

Respectfully submitted,

Lori Cartwright
City Secretary

(4 + 5)



Memorandum

To: Honorable Mayor and City Council
From: Shon Brooks, Director of Planning
Thru: Michael Scott, City Manager
Date: August 19, 2019
Re: SU-19-0098 100 W. Sterrett – Outside Storage

On August 14, 2019, the applicant requested to continue case no. SU-19-0098 to the September 10, 2019 Planning and Zoning meeting agenda.

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0100



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Consider request by John Ed Justice, BKG Legacy Ranch 1, LLC, for a Replat of Lot 3, Block B, Legacy Ranch, Phase One, to create Lots 3R-A and 3R-B, Block B, Legacy Ranch, Phase One, 1.382 acres (Property ID 267513) – Owner: BKG LEGACY RANCH 1 LLC (RP-19-0100).

CASE INFORMATION

Applicant: John Ed Justice, BKG Legacy Ranch 1 LLC

Property Owner(s): BKG Legacy Ranch 1 LLC

Site Acreage: 1.382 acres

Number of Lots: 2 lots

Number of Dwelling Units: 0 units

Park Land Dedication: N/A

Adequate Public Facilities: Adequate public facilities are available for this property.

SUBJECT PROPERTY

General Location: 1005 Legacy Ranch Road

Parcel ID Number(s): 267513

Current Zoning: Planned Development-General Retail (Ordinance 2771)

Existing Use: ROW paved to allow for office/general retail.

Platting History: This piece of property was originally approved as a final plat in September 19, 2016 under case no. FP 2016-34.

Site Aerial:**STAFF CONCERNS**

Staff has no concerns regarding this plat at this time.

APPLICANT RESPONSE TO CONCERNS

The applicant submitted an updated plat on 8/9/19 that addressed all staff concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following conditions:

ATTACHED EXHIBITS

1. Plat Drawing.
2. PON Notifications
 - a. 8 support | 0 oppose

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
 Chris Webb
 Planner
cwebb@waxahachie.com

Reviewed by:
 Shon Brooks, AICP
 Director of Planning
sbrooks@waxahachie.com

(6)

Case RP-19-0100*Responses Received Inside Required 200' Notification Area***Support: 8 Oppose: 0**

PropertyID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
169256	BRICKHOUSE LTD	22.722	844 J E PRINCE 22.722 ACRES	236 KATY LAKE DR	WAXAHACHIE	TX	75165	JOHN ARDEN DR WAXAHACHIE TX 75165
267508	BKG LEGACY RANCH I LLC	1.39	LOT 1 BLK A LEGACY ESTATES PH 1 1.39 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	1000 LEGACY RANCH RD WAXAHACHIE TX 75167
267509	BKG LEGACY RANCH I LLC	1.212	LOT 2 BLK A LEGACY ESTATES PH 1 1.212 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	1002 LEGACY RANCH RD WAXAHACHIE TX 75167
267510	BKG LEGACY RANCH I LLC	1.329	LOT 3 BLK A LEGACY ESTATES PH 1 1.329 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	1004 LEGACY RANCH RD WAXAHACHIE TX 75167
267511	BKG LEGACY RANCH I LLC	1.401	LOT 1 BLK B LEGACY RANCH PH 1 1.401 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	1001 LEGACY RANCH RD WAXAHACHIE TX 75165
267512	BKG LEGACY RANCH I LLC	1.241	LOT 2 BLK B LEGACY RANCH PH 1 1.241 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	1003 LEGACY RANCH RD WAXAHACHIE TX 75165
267513	BKG LEGACY RANCH I LLC	1.382	LOT 3 BLK B LEGACY RANCH PH 1 1.382 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	1005 LEGACY RANCH RD WAXAHACHIE TX 75165
267514	BKG LEGACY RANCH I LLC	1.493	LOT 4 BLK B LEGACY RANCH PH 1 1.493 AC	236 KATY LAKE DR	WAXAHACHIE	TX	75165	LEGACY RANCH RD WAXAHACHIE TX 75165
179579	LANDER TRUST WILLIAM H GETZENANER	99.29	41 J BARKER 99.29 BOUNDS 99.29 ACRES	4445 SKINNER RD	MIDLOTHIAN	TX	76055	GRAND AVE WAXAHACHIE TX 75165

(6)

RECEIVED
8/14/19



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**



BREKENGLENN LTD
238 KATY LAKE DR
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Tuesday, September 3, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by John Ed Justice, BKG Legacy Ranch 1, LLC, for a Replat of Lot 3, Block B, Legacy Ranch, Phase One, to create Lots 3R-A and 3R-B, Block B, Legacy Ranch, Phase One, 1.382 acres (Property ID 267513) – Owner: BKG LEGACY RANCH 1 LLC (RP-19-0100)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: **RP-19-0100**
City Reference: 189256

A change

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, August 21, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE

Comments: _____

John Ed Justice

Signature

8/14/19

Date

John Ed Justice, Manager

Printed Name and Title

238 Katy Lake Dr

Address

(6)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**

RECEIVED
8/14/19

BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Tuesday, September 3, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

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Case Number: **RP-19-0100**
City Reference: 267508

L1BA

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, August 21, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE

Comments: _____

John Ed Justice

Signature

8/14/19

Date

John Ed Justice, Manager

Printed Name and Title

238 Katy Lake Dr.

Address

(6)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**

RECEIVED
8/14/19

BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Tuesday, September 3, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by John Ed Justice, BKG Legacy Ranch 1, LLC, for a Replat of Lot 3, Block B, Legacy Ranch, Phase One, to create Lots 3R-A and 3R-B, Block B, Legacy Ranch, Phase One, 1.382 acres (Property ID 267513) – Owner: BKG LEGACY RANCH I LLC (RP-19-0100)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: **RP-19-0100**
City Reference: 267509

L 2 B A

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on ***Wednesday, August 21, 2019*** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE

Comments: _____

John Ed Justice
Signature

8/14/19
Date

John Ed Justice
Printed Name and Title

238 Katy Lake Dr
Address

(6)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**

RECEIVED
8/14/19

BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Tuesday, September 3, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by John Ed Justice, BKG Legacy Ranch I, LLC, for a **Replat** of Lot 3, Block B, Legacy Ranch, Phase One, to create Lots 3R-A and 3R-B, Block B, Legacy Ranch, Phase One, 1.382 acres (Property ID 267513) – Owner: BKG LEGACY RANCH I LLC (RP-19-0100)

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Case Number: **RP-19-0100**
City Reference: 267510

L3BA

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SUPPORT



OPPOSE

Comments: _____

John Ed Justice

Signature

8/14/19

Date

John Ed Justice, Manager

Printed Name and Title

238 Katy Lake Dr.

Address

(6)



RECEIVED
8/14/19

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**



**BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165**

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Case Number: **RP-19-0100**
City Reference: 267511

L1 BB

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SUPPORT



OPPOSE

Comments: _____

John Ed Justice

Signature

8/14/19

Date

John Ed Justice, Manager

Printed Name and Title

238 Katy Lake Dr.

Address

(6)



RECEIVED
8/14/19

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**



**BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165**

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Case Number: **RP-19-0100**

City Reference: 267512

L 2 B B

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SUPPORT



OPPOSE

Comments: _____

John Ed Justice
Signature

8/14/19
Date

John Ed Justice, Manager
Printed Name and Title

238 Katy Lake Dr
Address

(6)



RECEIVED
8/14/19

City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**



**BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165**

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Case Number: **RP-19-0100**
City Reference: 267513

L3BB

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SUPPORT



OPPOSE

Comments: _____

John Ed Justice
Signature

8/14/19
Date

John Ed Justice, Manager
Printed Name and Title

238 Katy Lake Dr.
Address

(6)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **RP-19-0100**

RECEIVED
8/14/19

BKG LEGACY RANCH I LLC
238 KATY LAKE DR
WAXAHACHIE, TX 75165

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Case Number: **RP-19-0100**
City Reference: 267514

L4BB

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SUPPORT



OPPOSE

Comments: _____

John Ed Justice
Signature

8/14/19
Date

John Ed Justice, Manager
Printed Name and Title

238 Katy Lake Dr.
Address

(7)

Planning & Zoning Department

Plat Staff Report

Case: RP-19-0101



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Consider request by James McDill, Davis & McDill, for a **Replat** of Lots 1 and 2, Chapman Place Business Addition, and 1.3974 acres out of the WM Baskins Survey, Abstract 148, to create Lot 1-R, Block A, Chapman Place Business Addition, 2.152 acres (Property ID 247595, 247596, 180847) – Owner: STEVEN F & RICHARD A CHAPMAN (RP-19-0101)

CASE INFORMATION

Applicant: James McDill, Davis & McDill

Property Owner(s): Steven F and Richard A Chapman

Site Acreage: 2.152 acres

Number of Lots: 1 lot

Number of Dwelling Units: 0 units

Park Land Dedication: N/A

Adequate Public Facilities: Adequate public facilities are available for this location.

SUBJECT PROPERTY

General Location: 500 N Highway 77

Parcel ID Number(s): 247595, 247596, and 180847

Current Zoning: Planned Development-24-General Retail

Existing Use: A furniture store currently sits on most of the property with the northernmost portion of the property remaining undeveloped.

Platting History: Final plats were approved for this property in 2009 and 2010 under Case Nos. FINAL PLAT 2009-05 and FINAL PLAT 2010-20.

Site Aerial:**STAFF CONCERNS**

Staff has no concerns with the case at this time.

APPLICANT RESPONSE TO CONCERNS

The applicant submitted an updated plat that satisfies all of staff's previous concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following conditions:

ATTACHED EXHIBITS

1. Plat drawing.
2. PON Responses
 - a. 1 support | 0 oppose

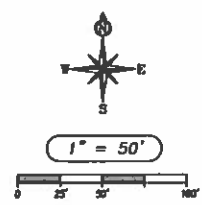
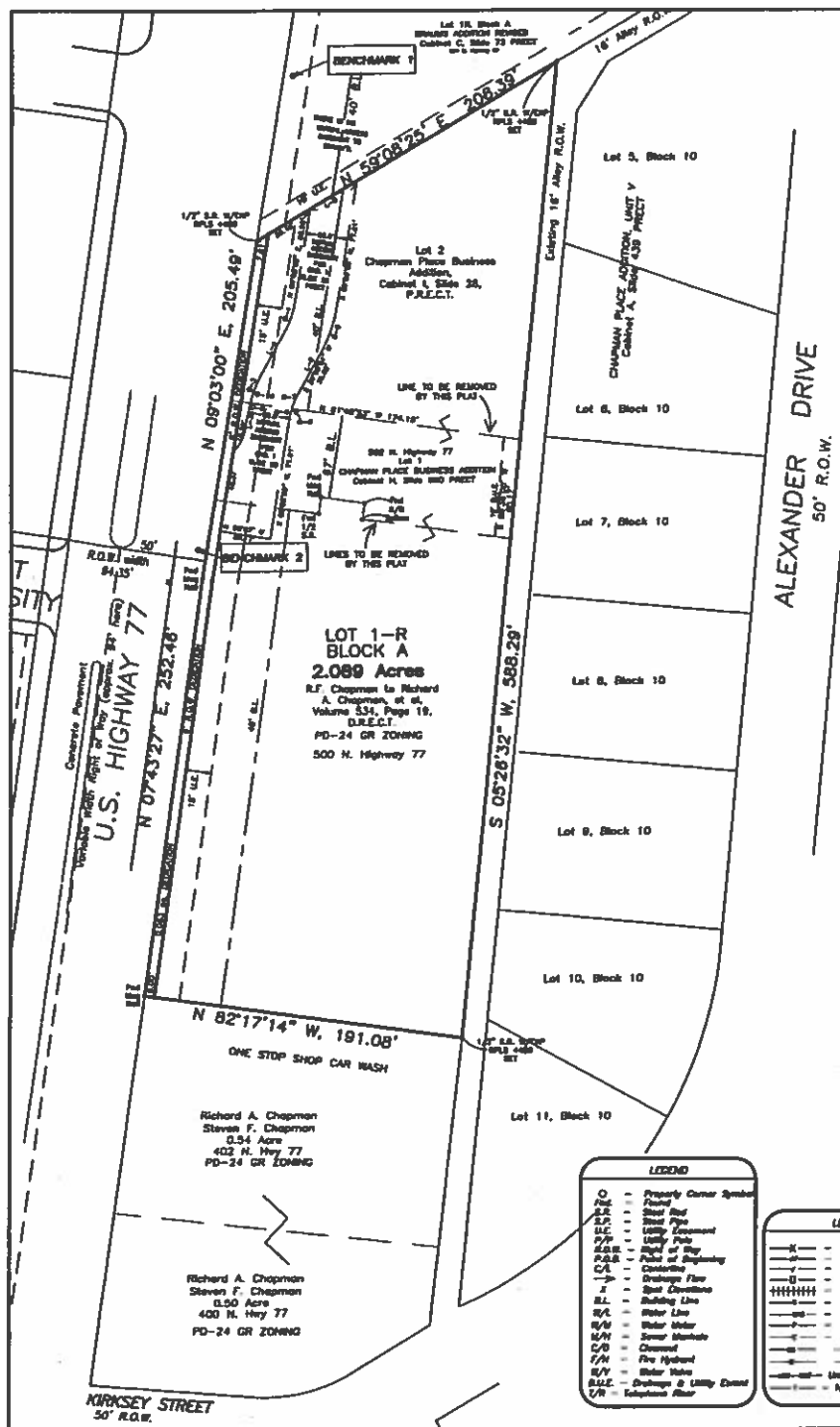
APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
 Chris Webb
 Planner
cwebb@waxahachie.com

Reviewed by:
 Shon Brooks, AICP
 Director of Planning
sbrooks@waxahachie.com



GENERAL NOTES:

1. 100 YEAR FLOOD HERE:
NO 100 YEAR FLOODPLAIN
PER FIRM MAP # 46130C180 F
ZONE: X UNDESIGNED, DATED 06-03-2013

2. DRAINAGE HERE:
PERMANENT FENCING SHALL NOT BE
ALLOWED WITHIN DRAINAGE EASEMENTS

Note: The bearings depicted upon this plot were obtained via GPS observation, Texas North Central Zone 4202, North American Datum 1983 (NAD83).

FIELD NOTES Steven F. Chapman

Job Number: D 181999

BEING a part of the William Boskins Survey, Abstract 148, City of Waxahachie, Ellis County, Texas, and a part of the 3 1/4 acre tract described in deed from R.F. Chapman to Richard A. Chapman and Steven F. Chapman recorded in Volume 534, Page 19, Deed Records, Ellis County, Texas (D.R.E.C.T.), and Lot 1, Chapman Platfiled Place Business Addition, an addition to the City of Waxahachie, Ellis County, Texas, according to the plot thereof recorded in Cabinet H, Side 660, Plot Records, Ellis County, Texas (P.R.E.C.T.) and Lot 2, Chapman Place Business Addition, an addition to the City of Waxahachie, Ellis County, Texas, according to the plot thereof recorded in Cabinet I, Side 28, P.R.E.C.T., and being and being more particularly described by its metes and bounds as follows:

BEGINNING at $\frac{1}{8}$ inch steel rod with plastic cap stamped "RPLS 4480" set at the northwesterly corner of said Lot 2 and the southwesterly corner of Lot 1R, The Braum's Addition, an addition to the City of Wazachochie, Ellis County, Texas, according to the plat thereof recorded in Cabinet C, Side 73, P.R.E.C.T. and the northwesterly corner of the 4310 square foot tract described in deed from R. F. Chapman, et al, to the State of Texas, according to the deed thereof recorded in Volume 643, Page 769, D.R.E.C.T.;

THENCE N 59°08'25" E (call N 59°43' E), with the northerly line of said 3 1/2 acre tract and the common line of said Lot 2, Chapman Place Business Addition and of said Lot 1R, The Braum's Addition, 208.39 feet to a 1/2 inch steel rod with plastic cap stamped "RPLS 4480" set at the northwesterly of Chapman Place Addition - Unit V, an addition to the City of Waxahatchie, Ellis County, Texas, according to the plat thereof recorded in Cabinet A, Slide 439, P.R.E.C.T. and of a 16 foot alley;

THENCE S 52°53'32" W (call S 61°10" W), with the easterly line of said Lots 1 and 2 and of said 3 1/2 acre tract and the common westerly line of said Chapman Place Addition - Unit V, and said 16 foot alley, 588.29 feet to a 1/2 inch steel rod with plastic cap stamped "RPLS 4480" set;

THENCE N 82°17'14" W, 191.08 feet to a magnetic nail set on the common easterly right of way line of said Highway at the southeast corner of the 1572 square foot tract described in deed from R. F. Chapman, et al, to the State of Texas, recorded in Volume 643, Page 765, D.R.E.C.T.;

THENCE N 74°32'27" E, with the common easterly right of way line of said Highway and said 1572 square foot tract, passing at 234.17 feet the common easterly corner of said 1572 square foot tract and the and the northeasterly corner of said 4310 square foot tract and said 4310 square foot tract, in all, 252.46 feet to a magnetic nail set;

THENCE N 90°30'00" E, with the with the common easement right of way line of said Highway and said 4310 square foot tract, passing at 48.52 feet the southwesterly corner of said Lot 1, passing at 108.53 the common westerly corner of said Lot 1 and Lot 2, in at 205.49 feet to a ½ inch steel rod with plastic cap stamped "RPL 1480" set at the northwesterly corner of said Lot 2 and the southwesterly corner of Lot 1R, The Braun's Addition, an addition to the City of Waco, Harris County, Texas, according to the plat thereof recorded in Cabinet C, Slide 73, P.R.E.C.T., to the point of beginning and containing approximately 2.152 acres of land.

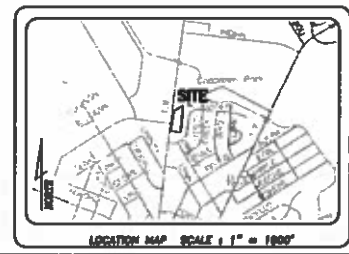
REPLAT
Chapman Place Business Addition
Lot 1-R, Block A
2.089 Acres

in the William Baskins Survey, Abst. 148
in the City of Waxahachie,
CASE NO. Ellis County, Texas
RP-19-0101 (1 Commercial Lot)

ELLIS ASSOCIATES
SURVEYORS
212 North College Tel. 872-837-7474
Memphis, Tenn 38165
TSPS License No. 10067100

Page 1 of 2

Date: 08/21/2019
Scale: 1" = 50'
Drawn: D. Hocutt
Job: 219-0041



NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, RICHARD A. CHAPMAN AND STEVEN F. CHAPMAN, do hereby adopt this plat designating the herein above described property as a REPLAT of CHAPMAN PLACE BUSINESS ADDITION, an addition to the City of Waxahachie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The Easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of Ingress and Egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas

WITNESS, my hand, this the _____ day of _____, 2019.

By:

Richard A. Chapman
Owner

Steven F. Chapman
Owner

STATE OF TEXAS
COUNTY OF ELLIS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Richard A. Chapman, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2019.

Notary Public in and for the State of Texas

My Commission Expires On:

CITY OF WAXAHACHIE, TEXAS FINAL PLAT APPROVAL

APPROVED BY: Planning and Zoning Commission
City of Waxahachie

By: _____ Date _____
Chairperson

APPROVED BY: City Council
City of Waxahachie

By: _____
Mayor

Attest _____ Date _____

STATE OF TEXAS
COUNTY OF ELLIS

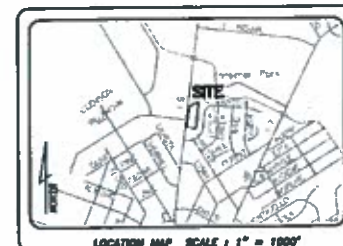
Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Steven F. Chapman, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2019.

Notary Public in and for the State of Texas

My Commission Expires On:

Owner & Developers:
Steven F. Chapman
Richard A. Chapman
1602 Alexander Drive
Waxahachie, Texas 75165
972-938-2720



REPLAT
Chapman Place Business Addition
Lot 1-R, Block A
2.089 Acres
situated in the William Baskins Survey, Abst. 148
in the City of Waxahachie,
Ellis County, Texas
(1 Commercial Lot)

CASE NO.
RP-19-0101

SURVEYOR'S DECLARATION
This is to certify that I, Stuart G. Hamilton, a Registered Public Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground and that all lot corners, angle points, and points of curve have been properly marked on the ground, and that this plat correctly represents the survey made by me.

Stuart G. Hamilton
Registered Professional Land Surveyor
Number 4480

AUG 9 1 2019
Date

ELLIS ASSOCIATES
SURVEYORS
212 North College Tel. 972-937-7474
Waxahachie, Texas 75165
TSPS License No. 10067100

Page 2 of 2
Date: 08/21/2019
Scale: 1" = 50'
Drawn: D. Hocutt
Job: 219-0041

Case RP-19-0101
Responses Received Inside Required 200' Notification Area
Support: 1 Oppose: 0

PropertyID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
175008	KOSSMAN WAXAHACHIE LIMITED PRT	5	LOT 4 BLK 1 NORTHGATE PLAZA 5.0 AC	11 PARKWAY CTR STE 300	PITTSBURGH	PA	15220	505 N HIGHWAY 77 WAXAHACHIE TX 75165
172718	WALLER CHRISTOPHER & JENNIFER	0.319	LOT 19 BLK 9 CHAPMAN PLACE UNIT 5 .319 AC	1800 ALEXANDER DR	WAXAHACHIE	TX	75165	1600 ALEXANDER DR WAXAHACHIE TX 75165
172707	BARNES DANIEL L & ANITA L	0.289	LOT 11 BLK 10 CHAPMAN PLACE UNIT 5 .289 AC	1801 ALEXANDER DR	WAXAHACHIE	TX	75165	1601 ALEXANDER DR WAXAHACHIE TX 75165
172717	CHAPMAN STEVEN F	0.65	LOT 18 BLK 9 CHAPMAN PLACE UNIT 5 .65 AC	1802 ALEXANDER DR	WAXAHACHIE	TX	75165	1602 ALEXANDER DR WAXAHACHIE TX 75165
180816	CHAPMAN RICHARD A & STEVEN F CHAPMAN	0.498	148 WM BASKINS 0.498 ACRES	1802 ALEXANDER DR	WAXAHACHIE	TX	75165	400 N HIGHWAY 77 WAXAHACHIE TX 75165
180826	CHAPMAN RICHARD A & STEVEN F CHAPMAN	0.54	148 WM BASKINS 0.54 ACRES	1802 ALEXANDER DR	WAXAHACHIE	TX	75165	402 N HIGHWAY 77 WAXAHACHIE TX 75165
180847	CHAPMAN STEVEN F & RICHARD A	1.3974	148 WM BASKINS 1.3974 ACRES	1802 ALEXANDER DR	WAXAHACHIE	TX	75165	500 N HIGHWAY 77 WAXAHACHIE TX 75165
247595	CHAPMAN STEVEN F & RICHARD A	0.643	LOT 2 CHAPMAN PLACE BUSINESS ADDITION 0.643 AC	1802 ALEXANDER DR	WAXAHACHIE	TX	75165	N HIGHWAY 77 WAXAHACHIE TX 75165
247596	CHAPMAN STEVEN F & RICHARD A	0.2368	LOT 1 CHAPMAN PLACE BUSINESS ADDITION .2368 AC	1802 ALEXANDER DR	WAXAHACHIE	TX	75165	502 N HIGHWAY 77 WAXAHACHIE TX 75165
172706	WILLIAMS SARAH	0.272	LOT 10 BLK 10 CHAPMAN PLACE UNIT 5 .272 AC	1803 ALEXANDER DR	WAXAHACHIE	TX	75165	1603 ALEXANDER DR WAXAHACHIE TX 75165
172716	MOORE HANSFORD & LORI J	0.354	LOT 17 BLK 9 CHAPMAN PLACE UNIT 5 .354 AC	1804 ALEXANDER DR	WAXAHACHIE	TX	75165	1604 ALEXANDER DR WAXAHACHIE TX 75165
172715	BERGER EILEEN G & LOVELESS ANDREA M	0.298	LOT 16 BLK 9 CHAPMAN PLACE UNIT 5 .298 AC	1806 ALEXANDER DR	WAXAHACHIE	TX	75165	1606 ALEXANDER DR WAXAHACHIE TX 75165
172714	WOOD LARY E & DOROTHY J	0.298	LOT 15 BLK 9 CHAPMAN PLACE UNIT 5 .298 AC	1808 ALEXANDER DR	WAXAHACHIE	TX	75165	1608 ALEXANDER DR WAXAHACHIE TX 75165
172713	MAXFIELD DONALD & ANGELA	0.284	LOT 7 BLK 10 CHAPMAN PLACE UNIT 5 .284 AC	1809 ALEXANDER DR	WAXAHACHIE	TX	75165	1609 ALEXANDER DR WAXAHACHIE TX 75165
172723	NIEDERHAUS DONALD L & JOYCE R	0.298	LOT 14 BLK 9 CHAPMAN PLACE UNIT 5 .298 AC	1810 ALEXANDER DR	WAXAHACHIE	TX	75165	1810 ALEXANDER DR WAXAHACHIE TX 75165
172712	ELLYSON DON EDWYN	0.311	LOT 6 BLK 10 CHAPMAN PLACE UNIT 5 .311 AC	1811 ALEXANDER DR	WAXAHACHIE	TX	75165	1811 ALEXANDER DR WAXAHACHIE TX 75165
172722	MC LANE W D	0.278	LOT 13 BLK 9 CHAPMAN PLACE UNIT 5 .278 AC	1812 ALEXANDER DR	WAXAHACHIE	TX	75165	1812 ALEXANDER DR WAXAHACHIE TX 75165
193485	TROST MARY S	0.389	LOT 5 BLK 10 CHAPMAN PLACE UNIT 5 .389 AC	1813 ALEXANDER DR	WAXAHACHIE	TX	75165	1813 ALEXANDER DR WAXAHACHIE TX 75165
172711	WINDWARD PARTNERS X. % EMERSONS COMMERCIAL MANAGEMENT	0.375	LOT 4 BLK 10 CHAPMAN PLACE UNIT 5 .375 AC	1815 ALEXANDER DR	WAXAHACHIE	TX	75165	1815 ALEXANDER DR WAXAHACHIE TX 75165
180818	WINDWARD PARTNERS X. % EMERSONS COMMERCIAL MANAGEMENT	6.85	148 & 599 WM BASKINS & J. JOHNSON 6.85 ACRES	17778 PRESTON RD STE 100	DALLAS	TX	75252	401 N HIGHWAY 77 WAXAHACHIE TX 75165
196882	BM VANKAWALA FAMILY LIMITED PARTNERSHIP	0.498	1 1 WAXAHACHIE BLOCK BUSTER 0.498 ACRES	2718 WATERS EDGE DR	CEDAR HILL	TX	75104	508 N HIGHWAY 77 WAXAHACHIE TX 75165
175005	CLEAR LINK TELEPHONE CORP, ATTN: RE TAX DEPT	0.309	2A 1 NORTHGATE PLAZA REV0.309 ACRES	3000 ALTAMESA BLVD STE 300	FORT WORTH	TX	76133	507 N HIGHWAY 77 WAXAHACHIE TX 75165
172704	LARKIN KIRK A	0.284	LOT 8 BLK 10 CHAPMAN PLACE UNIT 5 .284 AC	505 SYCAMORE	WAXAHACHIE	TX	75165	1607 ALEXANDER DR WAXAHACHIE TX 75165
175006	ROCKSTEADY LLC, C/O ATALLA JOUDEH	0.501	LOT 2B BLK 1 NORTHGATE PLAZA 0.501 AC	P O BOX 891	MIDLOTHIAN	TX	78065	503 N HIGHWAY 77 WAXAHACHIE TX 75165
172327	RETAIL BUILDINGS INC	1.75	1R A BRAUMS ADDN REV 1.75 ACRES	PO BOX 25428	OKLAHOMA CITY	OK	73125	504 N HIGHWAY 77 WAXAHACHIE TX 75165
172705	TITTLE JUDY P	0.284	LOT 9 BLK 10 CHAPMAN PLACE UNIT 5 .284 AC	PO BOX 303	WAXAHACHIE	TX	75168	1605 ALEXANDER DR WAXAHACHIE TX 75165

23.194 TOTAL ACREAGE OF THOSE NOTICED
4.6388 EQUALS 20% OF TOTAL ACREAGE OF THOSE NOTICED
0 TOTAL ACREAGE OF THOSE OPPOSED*

A favorable vote of three-fourths (¾) of all members, which equates to four (4) of the five (5) members, of the City Council shall be required to approve any change in zoning when written objections are submitted to the City Secretary in accordance with the provisions of Section 211.006 of the Local Government Code of the State of Texas. If a protest against such proposed amendment, supplement, or change has been filed with the City Secretary, duly signed and acknowledged by the owners of twenty (20) percent or more, either of the area of the lots included in such a proposed change or those immediately adjacent to the area thereof extending two hundred (200) feet therefrom or of those directly opposite thereto extending two hundred (200) feet from the street frontage of such opposite lots, such amendments shall not become effective except by a three-fourths (¾) vote of the City Council.

(7)

(7)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: RP-19-0101

RECEIVED
8/14/19

HILL JIM D & WHITNEY E
1615 ALEXANDER DR
WAXAHACHIE, TX 75165

The Waxahachie City Council will hold a Public Hearing on Tuesday, September 3, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by James McDill, Davis & McDill, for a Replat of Lots 1 and 2, Chapman Place Business Addition, and 1.3974 acres out of the WM Baskins Survey, Abstract 148, to create Lot 1-R, Block A, Chapman Place Business Addition, 2.152 acres (Property ID 247595, 247596, 180847) – Owner: STEVEN F & RICHARD A CHAPMAN (RP-19-0101)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: RP-19-0101
City Reference: 172711

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 21, 2019* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE

Comments: _____


Signature

Jim D. Hill
Printed Name and Title

8/13/19
Date

1615 ALEXANDER DR.
Address

Planning & Zoning Department

Plat Staff Report

Case: PP-19-0103



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Consider request by Matthew Martinez, JPH Land Surveying, for a Preliminary Plat of Chapman Acres Subdivision for 1 lot being 0.973 acres situated in William Baskins Survey, Abstract 148 (Property ID 180816 and 180826) Owner: VAQUERO KIRKSEY STREET PARTNERS LP (PP-19-0103)

CASE INFORMATION

Applicant: Matthew Martinez, JPH Land Surveying

Property Owner(s): Vaquero Kirksey Street Partners LP

Site Acreage: 0.973 acres

Number of Lots: 1 lot

Number of Dwelling Units: 0 units

Park Land Dedication: The cash in lieu of park land dedication for this case is estimated at \$600.00 (1 non-residential building at \$600.00 per building).

Adequate Public Facilities: Adequate public facilities are available at this location.

SUBJECT PROPERTY

General Location: 400 and 402 N Highway 77

Parcel ID Number(s): 180816 and 180826

Current Zoning: Planned Development-24-General Retail

Existing Use: This site is currently occupied by a small retail space and a carwash.

Platting History: 148 WM BASKINS Survey

Site Aerial:



STAFF CONCERNS

Staff has no concerns with this preliminary plat.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following conditions:

ATTACHED EXHIBITS

1. Plat Drawing.

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide five signed, hard-copy plats.

STAFF CONTACT INFORMATION

Prepared by:
 Chris Webb
 Planner
cwebb@waxahachie.com

Reviewed by:
 Shon Brooks, AICP
 Director of Planning
sbrooks@waxahachie.com

(9)

Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0095



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Public Hearing on a request by Kayla Sterling, SunRun, for a Specific Use Permit (SUP) for Rooftop Solar Panel System use within a Planned Development-Single Family-2 zoning district, located at 90 Lilly Lane (Property ID 222788) – Owner: ROBERT J BOUDREAU (SU-19-0095)

CASE INFORMATION

Applicant: Kayla Sterling, SunRun

Property Owner(s): Robert J Boudreau

Site Acreage: 0.155 acres

Current Zoning: Planned Development-Single Family-2

Requested Zoning: PD-SF2 with SUP

SUBJECT PROPERTY

General Location: 90 Lilly Lane

Parcel ID Number(s): 222788

Existing Use: The site is currently a residence.

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	PD-SF-2	Residential
East	PD-SF-2	Residential
South	PD-SF-2	Residential
West	PD-SF-2	Residential

Future Land Use Plan: Low Density Residential

Comprehensive Plan:

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Thoroughfare Plan:

The subject property is accessible via Lilly Ln.

Site Image:**PLANNING ANALYSIS**

The applicant seeks to install solar panels on the roof of the single family residence. Per the City of Waxahachie Zoning Ordinance, solar panels are permitted with a Specific Use Permit, and must be installed so that they do not front onto the right-of-way. According to the current site plan submitted by the applicant, there will be no solar panel systems facing the public ROW.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 35 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 08/09/2019.

STAFF CONCERNS

Staff has no outstanding concerns for the applicant.

APPLICANT RESPONSE TO CONCERNS

1. The applicant has addressed all of staff's concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following conditions:

ATTACHED EXHIBITS

1. Site Plan
2. PON Responses
 - a. 1 support | 0 oppose

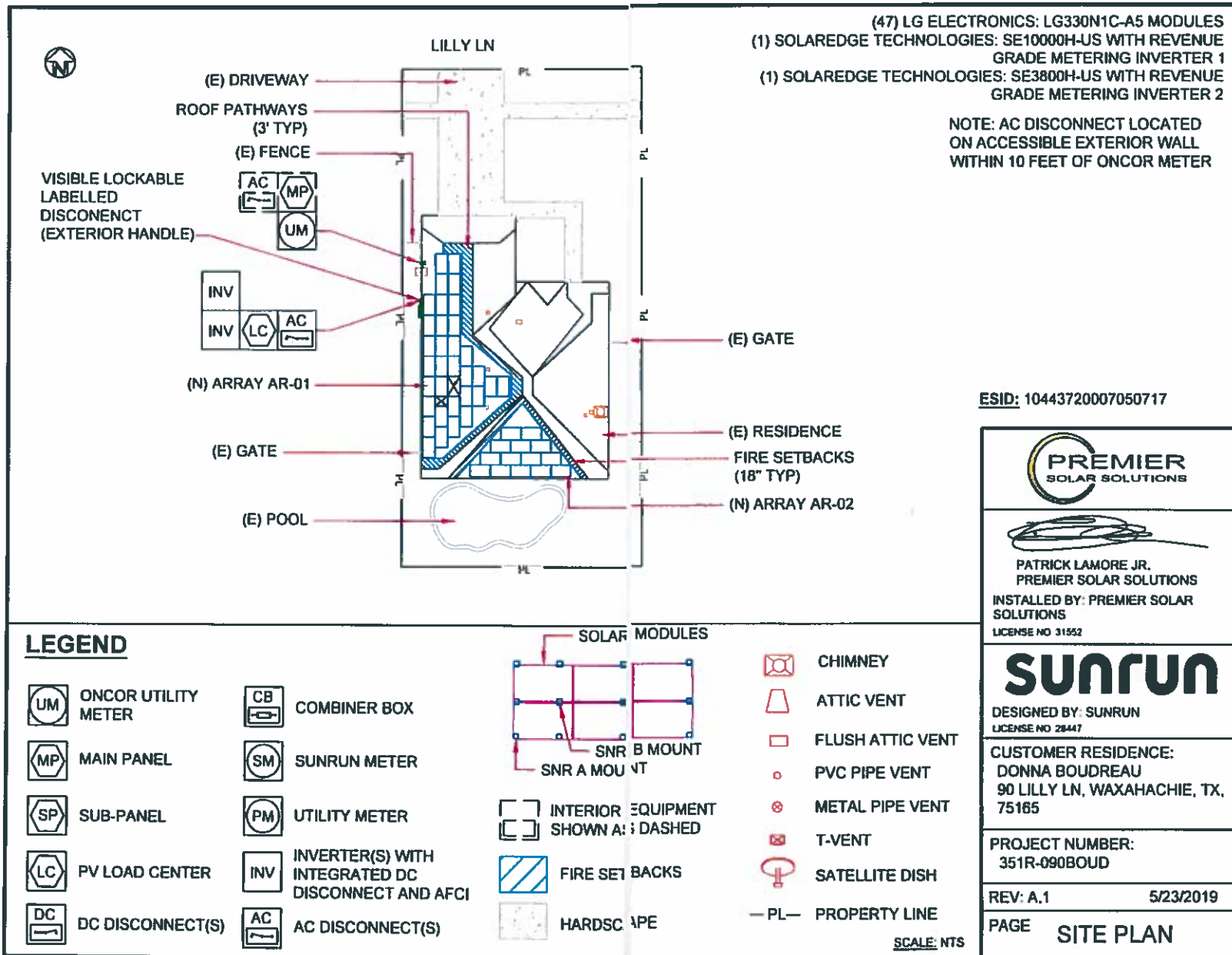
APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



(9)

(9)

Case SU-19-0095

Responses Received Inside Required 200' Notification Area

Support: 1 Oppose: 0

PropertyID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's Suite	Owner's City	Owner's State	Owner's ZIP	Physical Address
222780	HPA TEXAS SUB 2016-2 LLC	0.134	LOT 42 BLK A RIVER OAKS 4 0.134 AC	180 N STETSON	STE 3650	CHICAGO	IL	60601	88 LILLY LN WAXAHACHIE TX 75105
222784	JETT JAMES & CORI	0.152	37 A RIVER OAKS 4 0.152 ACRES	2075 RIVER WOOD DR		Nixa	MO	65714	87 HARDWOOD LN WAXAHACHIE TX 75105
222881	CROCKER JONATHAN D	0.173	14 C RIVER OAKS 4 0.173 ACRES	338 LEISURE LN		WAXAHACHIE	TX	75105	338 LEISURE LN WAXAHACHIE TX 75105
222882	JARAMILLO HUGO & JUANITA R	0.174	LOT 15 BLK C RIVER OAKS 4 0.174 AC	340 LEISURE LN		WAXAHACHIE	TX	75105	340 LEISURE LN WAXAHACHIE TX 75105
222821	JOHNSON ZONDRA L	0.152	23 B RIVER OAKS 4 0.152 ACRES	341 LEISURE LN		WAXAHACHIE	TX	75105	341 LEISURE LN WAXAHACHIE TX 75105
222872	NARVAEZ ARMANDO & MATA BECKY	0.174	16 C RIVER OAKS 4 0.174 ACRES	342 LEISURE LN		WAXAHACHIE	TX	75105	342 LEISURE LN WAXAHACHIE TX 75105
222873	RICHMOND GREGORY & AMY M	0.175	LOT 17 BLK C RIVER OAKS 4 0.175 AC	344 LEISURE LN		WAXAHACHIE	TX	75105	344 LEISURE LN WAXAHACHIE TX 75105
222820	HENDERSON RAYMOND D & BIRDIE	0.149	LOT 22 BLK B RIVER OAKS 4 0.149 AC	346 CREEKSIDE WAY		WAXAHACHIE	TX	75105	346 CREEKSIDE WAY WAXAHACHIE TX 75105
222874	FUGITT JIMMY L & DORA G	0.144	18 C RIVER OAKS 4 0.144 ACRES	348 LEISURE LN		WAXAHACHIE	TX	75105	348 LEISURE LN WAXAHACHIE TX 75105
222875	BUSH KEVIN J & SUSAN M	0.144	19 C RIVER OAKS 4 0.144 ACRES	348 LEISURE LN		WAXAHACHIE	TX	75105	348 LEISURE LN WAXAHACHIE TX 75105
222876	HERNANDEZ VIRGINIA	0.144	20 C RIVER OAKS 4 0.144 ACRES	350 LEISURE LN		WAXAHACHIE	TX	75105	350 LEISURE LN WAXAHACHIE TX 75105
222877	ROJAS PABLO & TANYA M	0.144	21 C RIVER OAKS 4 0.144 ACRES	352 LEISURE LN		WAXAHACHIE	TX	75105	352 LEISURE LN WAXAHACHIE TX 75105
222868	BALLARD JULIE L	0.145	22 C RIVER OAKS 4 0.145 ACRES	354 LEISURE LN		WAXAHACHIE	TX	75105	354 LEISURE LN WAXAHACHIE TX 75105
222867	SHELDS CLAYTON & AMANDA	0.145	LOT 23 BLK C RIVER OAKS 4 0.145 AC	356 LEISURE LN		WAXAHACHIE	TX	75105	356 LEISURE LN WAXAHACHIE TX 75105
208859	JOHNSON ALAN W & DEBORAH L	0.27	LOT 34 BLK 4 RIVER OAKS 3 0.27 AC	407 RIVER OAKS BLVD		WAXAHACHIE	TX	75105	407 RIVER OAKS BLVD WAXAHACHIE TX 75105
208857	SHOTWELL DOUGLAS RAY & REBECCA DIANE	0.3	LOT 33 BLK 4 RIVER OAKS 3 0.3 AC	408 RIVER OAKS BLVD		WAXAHACHIE	TX	75105	408 RIVER OAKS BLVD WAXAHACHIE TX 75105
222862	JONES JAMIE R	0.172	30 C RIVER OAKS 4 0.172 ACRES	411 RIVER OAKS BLVD		WAXAHACHIE	TX	75105	411 RIVER OAKS BLVD WAXAHACHIE TX 75105
222861	HORAK JUSTIN W & RACHEL	0.172	29 C RIVER OAKS 4 0.172 ACRES	413 RIVER OAKS BLVD		WAXAHACHIE	TX	75105	413 RIVER OAKS BLVD WAXAHACHIE TX 75105
222860	JORDAN ROY	0.172	28 C RIVER OAKS 4 0.172 ACRES	415 RIVER OAKS BLVD		WAXAHACHIE	TX	75105	415 RIVER OAKS BLVD WAXAHACHIE TX 75105
222871	HOWARD JUSTIN E & RACHEL D	0.172	LOT 27 BLK C RIVER OAKS 4 0.172 AC	417 RIVER OAKS BLVD		WAXAHACHIE	TX	75105	417 RIVER OAKS BLVD WAXAHACHIE TX 75105
222793	WEST KEITH W & CHRISTINA D	0.187	35 A RIVER OAKS 4 0.187 ACRES	83 HARDWOOD LN		WAXAHACHIE	TX	75105	83 HARDWOOD LN WAXAHACHIE TX 75105
222782	WHITAKER KEVIN	0.28	LOT 44 BLK A RIVER OAKS 4 0.28 AC	83 LILLY LN		WAXAHACHIE	TX	75105	83 LILLY LN WAXAHACHIE TX 75105
222781	CAMPIONE JOHN J & OLIVIA M	0.332	LOT 43 BLK A RIVER OAKS 4 0.332 AC	84 LILLY LN		WAXAHACHIE	TX	75105	84 LILLY LN WAXAHACHIE TX 75105
222794	WILLIAMS MICHAEL W & SHARON D	0.125	LOT 36 BLK A RIVER OAKS 4 0.125 AC	85 HARDWOOD LN		WAXAHACHIE	TX	75105	85 HARDWOOD LN WAXAHACHIE TX 75105
222783	HILL STEVEN D & ANN W	0.239	LOT 45 BLK A RIVER OAKS 4 0.239 AC	85 LILLY LN		WAXAHACHIE	TX	75105	85 LILLY LN WAXAHACHIE TX 75105
222777	PHAN DUNG M	0.136	LOT 50 BLK A RIVER OAKS 4 0.136 AC	85 POST OAK DR		WAXAHACHIE	TX	75105	85 POST OAK DR WAXAHACHIE TX 75105
222764	CHENEY HOLLY A	0.308	LOT 51 BLK A RIVER OAKS 4 0.308 AC	86 POST OAK DR		WAXAHACHIE	TX	75105	86 POST OAK DR WAXAHACHIE TX 75105
222773	DUONG THIEN QUOC	0.138	LOT 48 BLK A RIVER OAKS 4 0.138 AC	87 LILLY LN		WAXAHACHIE	TX	75105	87 LILLY LN WAXAHACHIE TX 75105
222779	LOVELAND GEORGE E & CANDACE	0.151	41 A RIVER OAKS 4 0.151 ACRES	88 LILLY LN		WAXAHACHIE	TX	75105	88 LILLY LN WAXAHACHIE TX 75105
222785	FERMAN MARVIN & DALIA CUELLAR	0.152	LOT 38 BLK A RIVER OAKS 4 0.152 AC	88 HARDWOOD LN		WAXAHACHIE	TX	75105	88 HARDWOOD LN WAXAHACHIE TX 75105
222774	RAMOS JOSE & ADELA	0.15	LOT 47 BLK A RIVER OAKS 4 0.15 AC	89 LILLY LN		WAXAHACHIE	TX	75105	89 LILLY LN WAXAHACHIE TX 75105
222786	ROBINSON BEVERLY K	0.155	LOT 40 BLK A RIVER OAKS 4 0.155 AC	90 LILLY LN		WAXAHACHIE	TX	75105	90 LILLY LN WAXAHACHIE TX 75105
222776	ROBINSON BEVERLY K	0.163	LOT 49 BLK A RIVER OAKS 4 0.163 AC	90 POST OAK DR		WAXAHACHIE	TX	75105	90 POST OAK DR WAXAHACHIE TX 75105
222788	ESPINOSA PATRICK O	0.151	38 A RIVER OAKS 4 0.151 ACRES	91 HARDWOOD LN		WAXAHACHIE	TX	75105	91 HARDWOOD LN WAXAHACHIE TX 75105
222775	HILL VINCENT LEE	0.162	LOT 48 BLK A RIVER OAKS 4 0.162 AC	91 LILLY LN		WAXAHACHIE	TX	75105	91 LILLY LN WAXAHACHIE TX 75105

(9)

RECEIVED
8/21/19

If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: SU-19-0095

City Reference: 222788

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 21, 2019* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE

Comments: _____

R. L. Bowdreau
Signature

8-14-19
Date

Robert L. Bowdreau
Printed Name and Title

90 Lilly Ln
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

(11)

Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0096



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Public Hearing on a request by Stephen Masker, Sunpro Solar, for a Specific Use Permit (SUP) for **Rooftop Solar Panel System** use within a Single Family-2 zoning district, located at 112 Barger Drive (Property ID 172017) – Owner: JUSTIN T WITT (SU-19-0096).

CASE INFORMATION

Applicant: Stephen Masker, Sunpro Solar

Property Owner(s): Justin T Whitt

Site Acreage: 0.298 acres

Current Zoning: Single Family-2

Requested Zoning: SF2 with SUP

SUBJECT PROPERTY

General Location: 112 Barger Drive

Parcel ID Number(s): 172017

Existing Use: Residential

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-2	Residential
East	SF-2	Residential
South	SF-2	Residential
West	SF-2	Residential

Future Land Use Plan: Low Density Residential

(11)

Comprehensive Plan:

This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

Thoroughfare Plan:

The subject property is accessible via Barger Dr.

Site Image:



PLANNING ANALYSIS

The applicant seeks to install solar panels on the roof of the single family residence. Per the City of Waxahachie Zoning Ordinance, solar panels are permitted with a Specific Use Permit, and must be installed so that they do not front onto the right-of-way. According to the current site plan submitted by the applicant, there will be no solar panel systems facing the public ROW.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 30 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 08/09/2019.

STAFF CONCERNS

1. Staff has no outstanding concerns for the applicant.

APPLICANT RESPONSE TO CONCERNS

1. The applicant has addressed all of staff's concerns.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☒ Approval, as presented.
- ☐ Approval, per the following conditions:

ATTACHED EXHIBITS

1. Site Plan.

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Chris Webb
Planner
cwebb@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

Install Map - Justin Witt



NOTE: THIS DESIGN IS NOT ABSOLUTE AND MAY BE SUBJECT TO MINOR ON-SITE REDESIGN DUE TO UNDISCOVERED OBSTRUCTIONS OR SIZE RESTRICTIONS TO BE APPROVED BY THE HOMEOWNER.



Quantity: 28
Panel: LG 335N1C-V5
Inverter: Enphase iQ7-60-2-US



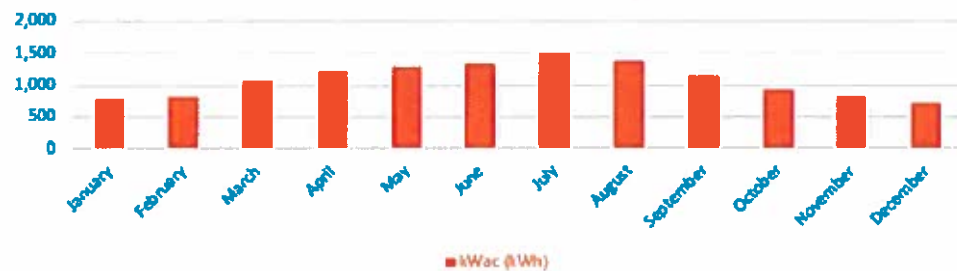
Estimated Energy Savings

Annual Results	12,976	kWh per Year*
	Low	High
Estimated Solar Energy Production (kWh/yr)	12,676	13,276
Estimated Energypro Efficiency Savings (kWh/yr)**	2,000	6,000
Solar + Energypro Estimated Annual Benefit (kWh/yr)	14,676	19,276
Monthly Estimates (kWh/mo)	730	1,480

*The solar energy production provided here is only an estimate and does not take into account any pre-existing shade issues. The final solar energy production guarantee will be issued after the job is complete and based on the shade measurements conducted at the day of installation.

**Results from the energy efficiency work conducted by Energypro are estimates only and cannot be guaranteed as every home utilizes different construction methods.

Estimated Monthly Production



I, _____, APPROVE THE PROPOSED DESIGN AND ESTIMATED* ENERGY SAVINGS FOR MY SOLAR PANEL INSTALLATION.

X _____

MARCJONES
CONSTRUCTION
residential · commercial · solar

SUNPRO
SOLAR HOME SPECIALISTS

112 Barger Drive Waxahachie TX 75165

Install:	9.38 kW Solar Panel System
Jurisdiction:	City of Waxahachie
Utility:	Oncor ESID: 10443720004365451
Designer:	M Williams
Date:	06.20.19 REV: 1 Sheet: 1 of 1

Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0097



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Public Hearing on a request by Sean Neal, TGS Architects, for a Specific Use Permit (SUP) for Drive Through Establishment use within a General Retail zoning district, located at 1905 N Highway 77 (Property ID 262426) – Owner: COMMUNITY NATIONAL BANK & TRUST OF TEXAS (SU-19-0097)

CASE INFORMATION

Applicant: Sean Neal, TGS Architects

Property Owner(s): Community National Bank & Trust of Texas

Site Acreage: 2.4699 acres

Current Zoning: General Retail

Requested Zoning: GR with SUP

SUBJECT PROPERTY

General Location: 1905 N Highway 77

Parcel ID Number(s): 262426

Existing Use: Undeveloped Land

Development History: An Amended Plat for 1R, Block B Victory Park, was approved by staff in 2016.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF-1	Undeveloped Land
East	GR	Undeveloped Land
South	LI-1	Undeveloped Land
West	GR and LI	Undeveloped Land

Future Land Use Plan: Retail

Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

Thoroughfare Plan:

The subject property is accessible via Triumph Ln, North Town Blvd, and Victory Dr.

Site Image:**PLANNING ANALYSIS****Purpose of Request:**

The applicant intends to develop a drive through establishment (bank) along US Highway 77, adjacent from North Grove Blvd. Per the City of Waxahachie Zoning Ordinance, a drive through establishment requires a Specific Use Permit. The Future Land Use Plan (FLUP) designates this area as Retail. The proposed use is consistent with the FLUP.

Proposed Use:

The proposed development includes a 28,502 sq. ft. building that will operate as a bank (8,688 sq. ft.) and office space (19,814 sq. ft.). Per the Operational Plan, operating hour for the bank lobby will be 9am-5pm Monday-Friday and the bank drive-thru will operate 7:30am-6pm Monday-Friday, and 9am-noon on Saturdays.

In addition to the full service bank, the site will consist of professional office spaces for lease. The office spaces will be marketed to professional services such as attorney and real estate offices.

DEVELOPMENT STANDARDS

Table 1 evaluates the dimensional standards for the proposed development.

Table 1: Proposed Development Standards (General Retail)

Standard	GR (City of Waxahachie)	Community National Bank of Texas	Meets Yes/No
Min. Lot Area	7,000 sq. ft.	107,595 sq. ft.	Yes
Min. Lot Width	60 ft.	404 ft.	Yes
Min. Lot Depth	100 ft.	265 ft.	Yes
Front Setback	40 ft.	40 ft.	Yes
Rear Setback	20 ft.	20 ft.	Yes
Side Setback	20 ft; 0 (adjacent to retail)	20 ft.	Yes
Maximum Height	2 Stories	2 Stories	Yes
Max. Lot Coverage	40%	13.29%	Yes

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 9 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 08/09/2019.

EXCEPTIONS AND APPEALS**-Stacking spaces**

Per the City of Waxahachie Zoning Ordinance: For banks and credit unions, each teller window or station, human or mechanical, shall be provided with a minimum of five (5) stacking spaces.

- The applicant is only providing four (4) stacking spaces.

-Street Trees

9 street trees are required along Victory Dr.

- The applicant is only providing seven (7) trees along Victory Dr.

-Landscape Buffer

One (1) large tree per forty (40) L.F.

- Hwy 77: Applicant requests waiver of tree requirement due to utility easement within required landscape buffer.
- Triumph Ln: Applicant requests waiver of tree requirement due to future road widening.
- North Town Blvd: Applicant requests waiver of tree requirement due to required 6 ft. wide sidewalk within the buffer.

STAFF CONCERNS

1. Staff has no outstanding concerns for the applicant.

APPLICANT RESPONSE TO CONCERNS

1. The applicant submitted revisions addressing staff comments.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☐ Denial
- ☐ Approval, as presented.
- ☒ Approval, per the following conditions:
 1. The applicant shall construct the bank with the same building materials shown in the elevation/façade plan.

ATTACHED EXHIBITS

1. Site Plan
2. Elevation/Façade Plan
3. Landscape Plan
4. Operational Plan

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

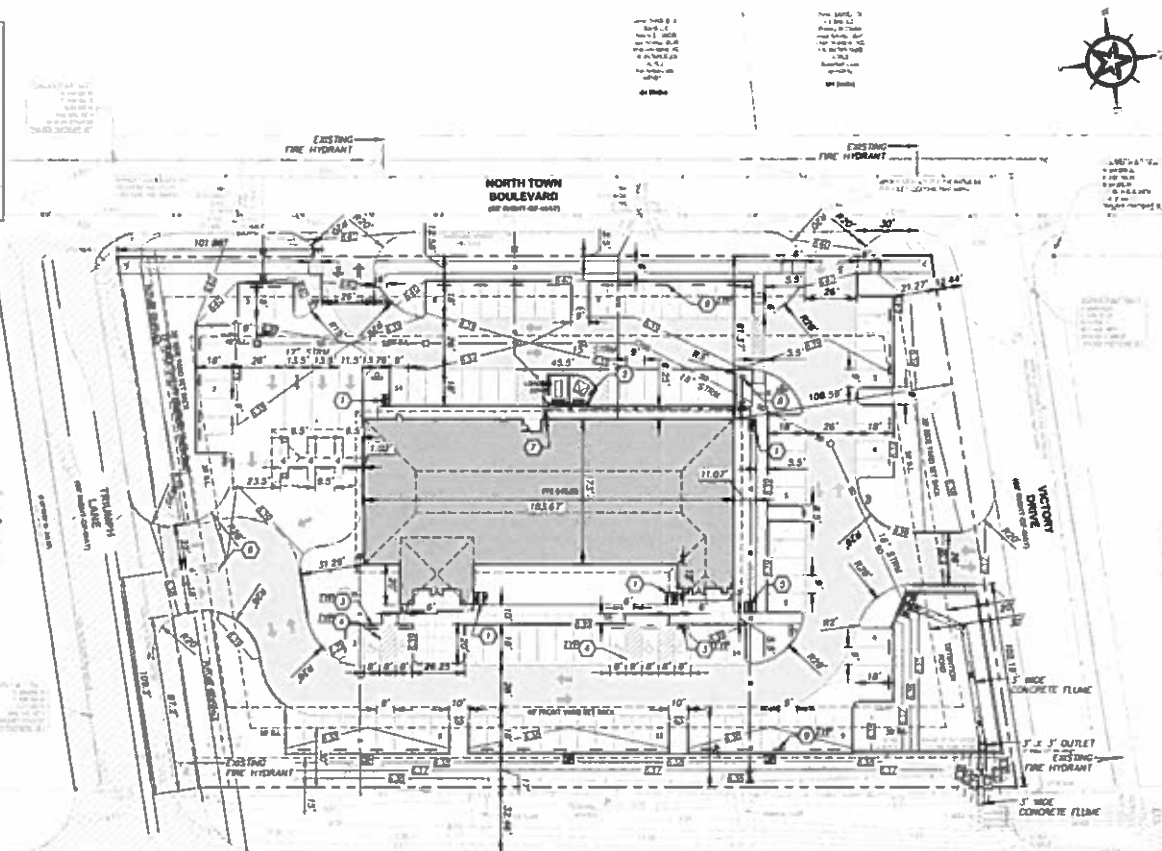
STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com



VICINITY MAP



THIS SITE IS NOT IN A FEMA FLOODPLAIN ACCORDING TO FEMA FLOOD MAP NUMBER 48128C0180F, EFFECTIVE ON 06/03/2013

KEY NOTES

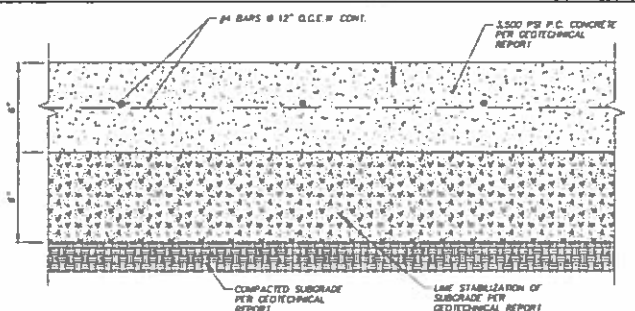
- 1 BICYCLE RACK
- 2 TRASH DUMPSTER AND GENERATOR 18 IN DIA. 8' MAX. 8' HIGH MASONRY WALL ON THREE SIDES. FOURTH SIDE TO BE GATED
- 3 ADA ACCESSIBLE PARKING SIGN
- 4 ADA ACCESSIBLE STOPPING
- 5 DOUBLE DETECTOR CHECK VALVE IN VALVE
- 6 PAINTED MEDIAN STOPPING
- 7 FIRE DEPARTMENT CONNECTION
- 8 FIRE HYDRANT (PROPOSED)
- 9 WHEEL STOP

LEGEND

- 26' MIN FIRELANE
- PROPOSED BUILDING
- PROPOSED FUTURE ROAD IMPROVEMENTS
- POND RETAINING WALL

GENERAL NOTES

1. ALL VEHICULAR PARKING SHALL BE 8" P.C. CONCRETE PER DETAIL THIS SHEET.
2. NO LEFT TURNS TO OR FROM TRIUMPH LANE WILL BE ALLOWED AFTER THE RAISED MEDIAN IS INSTALLED.
3. THERE ARE NO EXISTING IMPROVEMENTS ON PREVIOUS PROPERTY WITHIN 75 FT OF THE SUBJECT PROPERTY.



TYPICAL P.C. CONCRETE PAVEMENT SECTION

U.S. HIGHWAY 77
(proposed, 1/2 mile south of 480)

ACCORDING TO THE CITY OF WAXAHACHIE ZONING MAP, THE HIGHWAY 77 RIGHT OF WAY IS 150 FEET WIDE. THE CITY THOROUGHFARE PLAN REQUIRES 120 FEET OF RIGHT OF WAY. THEREFORE, DEDICATION OF ADDITIONAL RIGHT OF WAY IS NOT REQUIRED.

PROPOSED IMPERVIOUS COVER			
	SQ FT	ACRES	PERCENTAGE
TOTAL SITE PLANNED AREA	30795	0.70	100%
PROPOSED BLDG	1483	0.03	4.8%
PROPOSED DRIVE	688	0.02	2.2%
PROPOSED DRIVE	1248	0.03	4.0%
TOTAL IMPERVIOUS COVER	3299	0.08	10.7%

SETBACKS BY ZONING DISTRICT	
CATEGORY	DISTANCE (FT)
FRONT YARD	30
SIDE YARD	30
REAR YARD	30

SITE DATA	
# OF STORIES	2
ZONING	GR
PROPOSED USE	OFFICE/RETAIL
BLDG HEIGHT TO FINISH	48' 6 1/2"
DATA	1.200 (SQ FT) 1.300 (SQ FT)
OFFICE	1.300 (SQ FT) 1.300 (SQ FT)
TOTAL PEG REQUIRED	1.30

PARKING DATA PROVIDED	
CATEGORY	# OF SPACES PROVIDED
TOTAL PARKING SPACES	130
STANDARD SPACE (9'0" X 18'0")	100
STANDARD ACCESSIBLE SPACE (8'0" X 12'0")	5
STANDARD ACCESSIBLE SPACE (5'0" X 8'0")	5
BICYCLE SPACES	10

BUILDING LINES BY PLAT	
ADJACENT TO	DISTANCE (FT)
NORTH TOWN BOULEVARD	40
TRIUMPH LANE	80
VICTORY DRIVE	80
U.S. HIGHWAY 77	30



SU-19-0097

2.478 ACRES
1 LOT
ZONING: GR
LOT 18, BLOCK "B"
VICTORY PARK
Address: 1905 N HWY 77
CITY: WAXAHACHIE
COUNTY: ELLIS
PREPARED 02/2019



ARCHITECTURE
INTERIORS
PLANNING

5323 SPRING VALLEY ROAD
SUITE 200
DALLAS, TEXAS 75254
972.788.1945
972.788.2369 FAX
Tt:Sarchitects.com



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& TRUST OF
TEXAS

SPECIAL USE PERMIT

1905 N. Hwy 77
Waxahachie, Texas

DATE: 02/17/19
BY: [Signature]
DATE: 02/17/19
BY: [Signature]

TITLE

SITE PLAN

18030

C100

(13)



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ADDRESS DALLAS TEXAS
 ARCH REGISTRATION NO 4527
 DATE SEP 27 1964

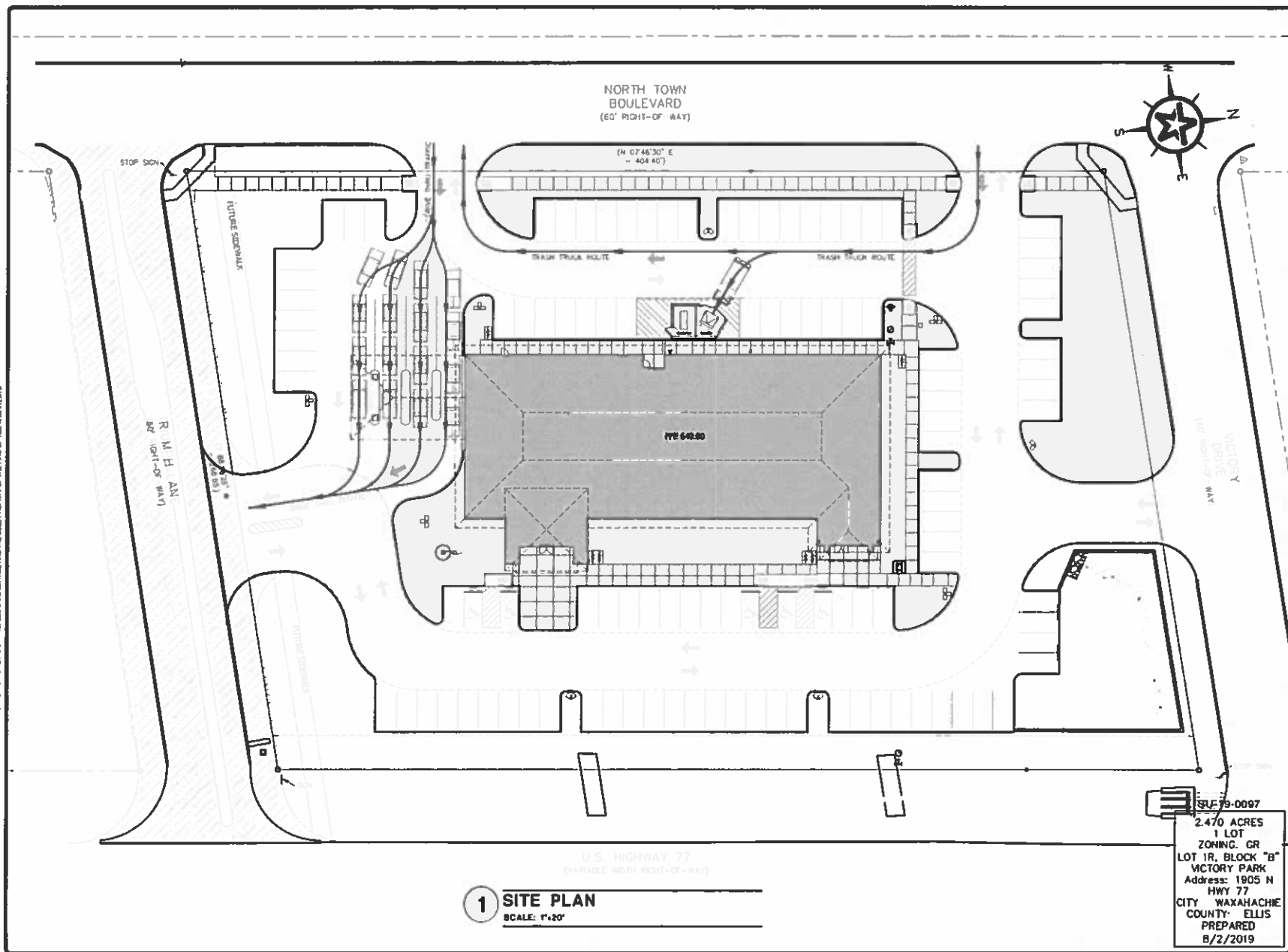
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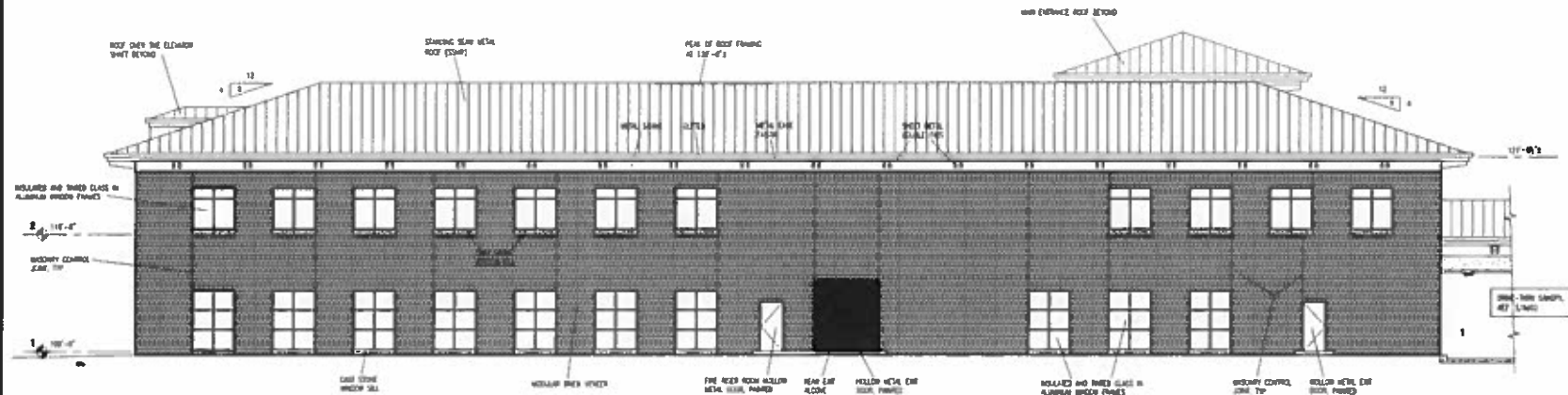
1905 N. Hwy 77
Waxahatche, Texas

Year	Population
1970	1.5
1980	1.5

TITLE
PHOTOMETRIC'S
SITE PLAN

18030
A100

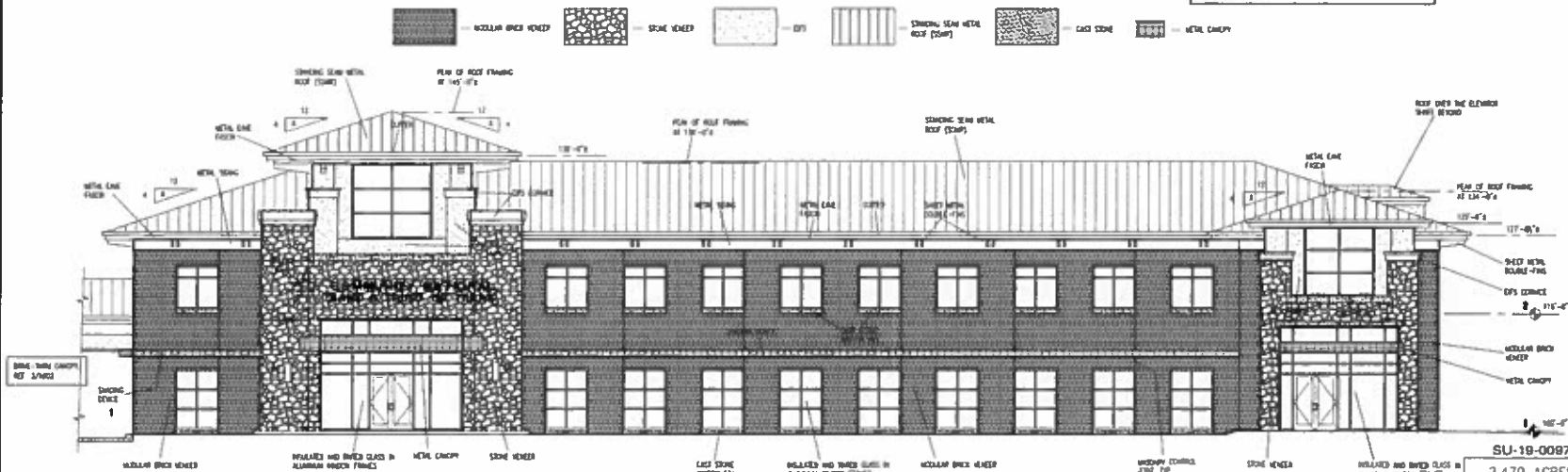




2 WEST BUILDING ELEVATION
SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

MATERIAL TAKE OFF'S
 FORM AREA = 5,078 S.F.
 CLASS/FRAMES = 850 S.F. OTHER MATERIALS = 4,113 S.F.
CITY REQUIRED FOR MASONRY = 9,201 S.F.
 MASONRY PROVIDED = 1,030 S.F.
 CRT = 275 S.F.



1 EAST BUILDING ELEVATION

SCALE: 1/8"=1'-0"

MATERIAL TAKE OFF'S
TOTAL AREA = 5,303 SF
GLASS/FRAMES = 1,897 SF OTHER MATERIALS = 3,606 SF
CITY REQUIRED 90% MASCANY = 3,245 SF
MASCANY PROVIDED = 3,245 SF
EPS = 456 SF

SU-18-0087

2.470 ACRES
1 LOT
ZONING: GR
LOT 1R, BLOCK "B"
VICTORY PARK
Address: 1905 N
HWY 77
CITY: WAXAHACHIE
COUNTY: ELUS
PREPARED
8/2/2019



ARCHITECTURE
INTERIORS
PLANNING

**5323 SPRING VALLEY ROAD
SUITE 200
DALLAS, TEXAS 75254
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972.788.2309 FAX
TGSearchMeets.com**

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ARCH. ARCHIVES/Archives 100

04/27 05:19

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1905 N. Hwy 77
Waxahachie, Texas

07 12 19	2.0
08 03 19	2.0 100% GPS

TITLE
BUILDING
ELEVATIONS

18030

A102



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INTERIORS
PLANNING

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SUITE 200
DALLAS, TEXAS 75254
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PROJECT DALLAS TX 15120

ARCHITECTURE NO. 4527

DATE: 08/27/19

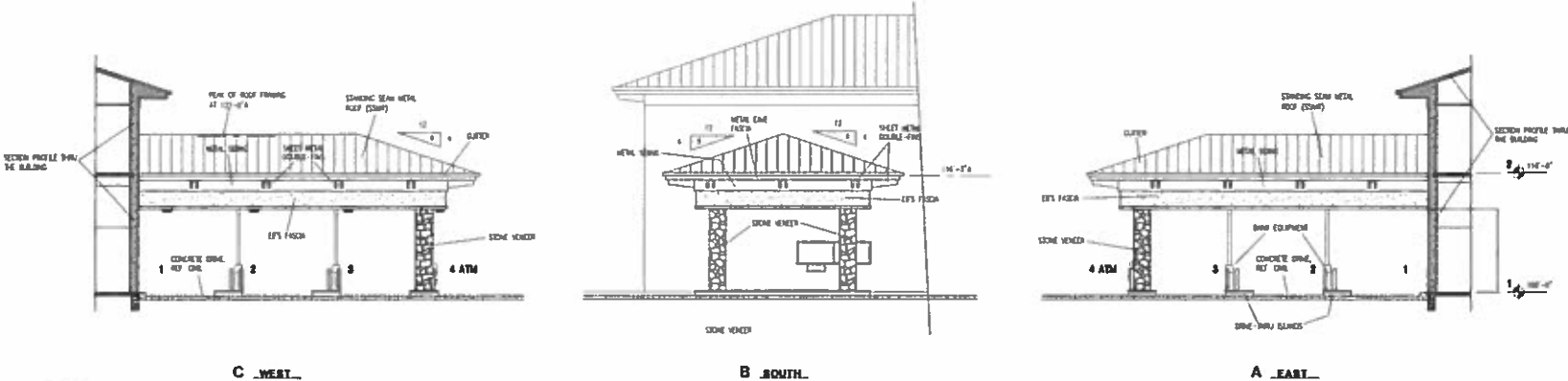
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1905 N. Hwy 77
Waxahachie, Texas

08/27/19 SUP
08/27/19 SUP WMM LPS

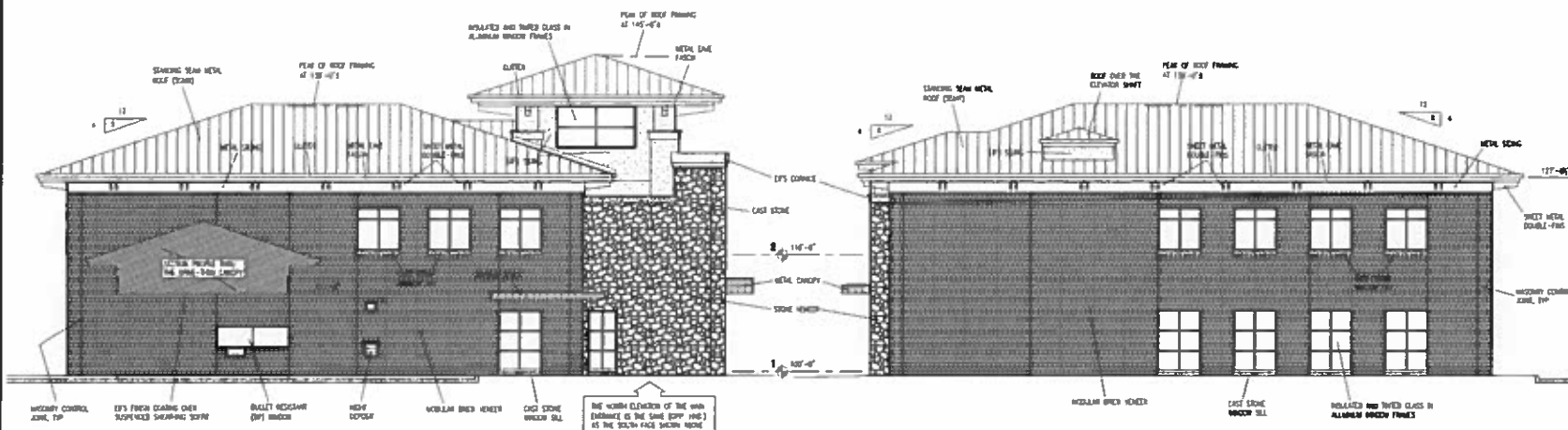
TITLE
BUILDING
ELEVATIONS

PROJECT 18030
SHEET A103



3 DRIVE-THRU CANOPY ELEVATIONS

SCALE: 1/8"=1'-0"



2 SOUTH BUILDING ELEVATION

SCALE: 1/8"=1'-0"

MATERIAL TAKE OFF'S

TOTAL AREA = 2,795 S.F.
GLASS/FRAMES = 240 S.F. OTHER MATERIALS = 2,555 S.F.
CITY ESTIMATED 80% WASTEWATER = 7,261 S.F.
WASTEWATER PROVIDED = 2,254 S.F.
EPS = 291 S.F.

1 NORTH BUILDING ELEVATION

SCALE: 1/8"=1'-0"

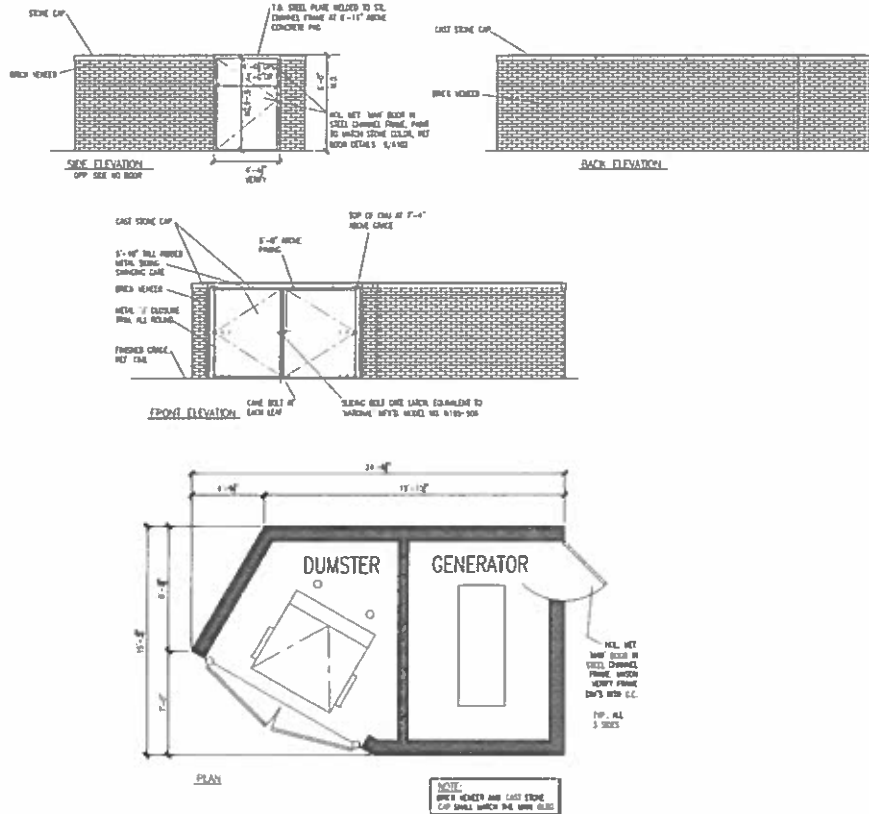
MATERIAL TAKE OFF'S

TOTAL AREA = 2,425 S.F.
GLASS/FRAMES = 352 S.F. OTHER MATERIALS = 2,073 S.F.
CITY ESTIMATED 80% WASTEWATER = 1,865 S.F.
WASTEWATER PROVIDED = 1,814 S.F.
EPS = 199 S.F.

SU-19-0097

2.470 ACRES
1 LOT
ZONING: GR
LOT 1R, BLOCK "B"
VICTORY PARK
Address: 1905 N
HWY 77
CITY: WAXAHACHIE
COUNTY: ELLIS
PREPARED
8/2/2019

(13)



1 DUMPSTER/GENERATOR ENCLOSURE
SCALE: 1/4" = 1'-0"



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ARCHITECT: TGS ARCHITECTS
ARCHITECT: TGS ARCHITECTS
DATE: 08/27/19

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SPECIAL USE PERMIT
1905 N. Hwy 77
Waxahachie, Texas

08/27/19 SLP
08/27/19 SLP

TITLE
PHOTOMETRIC'S
SITE PLAN

18030
A105

SU-18-0097
2.470 ACRES
1 LOT
ZONING: GR
LOT 1R, BLOCK "B"
VICTORY PARK
Address: 1905 N
HWY 77
CITY: WAXAHACHIE
COUNTY: ELLIS
PREPARED
8/2/2019

(13)

PLANT LIST

EST	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
60	20	SHRUBBED RED OAK	Quercus coccinea	18" x 18" x 18"	Native to Texas, 18" x 18" x 18"
61	40	LIVE OAK	Quercus virginiana	18" x 18" x 18"	Native to Texas, 18" x 18" x 18"
62	1	CELANO BLM	Quercus agrifolia	18" x 18" x 18"	Native to Texas, 18" x 18" x 18"
63	30	SHRUBBED RED OAK	Quercus coccinea	18" x 18" x 18"	Native to Texas, 18" x 18" x 18"
64	10	BALD CYPRESS	Taxodium distichum	18" x 18" x 18"	Native to Texas, 18" x 18" x 18"
65	200	SHRUBBED RED OAK	Quercus coccinea	18" x 18" x 18"	Native to Texas, 18" x 18" x 18"

LANDSCAPE REQUIREMENTS

INTERIOR LANDSCAPE

REQUIREMENTS	PROPOSED
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.

PARKING LOT LANDSCAPE

REQUIREMENTS	PROPOSED
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.

BUFFER YARD LANDSCAPE

REQUIREMENTS	PROPOSED
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.

LANDSCAPE BUFFER

REQUIREMENTS	PROPOSED
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.

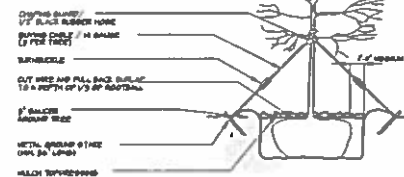
STREET TREES

REQUIREMENTS	PROPOSED
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.
LANDSCAPE AREA TO BE DONE BY DATE 1/1	1,100 sq. ft.

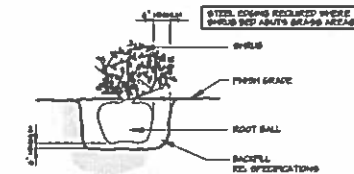
IRRIGATION

See landscape plan for details of irrigation system.

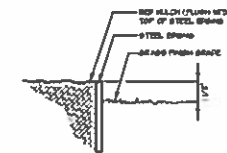
NOTE: THIS DETAIL APPLIES TO ALL TREES 3" CALIPER AND GREATER.



A TREE GUYING DETAIL
SCALE: N.T.S.



B SHRUB PLANTING DETAIL
SCALE: N.T.S.



C STEEL EDGING DETAIL
SCALE: N.T.S.

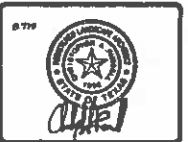
SU-10-0097

2.478 ACRES
1 LOT
ZONING: OR
LOT 18, BLOCK "B"
VICTORY PARK
Address: 1805 N HWY 77
CITY: WAXAHACHIE
COUNTY: ELLIS
PREPARED 02/20/10



ARCHITECTURE
INTERIORS
PLANNING

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SUITE 200
DALLAS, TEXAS 75254
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972.788.2309 FAX
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COMMUNITY
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& TRUST OF
TEXAS
SPECIAL USE PERMIT

1905 N. Hwy 77
Waxahachie, Texas

DATE: 02/20/10
BY: [Signature]
SIGNED: [Signature]
TITLE:

18030
L1.2



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ARCHITECT: DALLAS TEXAS
ARCH. REGISTRATION NO. 5327
DATE: 08/27/19



1 PROJECT RENDERING
SCALE: N.T.S.

SU-19-0097
2.470 ACRES
1 LOT
ZONING: GR
LOT 1R, BLOCK "B"
VICTORY PARK
Address: 1905 N
HWY 77
CITY: WAXAHACHIE
COUNTY: ELLIS
PREPARED
8/2/2019

**COMMUNITY
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TEXAS**
SPECIAL USE PERMIT

1905 N. Hwy 77
Waxahachie, Texas

TITLE
**COLOR
RENDERING**

18030

A104

(13)



COMMUNITY NATIONAL BANK & TRUST OF TEXAS

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Waxahachie Operational Plan

The CNB&T Waxahachie location and building offer the following in terms of daily operations:

- The branch location will be a full service banking center offering loan and deposit products to both individuals and businesses.
- The bank intends to operate a cash-dispensing ATM on site.
- Bank operations will include retail and commercial banking solutions comprised of...
 - o Small business and commercial lending
 - Commercial lines of credit
 - Commercial real estate loans & construction loans
 - Commercial and industrial loans
 - Standby letters of credit
 - Agricultural real estate and crop production loans
 - Equipment financing
 - SBA 7(a) and 504 loans.
 - o Consumer lending products
 - o Mortgage loan offerings
 - o Deposit products
 - Business and personal checking and savings accounts
 - Money market accounts, certificate of deposit accounts and Individual Retirement Accounts.
 - o Proposed hours of operation will be:
 - Lobby: 9a – 5p M-F, Closed on Saturday & Sunday
 - Drive-thru: 730a – 600p M-F, 9a – 12p Saturdays, Closed on Sundays
- Expected peak times for the banking center are:
 - o Lobby: 9a – 5p
 - o Drive-thru: 730a – 900a, 430p – 600p
- In addition to the full service banking location, the site includes professional office space for lease. The lease space will be marketed to professional services businesses such as accountants, attorneys, real estate companies and similar industries.
- It is anticipated that the peak times for the proposed tenants will match very closely with the bank's times.

P.O. Box 624 • Corsicana, TX 75151 • (903) 654-4500

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www.mybanktx.com

Planning & Zoning Department

Zoning Staff Report

Case: SU-19-0099



MEETING DATE(S)

Planning & Zoning Commission: August 27, 2019

City Council: September 3, 2019

CAPTION

Public Hearing on a request by Alec Broadus, Broadus Services LLC, for a Specific Use Permit (SUP) for **Communications Antennas and Support Structures/Towers** use within an Office zoning district, located at 106 Chambers Circle (Property ID 174573) – Owner: DAWSON J & SHIRLEY STAFFORD REVOCABLE TRUST (SU-19-0099)

CASE INFORMATION

Applicant: Alec Broadus, Broadus Services LLC

Property Owner(s): Dawson J & Shirley Stafford Revocable Trust

Site Acreage: 1.096 acres

Current Zoning: Office

Requested Zoning: Office with SUP

SUBJECT PROPERTY

General Location: 106 Chambers Circle

Parcel ID Number(s): 174573

Existing Use: Armstrong McCall Professional Beauty Supply

Development History: N/A

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	C	Undeveloped Land
East	O	Undeveloped Land
South	O	Office Buildings
West	C	Undeveloped Land

Future Land Use Plan: Mixed Use Non-Residential

Comprehensive Plan:

Similar to Mixed Use Residential, land designated with this land use are intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with the remaining 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use.

Thoroughfare Plan:

The subject property is accessible via Chambers Cir.

Site Image:**PLANNING ANALYSIS****Purpose of Request:**

The applicant intends to construct a 165 ft. monopole tower at 106 Chamber Circle, adjacent to Armstrong McCall Professional Beauty Supply (same property). Per the City of Waxahachie Zoning Ordinance, "Antenna/Tower structures in excess of the height allowed in the zoning district may be allowed by Specific Use Permit (SUP)."

Proposed Use:

The applicant intends to construct the 165 ft. monopole tower to provide additional capacity and adequate cell coverage for the surrounding area. At the time of this report (8/21/2019), T-Mobile is the anchor tenant for the proposed monopole tower. The applicant intends to screen the monopole tower with a 6 ft. PVC fence, and shrubs (Red Photinia and Crape Myrtle) along the property.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 9 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Daily Light and a sign was visibly posted at the property on 08/09/2019.

PROPERTY OWNER NOTIFICATIONS

Staff has received two (2) letters of opposition for the proposed development.

STAFF CONCERNS1. **Fall Zone/Setbacks:**

Due to the height of the proposed monopole tower, staff has concerns with the "fall zone" (area that protects the monopole from striking surrounding structures, if the monopole were to collapse) for the area.

2. **Height:**

If approved, the tower will be one of the largest antenna/tower structures within the City of Waxahachie.

APPLICANT RESPONSE TO CONCERNS

1. The applicant submitted a "Certified Fall Letter" to staff stating that the fall radius for the monopole tower is less than or equal to 37.5 ft. *In addition, staff has asked the applicant to provide drawings for the tower that is consistent with the Certified Fall Letter.*
2. The applicant understands staff's concerns regarding the height of the structure. The applicant intends to state his reasoning at the August 27, 2019 Planning and Zoning meeting.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- ☒ Denial
Due to staff concerns, specifically the height of the proposed structure, staff cannot support the proposed development.
- ☐ Approval, as presented.
- ☐ Approval, per the following conditions:

ATTACHED EXHIBITS

1. Site Plan Packet
2. Certified Fall Letter
3. Proposed Tower Location Photos
4. Property Owner Notification Responses

APPLICANT REQUIREMENTS

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION

Prepared by:
Colby Collins
Senior Planner
ccollins@waxahachie.com

Reviewed by:
Shon Brooks, AICP
Director of Planning
sbrooks@waxahachie.com

PROJECT SUMMARY

SITE NAME: WAXAHACHIE
SITE ADDRESS: 106 CHAMBERS CIRCLE
 WAXAHACHIE, TX, 75165
JURISDICTION: CITY OF WAXAHACHIE
COUNTY: ELLIS
ZONING: O
PROPERTY OWNER: STAFFORD DANSON J & SHIRLEY
 TRUST
 29 MOUNTAIN CREST DR
 RUSSELLVILLE, AR 72602-2936
APPLICANT: SBA TOWERS IX LLC,
 8051 CONGRESS AVENUE
 BOCA RATON, FL 33481
 OFFICE: (800) 487-1483
 FAX: (561) 226-2512
SBA CONTACT: PAUL HICKET (561) 981-7406
SITE COORDINATES: 1A
 LATITUDE: 32° 25' 46.246" N (NAD 83)
 LONGITUDE: 96° 50' 32.665" W (NAD 83)
 ELEVATION: 624.4 AMSL (NAVD 88)
PARCEL NUMBER: 174573

SBA

SITE NAME
WAXAHACHIE

SITE ID:
TX22705

EQII ADDRESS
 106 CHAMBERS CIRCLE
 WAXAHACHIE, TX, 75165

PROJECT TYPE
 160' MONOPOLE TOWER
 CONSTRUCTION DRAWINGS

SHEET INDEX

NO.	DESCRIPTION
T-1	TITLE SHEET
T-2	ABBREVIATIONS & SYMBOLS LEGEND
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
LS-1	LAND SURVEY / LEGAL DESCRIPTION
C-1	OVERALL SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	SITE GRADING PLAN
C-4	SITE ELEVATIONS
C-5	SITE DETAILS
C-6	FENCE DETAILS
C-7	RF DATA SHEET
C-8	RF DATA SHEET
C-9	PLUMBING DIAGRAM
C-10	ACCESS DRIVE DETAILS
C-11	ACCESS DRIVE DETAILS
L-1	LANDSCAPING PLAN
L-2	LANDSCAPING NOTES
E-1	UTILITY SITE PLAN
E-2	UTILITY DETAILS
E-3	SINGLE-LINE DIAGRAM
ES-1	GROUNDING PLAN & DETAILS
ES-2	T-MOBILE GROUNDING PLAN & DETAILS
ES-3	GROUNDING DETAILS

SBA

SBA TOWERS IX LLC,
 8051 CONGRESS AVENUE
 BOCA RATON, FL 33487-2797
 TEL: (800) 487-1483

Kimley-Horn

655 NORTH FRANKLIN STREET
 SUITE 150
 TAMPA, FL 33602
 PHONE: (813) 620-1480
 WWW.KIMLEY-HORN.COM

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 OTHER THAN THAT WHICH RELATES
 TO THE CLIENT IS STRICTLY PROHIBITED.

ALL PROJECT #	148415708
DRAWN BY:	DVS
CHECKED BY:	TWO
REV. BY:	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	06/18/19	REVISED FOR COMMENTS
2	07/25/19	REVISED FOR COMMENTS
3	08/23/19	ISSUED FOR REVIEW

NOT FOR
 CONSTRUCTION

SITE NAME:
 WAXAHACHIE

SITE NUMBER:
 TX22705

SITE ADDRESS:
 106 CHAMBERS CIRCLE
 WAXAHACHIE, TX, 75165

DESIGN TYPE:
 RAWLAND

SHEET TITLE:
 TITLE SHEET

SHEET NUMBER:
 T-1

REVISION:
 B

HANDICAPPED REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
 HANDICAP ACCESS NOT REQUIRED.

PLUMBING REQUIREMENTS

FACILITY HAS NO PLUMBERS.

CONSULTING TEAM

ARCHITECTURAL - ENGINEERING FIRM:

KIMLEY-HORN
 655 NORTH FRANKLIN STREET
 SUITE 150
 TAMPA, FL 33602
 CONTACT: TONY DANSON
 PHONE: (813) 620-1480

SURVEYING FIRM:

RFP CONSULTING
 1214 N. STADEN DR.
 TEMPE, AZ 85261
 CONTACT: SURVEY POC
 PHONE: 480-445-4104

UTILITIES INFORMATION

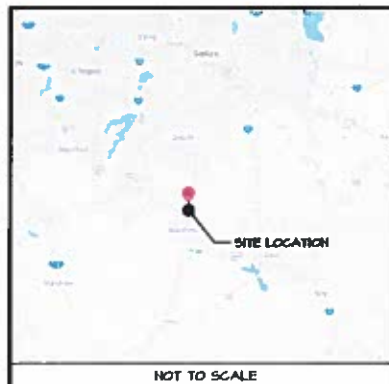
POWER COMPANY:

ONEORE
 CONTACT: ISAAC CAMORILLO
 PHONE: 972-423-4242

SEWER COMPANY:

ATIT
 CONTACT: ROB BARILLA
 PHONE: 972-660-0081

VICINITY MAP



REGIONAL MAP



DRIVING DIRECTIONS

FROM DOWNTOWN DALLAS:

DIRECTIONS: PROCEED FROM TAKE RAMP LEFT FOR I-35E S / US-67 S / US-71 S TOWARD MACO 3.3 MI, KEEP LEFT TO STAY ON I-35E S / US-71 S 14.3 MI, AT EXIT 40B TAKE RAMP RIGHT AND FOLLOW SIGNS FOR S I-35E 0.3 MI, TURN LEFT, AND THEN IMMEDIATELY TURN RIGHT ONTO US-71 / S I-35E 5.1 MI, TURN RIGHT ONTO THCA DR 0.3 MI, TURN RIGHT ONTO CHAMBER CIRCLE 361 FT, ARRIVE AT CHAMBER CIRCLE

SHEET SCALE FACTOR:

PLOT SIZE:
 11"X17" "TO SCALE"
 24"x36": 2X SCALE AS NOTED

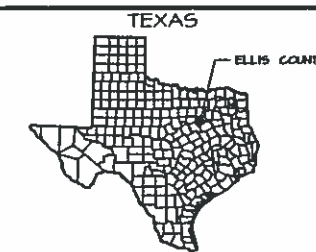


APPROVALS

TITLE	SIGNATURE	DATE
SBA CONST. MSR.		
PROPERTY OWNER:		
PLANNING:		

WE ABOVE SIGNED PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS
 AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION
 DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL
 BUILDING DEPARTMENT AND MAY INCUR CHARGES OR MODIFICATIONS.

STATE COUNTY MAP



ABBREVIATIONS

AB	ANCHOR BOLT	GR	GRADE	SIM	SIMILAR
AC	ASPHALTIC CONCRETE	GYP	GYPSUM	SPECS	SPECIFICATIONS
AC	AIR CONDITIONING	GFCI	GROUND FAULT CIRCUIT	SS	STAINLESS STEEL
ADJ	ADJUSTABLE		INTERRUPT	STL	STEEL
A.F.F.	ABOVE FINISH FLOOR	END	GROUND	STOR	STORAGE
ARCH	ARCHITECTURAL	HC	HOLLOW CORE	STRUCT	STRUCTURAL
APPROX	APPROXIMATELY	HDM	HARDWARE	SUSP	SUSPENDED
A.S.L.	ABOVE GRADE LEVEL	HTR	HEATER	SW	SWITCH
A.M.S.L.	ABOVE MEAN SEA LEVEL	HM	HOLLOW METAL	SWBO	SWITCHBOARD
BD	BOARD	HORIZ	HORIZONTAL	THK	THICK
BLDS	BUILDING	HR	HOUR	TI	TENANT IMPROVEMENT
BLKS	BLOCKING	HT	HEIGHT	TMA	TOWER MOUNTED AMPLIFIER
BOT	BOTTOM	HV	HIGH VOLTAGE	TOS	TOP OF SURFACE
BMT	BASEMENT	ID	INSIDE DIMENSION	TS	TUBE STEEL
BTS	BASE TRANSCIVER	INS	INSULATION	TYP	TYPICAL
	STATION	INT	INTERIOR	U	UNDERGROUND
C	COURSE(S)	JT	JOINT	UNO	UNLESS NOTED
CEM	CEMENT	LAM	LAMINATED	VCT	OTHERWISE
CL	CHAIN LINK	LBS	POUNDS		VINYL
CLS	CEILING	LT	LIGHT		COMPOSITION
CLR	CLEAR	LA	LIGHTNING ARRESTOR		TILE
COL	COLUMN	LNA	LOW NOISE AMPLIFIER	VERT	VERTICAL
CONC	CONCRETE	MFR	MANUFACTURER	V.I.F.	VERIFY IN FIELD
CONST	CONSTRUCTION	MAT	MATERIAL	VS	VERTICAL GRAIN
CONT	CONTINUOUS	MAX	MAXIMUM	W	WITH
CORR	CORRIDOR	MECH	MECHANICAL	WD	WOOD
CO	CONDUIT ONLY	MIN	MINIMUM	WR	WATER RESISTANT
DIA	DIAMETER	MISC	MISCELLANEOUS	WT	WEIGHT
DBL	DOUBLE	ML	METAL LATH	XFMR	TRANSFORMER
DEPT	DEPARTMENT	MO	MASONRY OPENING		AT
DEMO	DEMOLITION	MS	MACHINE SCREW		CHANNEL
DIM	DIMENSION	MTD	MOUNTED		CENTERLINE
DN	DOWN	MTL	METAL		ANGLE
DR	DOOR	(N)	NEW		PROPERTY LINE
DTL	DETAIL	NIC	NOT IN CONTRACT		
DWS	DRAWING	NO	NUMBER		
(E)	EXISTING	NTS	NOT TO SCALE		
EA	EACH	O	OVERHEAD		
ELEC	ELECTRIC	OA	OVERALL		
ELEV	ELEVATION	O.C.	ON CENTER		
EQUIP	EQUIPMENT	OPNS	OPENING		
EXP	EXPANSION	OPP	OPPOSITE		
EXT	EXTERIOR	PARTN	PARTITION		
FA	FIRE ALARM	PL	PLATE		
FB	FLAT BAR	PLAS	PLASTER		
FF	FINISH FLOOR	PLYND	PLYWOOD		
PH	FLAT HEAD	POC	POINT OF CONNECTION		
FIN	FINISHED	PROP	PROPERTY		
FLR	FLOOR	PT	PRESSURE TREATED		
FOS	FACE OF STUDS	R	RISER		
FS	FINISH SURFACE	REQD	REQUIRED		
FT	FOOT, FEET	RD	ROOF DRAIN		
FTG	FOOTING	RM	ROOM		
FW	FINISH WALL	RMS	ROOMS		
F.G.	FINISH GRADE	RO	ROUGH OPENING		
FUT	FUTURE	SC	SOLID CORE		
GA	GAUGE	SCHED	SCHEDULE		
GALV	GALVANIZED	SECT	SECTION		
GL	GLASS	SHT	SHEET		



SYMBOLS:

	SECTION NUMBER		MASONRY
	SHEET NUMBER		BRICK
	BUILDING SECTION REFERENCE		CONCRETE
	DETAIL NUMBER		EARTH
	SHEET NUMBER		STEEL
	DETAIL REFERENCE		GRAVEL
	SECTION NUMBER	----	CENTER LINE
	SHEET NUMBER	----	PROPERTY LINE
	DETAIL SECTION REFERENCE	----	LEASE LINE
	SECTION NUMBER	----	EASEMENT LINE
	SHEET NUMBER	----	RIGHT-OF-WAY
	DETAIL SECTION REFERENCE	-X-X-	CHAIN LINK FENCE
	SECTION NUMBER	-B-B-	WOOD FENCE
	SHEET NUMBER	-S-	SILT FENCE
	DETAIL SECTION REFERENCE	----	BELOW GRADE ELECTRIC
	SECTION NUMBER	----	BELOW GRADE TELEPHONE
	SHEET NUMBER	-----DE/OT-----	OVERHEAD ELECTRIC/TELEPHONE
	DETAIL SECTION REFERENCE	-----UT-----	OVERHEAD TELEPHONE
	SECTION NUMBER	-----LE-----	OVERHEAD ELECTRIC
	SHEET NUMBER	-----ZIG-----	CONTOUR
	DETAIL SECTION REFERENCE	-----O-----	TREE PROTECTION FENCE
	SECTION NUMBER		TREE LINE
	SHEET NUMBER		TREES, SHRUBS, BUSHES
	KEY NOTE REFERENCE	-----SAN-----	SANITARY SEWER LINE
	DOOR NUMBER	-----HL-----	WATER LINE
	AREA AND/OR ROOM NUMBER	-----NS-----	NATURAL GAS LINE
	MECHANICAL UNIT		
	UTILITY POLE		
	WORK POINT		
	REVISION OR CONTROL POINT		
	REFERENCE POINT (ELEVATION)		



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ALL PROJECT #	148418708
DRAWN BY:	DVS
CHECKED BY:	TWD
REV. BY:	DVS

REVISIONS		
NO.	DATE	DESCRIPTION
1	06/15/10	ISSUED FOR CONSTRUCTION
2	07/15/10	REVISED PER COMMENTS
3	08/12/10	ISSUED FOR REVIEW


NOT FOR CONSTRUCTION

SITE NAME:	WAXAHACHIE
SITE NUMBER:	TX22705
SITE ADDRESS:	108 CHAMBERS CIRCLE WAXAHACHIE, TX 75185
DESIGN TYPE:	RAWLAND


SHEET TITLE:	ABBREVIATIONS & SYMBOLS LEGEND
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SHEET NUMBER:	T-2	REVISION:	B
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GENERAL NOTES	STRUCTURAL NOTES	UTILITIES	SBA CONSTRUCTION REQUIREMENTS
<p>1. ALL REFERENCES TO OWNER HEREIN SHALL BE CONSTRUED TO MEAN SBA OR ITS DESIGNATED REPRESENTATIVE.</p> <p>2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.</p> <p>3. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.</p> <p>4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.</p> <p>5. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACINGS, GUTS OR THE DOINGS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.</p> <p>6. ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE TESTING AGENCY PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK. ON THIS PROJECT, ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.</p> <p>7. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.</p> <p>9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.</p> <p>10. ALL PROPOSED CELLULAR EQUIPMENT AND FUTURES SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.</p> <p>11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE RESIDENT LEASING AGENT FOR APPROVAL.</p> <p>12. RADIO EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.</p>	<p>1. DESIGN REQUIREMENTS PER LOCAL BUILDING CODE AND THE IAN/IA-222-6 STRUCTURAL STANDARDS FOR STEEL ANTENNAS TOWERS AND SUPPORTING STRUCTURES.</p> <p>2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF A.I.S.C. SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN INCLUDING THE COMMENTARY AND THE A.I.S.C. CODE OF STANDARD PRACTICE.</p> <p>3. STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36. ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE B. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.</p> <p>4. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D11.46. STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.</p> <p>5. ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.</p> <p>6. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND INFORM OWNER OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.</p> <p>7. ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 308 AND ACI 309 AND SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (30.4 MPa). CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.</p> <p>8. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A63 GRADE 60, DEFORMED BILLET STEEL BARS, WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A63.</p> <p>9. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.</p> <p>10. HOT-DIP GALVANIZE ITEMS SPECIFIED TO BE ZINC-COATED. AFTER FABRICATION WHERE PRACTICAL: GALVANIZING: ASTM A 123, ASTM A 153/A 153M OR ASTM A 653/A 653M 660, AS APPLICABLE.</p> <p>11. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMS TO ASTM A 780 OR BY APPLICATION OF STICK OR PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED, AND REMOVE SLAG FROM WELDS, HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS. IN STICK OR PASTE, SPREAD HOT-TEMPERATURE MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIRE OFF EXCESS MATERIAL.</p> <p>12. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE MANUFACTURER'S SPECIFICATIONS ARE STRICTER.</p>	<p>1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CABLES OR OTHER STRUCTURES ACROSS, UNDERGROUND OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST FITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.</p> <p>2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.</p> <p>3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. FOR GRASED AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.</p> <p>4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.</p> <p>5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE OWNER'S REQUIREMENTS.</p> <p>6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.</p>	<p>1. AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.</p> <p>2. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.</p> <p>3. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATES/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN ITEMS ARE DELAYED OR PUSHED OUT.</p> <p>4. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONCRETE COMPRESSION TESTING AND REQUIRED TO SUBMIT FINAL TEST RESULTS WITH CLOSE-OUT BOOK.</p> <p>5. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.</p> <p>6. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION, AS WELL AS TELCO SERVICE BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC.).</p> <p>7. CONTRACTOR SHALL HAVE A REPRESENTATIVE ON A WEEKLY CONFERENCE CALL TO PROVIDE SBA WITH SITE SPECIFIC UPDATES. CURRENTLY, THIS CONFERENCE CALL IS HELD EACH AND EVERY THURSDAY AT 4 PM (EASTERN TIME).</p> <p>8. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SBA SAFETY INSPECTIONS AT ALL TIMES.</p> <p>9. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.</p> <p>10. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.</p> <p>11. CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING SBA'S REGIONAL SITE MANAGER'S SIGN-OFF/CHECKLIST APPROVAL ON THE SITE).</p> <p>12. CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.</p> <p>13. CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION SCHEDULE, CONSTRUCTION CLOSE-OUT LIST & TOWER HEIGHT VERIFICATION.</p> <p>14. CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.</p> <p>15. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTS.</p> <p>16. CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE SBA TECHNOLOGICAL REPORT PROVIDED BY OWNER.</p>
	<p>PERMITS</p> <p>1. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. (NOT SUPPLIED BY OWNER)</p> <p>2. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDRESSING ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS. (NOT SUPPLIED BY OWNER)</p> <p>3. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE LATEST APPLICABLE CODES AND STANDARDS.</p> <p>4. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.</p> <p>5. CONTRACTOR RESPONSIBLE FOR CLOSING AND FILMS ALL PERMITS ASSOCIATED WITH SITE.</p>	<p>GRADING</p> <p>1. THE CONTRACTOR SHALL REMOVE (DIRT, SCRAP, ETC.) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEN AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REMOVED OR REPLACED.</p> <p>2. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.</p> <p>3. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.</p> <p>4. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.</p>	



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ASS PROJECT #	148419108
DRAWN BY:	DVS
CHECKED BY:	TWD
REV. BY:	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	06/19/18	REVISED PER COMMENTS
2	07/26/18	REVISED PER COMMENTS
3	08/22/18	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

SITE ADDRESS:
106 CHAMBERS CIRCLE
WAXAHACHIE, TX 75185

DESIGN TYPE:
RAWLAND

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER: GN-1	REVISION: B
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(15)

GEOTECHNICAL NOTES

1. THE SITE SHALL BE CLEARED BY MEANS OF REMOVING TREES, TREE STUMPS, SURFACE VEGETATION AND TOPSOIL MATERIALS. ITS RECOMMENDED THAT CLEARING EXTEND AT LEAST 5 FEET BEYOND PLANNED BUILDING AREAS AND AREAS TO RECEIVE COMPACTED FILL. IN PREPARATION FOR FILL PLACEMENT, AREAS SHALL BE LEVELED OUT TO FACILITATE THE PLACEMENT OF FILL IN HORIZONTAL LIFTS. THIS SHALL BE ACHIEVED BY CUTTING INTO THE UPHILL SIDE OF AREAS TO RECEIVE FILL. AREAS TO RECEIVE FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER TO VERIFY THAT THEY ARE IN FIRM RELATIVELY DRY AND SUITABLE FOR FILL PLACEMENT.
2. WITH THE EXCEPTION OF THE UPPER 2 FEET BENEATH PLANNED FOUNDATIONS AND BUILDING PADS, FILL MATERIALS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698). FILL WITHIN THE UPPER 2 FEET BENEATH PLANNED FOUNDATIONS AND BUILDING PADS SHALL BE COMPACTED TO AT LEAST 100% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698).
3. TO ACCOMPLISH THIS, IT IS RECOMMENDED THAT FILL SOIL MOISTURE CONTENTS BE MAINTAINED WITHIN 3 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698). SOILS WITH EXCESSIVE MOISTURE SHALL BE SCARIFIED, DISCED, AND DRIED DURING THE WARMER DRIER MONTHS TO REDUCE THE MOISTURE CONTENT, AND MOISTURE SHALL BE ADDED TO INCREASE THE MOISTURE CONTENT.
4. TO ACHIEVE PROPER COMPACTION, SUITABLE MOISTURE CONDITIONED FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LOOSE LIFTS (6 INCHES LOOSE IF LARGE COMPACTION EQUIPMENT IS USED, 4 INCHES IF SMALLER WALK-BEHIND EQUIPMENT IS TO BE USED). IF SANDY SOILS ARE ENCOUNTERED COMPACTION WITH A HEAVY SHOOT DRUM SHALL BE USED. IF CLAY OR SILT SOILS ARE ENCOUNTERED A SHEEPSFOOT ROLLER SHALL BE MORE EFFECTIVE ACHIEVING COMPACTION.
5. IN-PLACE DENSITY TESTS SHALL BE PERFORMED TO VERIFY COMPACTION OF THE FILL MATERIALS. THESE TESTS ARE GENERALLY PERFORMED AT A FREQUENCY OF ONE TEST PER 2500 SQUARE FEET AND ON EACH FOOT OF FILL BEING PLACED.
6. FOUNDATIONS FOR LIGHTLY LOADED STRUCTURES (E. GENERATORS AND EQUIPMENT SHELTERS) SHALL BE DESIGNED TO BEAR IN THE NEWLY PLACED, COMPACTED FILL. FOUNDATIONS FOR LIGHTLY LOADED STRUCTURES SET IN FILL SHALL BE DESIGNED TO BEAR AT LEAST 2 FEET BELOW THE FINISHED GROUND SURFACE, TO HAVE A MINIMUM FOOTING WIDTH OF 18 INCHES, AND WITH A GROSS ULTIMATE BEARING PRESSURE OF 6000 PSF, PROVIDED THAT FILL MATERIALS ARE VERIFIED AS BEING SUITABLE, AND COMPACTED AS RECOMMENDED IN THESE NOTES.



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TEL: (800) 487-7483

Kimley»Horn

655 NORTH FRANKLIN STREET
SUITE 150
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AGE PROJECT #	144415708
DRAWN BY:	DVB
CHECKED BY:	TWD
REV. 8 BY:	DVB

REVISIONS		
NO.	DATE	DESCRIPTION
1	05/18/10	REVISED PER COMMENTS
2	07/29/10	REVISED PER COMMENTS
3	05/22/10	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME WAXAHACHIE	
SITE NUMBER TX22705	
SITE ADDRESS 108 CHAMBERS CIRCLE WAXAHACHIE, TX 75165	
DESIGN TYPE RAWLAND	
SHEET TITLE GENERAL NOTES	
SHEET NUMBER GN-2	REVISION B

(15)

LESSOR'S LEGAL DESCRIPTION (APRIL 17, 1967)
ALL CERTAIN LOT, TRACT OR PARCEL OF LAND BEING LOT 4 IN BLOCK C OF
LAKEVIEW I AN ADDITION TO THE CITY OF WAXAHATCHIE, ELLIS COUNTY, TEXAS,
ACCORDING TO THE MAP THEREOF RECORDED IN CABINET 8, SLIDE 345, PLAT
RECORDS, ELLIS COUNTY, TEXAS.

LEGEND

- ALUMINUM CAP PULVIN
- CHAMBER LINE FENCE
- CONCRETE
- ELECTRIC METER
- AIR CONDITIONING UNIT
- SLUICING METER
- ELECTRONIC TRANSFORMER
- POWER POLE
- BREAKLINE
- SPOT ELEVATION
- SCHEDULE 4 TRIANGLE
- SCHEDULE 4 HEX
- POSITION OF GEODETIC COORDINATES
- PROPERTY LINE
- EASEMENT LINE
- LEASE LINE
- CHAIN LINE FENCE
- ROAD FENCE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE

SCHEDULE 4 EXCEPTIONS

1. RIGHTS OF PARTIES IN POSSESSION (OWNER'S TITLE POLICY ONLY) (NOT PLOTTABLE)
2. RIGHTS OF TENANTS IN POSSESSION AND UNRECORDED LEASES OR RENTAL AGREEMENTS (NOT PLOTTABLE)
3. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VIOLATION OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. THE "ENCROACHMENT" INCLUDES ENCROACHMENTS OF EXISTING APPROVED MINOR LOCATIONS ON THE LAND ONTO ADJOINING LAND, AND ENCROACHMENTS ONTO THE LAND OF EXISTING IMPROVEMENTS LOCATED ON ADJOINING LAND. THIS EXCEPTION WILL BE CURED UPON RECEIPT AND REVIEW OF A SATISFACTORY CLAIMS SURVEY. THE COMPANY EXPRESSLY RESERVES THE RIGHT TO MAKE SPECIFIC EXCEPTIONS TO ANY ADVERSE MATTERS REFLECTED THEREON (NOT PLOTTABLE)
4. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES AND UNLIMITED RIGHTS, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE 4 OR NOT. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED (NOT PLOTTABLE)
5. THE FOLLOWING, ALL ACCORDING TO PLAT RECORDED IN VOLUME 8, PAGE 348, OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS (NOT PLOTTABLE):
 1. UTILITY EASEMENTS & 30 FOOT ALLEY EASEMENT AND 30 FOOT BUILDING SET BACK LINES FOR RECORD THAT IN VOLUME 8, PAGE 348 OF THE PLAT RECORDS OF ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 2. EASEMENTS TO TEXAS POWER & LIGHT COMPANY RECORDED IN VOL. 301, PG. 188 DEED RECORDS, ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 3. EASEMENT TO BRAZOS ELECTRIC POWER COOP. RECORDED VOL. 804, PG. 484 DEED RECORDS, ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 4. EASEMENT TO CITY OF WAXAHATCHIE RECORDED VOL. 462, PG. 441 DEED RECORDS, ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 5. EASEMENT TO TEXAS COMPANY RECORDED VOL. 172, PG. 188 DEED RECORDS, ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 6. 180' TEXAS POWER & LIGHT COMPANY EASEMENT RECORDED VOL. 484, PG. 521 DEED RECORDS, ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 7. EASEMENT EXERCISED BY TRUCK OF METROPOLITAN DALLAS TO TEXAS ELECTRIC COMPANY, A TEXAS CORPORATION, AND TEXAS GAS COMPANY, A TEXAS CORPORATION, DATED JUNE 12, 1961, FILED JULY 12, 1961, RECORDED IN VOLUME 170, PAGE 372 OF THE REAL PROPERTY RECORDS OF ELLIS COUNTY, TEXAS (NOT PLOTTABLE)
 8. TERMS, PROVISIONS AND CONDITIONS OF A ASSIGNMENT OF LEASE & AGREEMENT BY AND BETWEEN NCHS TEXAS NATIONAL BANK, AS LESSOR AND FEDERAL DEPOSIT INSURANCE CORPORATION, A CORPORATION, AS LESSEE, DATED NOVEMBER 26, 1951, FILED FEBRUARY 16, 1952, RECORDED IN VOLUME 397, PAGE 387 OF THE REAL PROPERTY RECORDS OF ELLIS COUNTY, TEXAS (NOT PLOTTABLE)

SURVEYOR'S NOTES

1. ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NO. 91-100838 EFFECTIVE DATE 8/28/2019
2. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE
3. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY
4. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT ELLIS STATE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR

PROJECT META DATA

1. ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83) ESTABLISHED FROM GPS CONTROL ELEVATION HEIGHTS. ALL VERTICAL DATA IS REPRESENTED CONTRASTING USER SERVICE (FURNISH) SOLUTION FOR THIS SPECIFIC SITE
2. BOUNDARY SHOWN HEREON ARE BASED UPON U.S. STATE PLANE HAZARD COORDINATE SYSTEM TEXAS STATE PLANE COORDINATE ZONE NORTH CENTRAL, DETERMINED BY GPS OBSERVATIONS
3. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 04/27/2019



ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION

A 30 FOOT WIDE STRIP OF LAND BEING A PORTION OF LOT 4 IN BLOCK C OF LAKEVIEW I AN ADDITION TO THE CITY OF WAXAHATCHIE, ELLIS COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN CABINET 8, SLIDE 345, PLAT RECORDS, ELLIS COUNTY, TEXAS 1/1000 WIDE FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCING AT THE EASTERLY MOST CORNER OF SAID LOT 4, THENCE SOUTH 17°24'11" WEST, 238.89 FEET TO THE BEGINNING OF A NON-TANGENT CURVE HAVING A RADIUS OF 50.00 FEET, FROM WHICH THE CENTER BEARS SOUTH 17°25'11" WEST, THENCE WEST ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°49'00", AN ARC LENGTH OF 41.88 FEET TO THE POINT OF BEGINNING.
THENCE SOUTH 52°47'11" WEST, 31.43 FEET TO A POINT HEREIN KNOWN AS POINT "X", THENCE SOUTH 52°47'11" WEST, 81.17 FEET, THENCE SOUTH 25°04'42" EAST, 388.51 FEET TO THE POINT OF TERMINUS.
TOGETHER WITH A 30.00 FOOT WIDE STRIP OF LAND 1/1000 WIDE FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCING AT SAID POINT "X", THENCE SOUTH 31°17'49" EAST, 38.89 FEET TO THE POINT OF TERMINUS

ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION

A PORTION OF LOT 4 IN BLOCK C OF LAKEVIEW I AN ADDITION TO THE CITY OF WAXAHATCHIE, ELLIS COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN CABINET 8, SLIDE 345, PLAT RECORDS, ELLIS COUNTY, TEXAS, MORE PARTICULARLY AS BOUND AS FOLLOWS:
COMMENCING AT THE EASTERLY MOST CORNER OF SAID LOT 4, THENCE SOUTH 17°24'11" WEST, 238.89 FEET TO THE BEGINNING OF A NON-TANGENT CURVE HAVING A RADIUS OF 50.00 FEET, FROM WHICH THE CENTER BEARS SOUTH 17°25'11" WEST, THENCE WEST ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°49'00", AN ARC LENGTH OF 41.88 FEET, THENCE SOUTH 52°47'11" WEST, 81.17 FEET, THENCE SOUTH 25°04'42" EAST, 388.51 FEET TO THE POINT OF BEGINNING.
THENCE NORTH 52°47'11" WEST, 11.34 FEET, THENCE NORTH 89°44'42" EAST, 75.00 FEET, THENCE SOUTH 52°47'11" EAST, 75.00 FEET, THENCE SOUTH 52°47'11" WEST, 75.00 FEET, THENCE NORTH 52°47'11" WEST, 81.17 FEET TO THE POINT OF BEGINNING

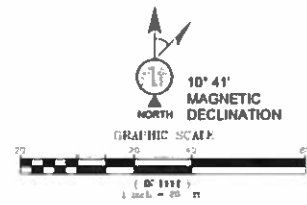
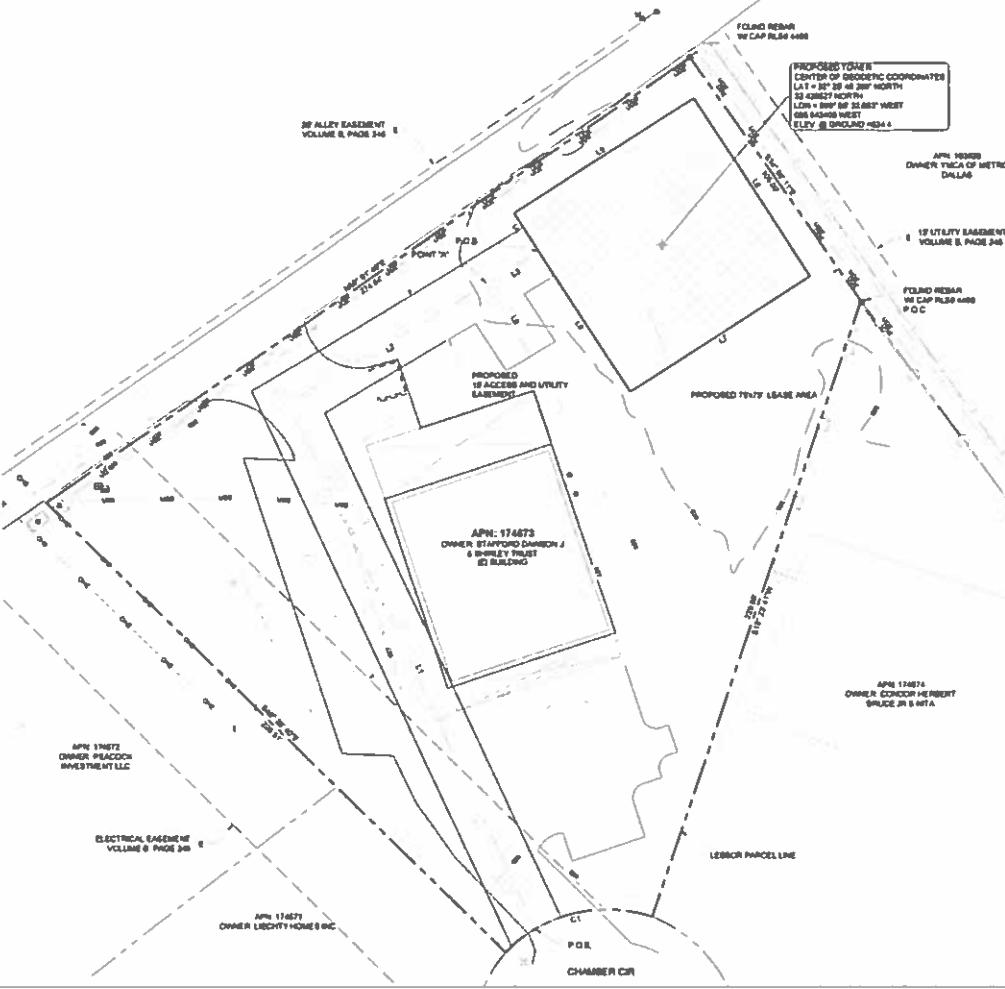
LINE TABLE		
LINE	LENGTH	BEARING
L1	302.61	S27°04'42"E
L2	81.17	S89°47'11"W
L3	21.43	S89°47'11"W
L4	16.04	S27°04'42"E
L5	75.00	N89°44'42"E
L6	75.00	S27°04'42"E
L7	75.00	S89°47'11"W
L8	81.17	S27°04'42"E
L9	20.00	S27°17'49"E

CERTIFICATION

I, TONY A. FLEISHER, PLS. A TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSE NO. 3546, HEREBY CERTIFY TO SAN TOME, ELLIS, A DELAWARE LIMITED LIABILITY COMPANY AND "OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY" THE FOLLOWING:
LATITUDE AND LONGITUDE VALUES FOR THE CENTER OF THE ABOVE REFERENCED TOWER ARE ACCURATE TO WITHIN +/- 10 FEET HORIZONTALLY, AND THAT THE FOLLOWING POWER SITE ELEVATION IS ACCURATE TO WITHIN +/- 1 FEET VERTICALLY

HORIZONTAL DATUM: NAD 83
LATITUDE: 32° 26' 45.59" NORTH
LONGITUDE: 98° 50' 32.99" WEST
VERTICAL DATUM: NAVD 83

THE SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE COMMITMENT NO. 91-100838 ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY WITH AND EFFECTIVE DATE OF "TIME RT EFFECTIVE DATE" WHICH PERFORMED A TITLE SEARCH ON THE LANDS DESCRIBED UNDER ITS SCHEDULE 4 LEGAL DESCRIPTION IS:
THE SURVEYOR KNOWS OF HIS OWN KNOWLEDGE THAT THE LANDS DESCRIBED UNDER SAID SCHEDULE 4 OF THE TITLE COMMITMENT CONTAIN OR INCLUDE THE LANDS DESCRIBED IN THE AND DETECTED ON THIS SURVEY. THE SURVEYOR FURTHER KNOWS OF HIS OWN KNOWLEDGE THAT THE EASEMENTS OF RECORD AND IDENTIFIED UNDER SCHEDULE 4.2 OF SAID TITLE COMMITMENT ENCUMBER THE LANDS DESCRIBED IN SAID SCHEDULE 4 BUT SAID EASEMENTS WILL NOT ENCROACH ON THE LOCATION OF THE PROPOSED LEASE AREAS, TO CLAIMS EASEMENT AREAS, AND OTHER ACCESS OR UTILITY EASEMENTS WITH LANDS SHOWN OTHERWISE ON THE SURVEY SCALED AND DATED "SURVEY SEAL DATE".
A LEICA DISTO 510 WITH REALTIME CORRELATION GPS RECEIVER WAS USED TO PERFORM ALL OR PART OF THIS SURVEY. REAL TIME KINEMATIC (RTK) AND STATIC OR NETWORK GPS WAS USED FOR CENTER POINT LEVEL. CONNECTIONS THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH CURRENT FEDERAL GEODETIC CONTROL STANDARDS



DATE		DATE	DATE	DATE	
CREATED		REVISION	REVISION	REVISION	
1	2019/04/27	1	2019/04/27	1	2019/04/27
2	2019/04/27	2	2019/04/27	2	2019/04/27
3	2019/04/27	3	2019/04/27	3	2019/04/27
4	2019/04/27	4	2019/04/27	4	2019/04/27
5	2019/04/27	5	2019/04/27	5	2019/04/27
6	2019/04/27	6	2019/04/27	6	2019/04/27
7	2019/04/27	7	2019/04/27	7	2019/04/27
8	2019/04/27	8	2019/04/27	8	2019/04/27
9	2019/04/27	9	2019/04/27	9	2019/04/27
10	2019/04/27	10	2019/04/27	10	2019/04/27

SITE#: A
SBA#:
TX-22705-S

WAXAHATCHIE SHOPPING CENTER

106 CHAMBER CIRCLE
WAXAHATCHIE, TX 75395

DRAWN BY	BYG
CHECKED BY	RLP
DATE	04/24/19
PROJECT #	0

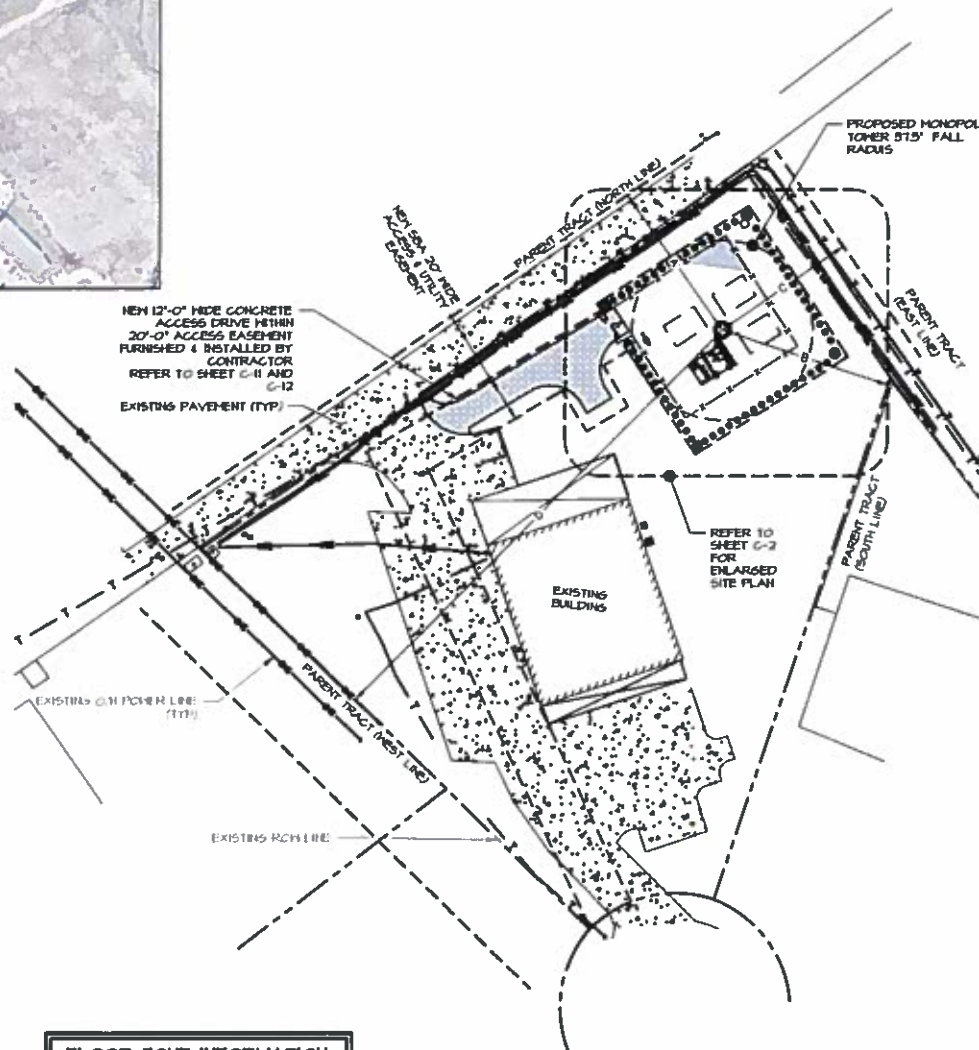
TITLE SHEET

LS-1



AERIAL PLAN
N.T.S.

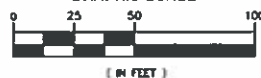
DIRECTION	REQUIRED TOWER SETBACK	PROPOSED TOWER SETBACK
(A) NORTH	N/A	64'
(B) SOUTH	25'	73'
(C) EAST	25'	61'
(D) WEST	25'	216'



FLOOD ZONE INFORMATION:

FLOOD ZONE: X
 PANEL NUMBER: 40134C010F
 EFFECTIVE DATE: 06/03/2013
 FLOOD ELEV: —

GRAPHIC SCALE



NOTES

1. FENCED SITE AREA SHALL BE CLEARED AND GRUBBED. REMOVE UNSUITABLE SOFT OR LOOSE SOILS, ORGANIC MATERIAL AND OR RUBBLE TO FIRM SUBGRADE. FILL UNDERCUT UP TO 6 INCHES BELOW FINISH GRADE.
2. THE CONTRACTOR MUST CONTACT THE SURVEYOR TO STAKE OUT THE LEASE AREA AND ALL EASEMENTS PRIOR TO CONSTRUCTION. ALL FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. IF ANY ARCHAEOLOGICAL MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE CLIENT.
4. THE CONTRACTOR IS TO ENSURE THAT NO DAMAGE OR DEBRIS OCCURS ON THE ADJACENT PROPERTIES.
5. THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS WITH LOW MAINTENANCE NATIVE GRASS AND COVER WITH APPROVED STRAW.
6. UNTIL THE COMPOUND IS SURROUNDED BY A PERMANENT FENCE, THE CONTRACTOR MUST ERECT A TEMPORARY FENCE AROUND THE TOWER AND POST A "NO TRESPASSING" SIGN. ALL CLIPPING PEGS MUST BE REMOVED UP TO 30' UNTIL A PERMANENT FENCE IS INSTALLED.
7. THE CONTRACTOR MUST ENSURE THAT ALL DELIVERY TRUCKS WILL BE ABLE TO DELIVER THE MATERIAL TO THE COMPOUND. IF THE DELIVERY TRUCKS CAN NOT ACCESS THE COMPOUND THEN THE CONTRACTOR MUST MAKE OTHER ARRANGEMENTS TO GET THE MATERIAL TO THE COMPOUND. IF THIS IS REQUIRED THE CONTRACTOR MUST CONTACT KIMLEY-HORN AND ASSOCIATES IMMEDIATELY. NO ADDITIONAL FEES WILL BE PASSED ON TO THE CLIENT.
8. PROPOSED TOWER AND FOUNDATION TO BE INSTALLED IN ACCORDANCE WITH THE TOWER MANUFACTURER PLANS PROVIDED BY CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE UNLOADING OF TOWER MATERIALS DELIVERED TO SITE BY THE TOWER MANUFACTURER.
9. CONTRACTOR MUST REFER TO THE GEOTECH REPORT FOR ALL COMPACTED FILL RECOMMENDATIONS. IF THE GEOTECH REPORT CONFLICTS WITH THE CONSTRUCTION DRAWINGS THEN STOP WORK AND CONTACT THE CLIENT AS SOON AS POSSIBLE.
10. IF IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DOT AND/OR COUNTY SPECIFICATIONS PRIOR TO BID AND CONSTRUCTION. IF THE SPECIFICATIONS DIFFER FROM THE CONSTRUCTION DRAWINGS, THEN THE SPECIFICATIONS WILL GOVERN. NO ADDITIONAL COSTS FOR ADHERING TO THE SPECIFICATIONS WILL BE ALLOWED AFTER THE BID HAS BEEN ISSUED AND ACCEPTED NOR WILL PROJECT DELAYS BE TOLERATED.
11. AT THE TIME THE CONSTRUCTION DRAWINGS WERE COMPLETED, KIMLEY-HORN AND ASSOCIATES DID NOT HAVE A COPY OF THE PROPOSED TOWER MANUFACTURER DRAWINGS. THIS WE DO NOT KNOW THE EXACT SIZE OF THE OVERALL TOWER FOOTPRINT. THE CONTRACTOR MUST COMPARE THE CONSTRUCTION DRAWINGS WITH THE TOWER DRAWINGS PRIOR TO BID AND/OR CONSTRUCTION AND IF THEY FIND ANY DISCREPANCIES OR POSSIBLE ISSUES THEY MUST NOTIFY THE CLIENT IMMEDIATELY.



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 BOCA RATON, FL 33487-2797
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AGE PROJECT #	148619185
DRAWN BY	DVS
CHECKED BY	TWD
REV. BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	06/16/13	REVISED PER COMMENTS
2	07/26/13	REVISED PER COMMENTS
3	05/22/15	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME:

WAXAHACHIE

SITE NUMBER:

TX22705

SITE ADDRESS:

108 CHAMBERS CIRCLE
 WAXAHACHIE, TX 75185

DESIGN TYPE:

RAWLAND

SHEET TITLE:

OVERALL SITE PLAN

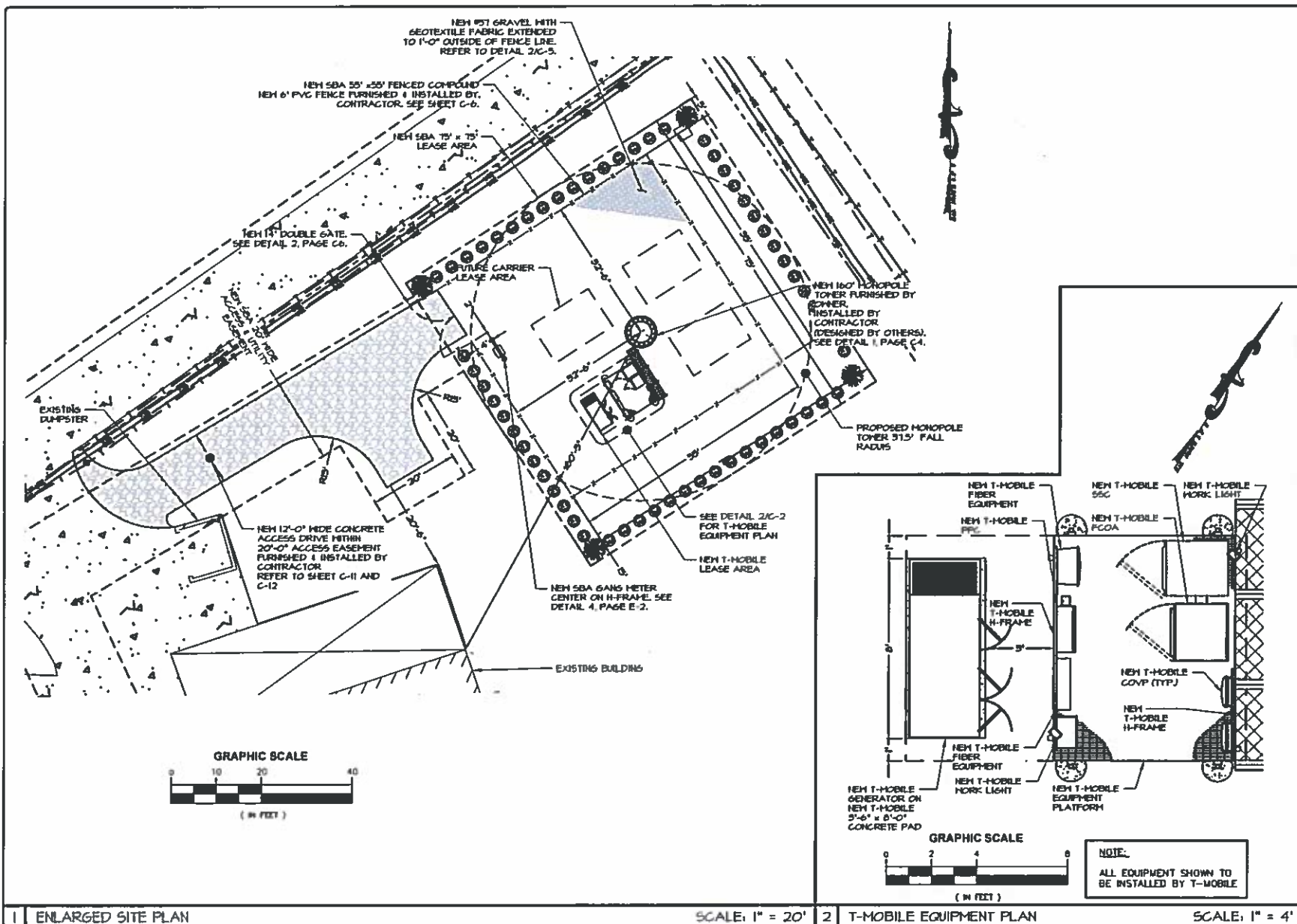
SHEET NUMBER:

C-1

REVISION:

B

(15)



SBA TOWERS IX LLC
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
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DATE PROJECT #	148418108
DRAWN BY:	DVS
CHECKED BY:	TWD
REV. # BY:	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	05/15/11	REVISED PER COMMENTS
2	07/25/11	REVISED PER COMMENTS
3	08/22/11	REVISED PER COMMENTS

NOT FOR CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

SITE ADDRESS:
108 CHAMBERS CIRCLE
WAXAHACHIE, TX, 75185

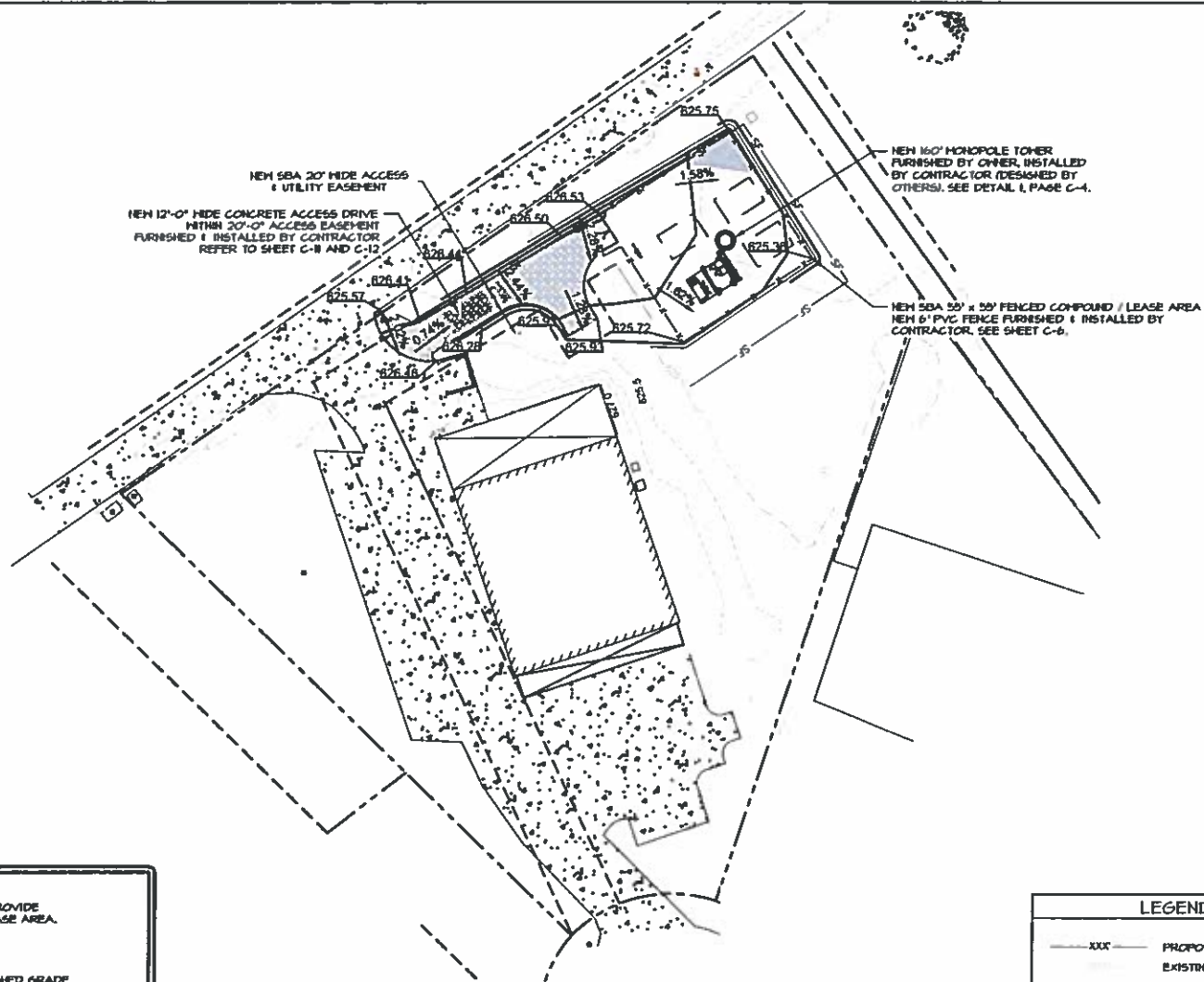
DESIGN TYPE:
RAWLAND

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
C-2

REVISION:
B

(15)



NOTE:

CONTRACTOR REQUIRED TO PROVIDE POSITIVE DRAINAGE "OFF" LEASE AREA.

GRADING NOTES:

1. ALL ELEVATIONS ARE FINISHED GRADE.
2. ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES.
3. PLACE GEOTEXTILE FILTER UNDER COMPOUND.
4. USE HIRACLOSOSOL OR EQUIVALENT. SLOPES 3:1 OR STEEPER MUST BE LINED WITH GEO FABRIC, MRAPI 60 MIL OR EQUIVALENT, AND HEAVY RIP-RAP STONE PLACED ON TOP OF FABRIC TO STABILIZE SLOPE.



LEGEND

---XXX---	PROPOSED CONTOUR LINE
---	EXISTING CONTOUR LINE
---S/F---	PROPOSED SALT FENCE
■ - 125	SPOT ELEVATION
■ - ME	MATCH EXISTING
~	FLOW ARROW
2.00%	SLOPE ARROW



SBA TOWERS IX LLC
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BOCA RATON, FL 33487-2797
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TAMPA, FL 33602
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AGE PROJECT #	148615106
DRAWN BY:	DVS
CHECKED BY:	TWD
REV B BY:	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	06/16/11	REVISED FOR COMMENTS
2	07/26/11	REVISED FOR COMMENTS
3	08/22/11	ISSUED FOR REVIEW

NOT FOR
CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

SITE ADDRESS:
106 CHAMBERS CIRCLE
WAXAHACHIE, TX 75185

DESIGN TYPE:
RAWLAND

SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER:
C-3

REVISION:
B

(15)

NOTE:

NEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELED AREA WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

NEED 4" THICK (MIN) #5T WASHED STONE-SLOPE TO MAINTAIN POSITIVE DRAINAGE. COMPACT TO 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

NEED NEED CONTROL FABRIC, TENCATE MIRAFI MOVEN POLYPROPYLENE HP-350 GEOTEXTILE OR APPROVED EQUIVALENT

SUITABLE UNDISTURBED SUBGRADE. REMOVE ALL ORGANIC OR UNSUITABLE MATERIAL AND COMPACT TO 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

NEED 5" THICK (MIN) ABC (CRUSHER RUN) STONE-SLOPE TO MAINTAIN POSITIVE DRAINAGE. COMPACT TO 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

2 COMPOUND FINISH DETAIL

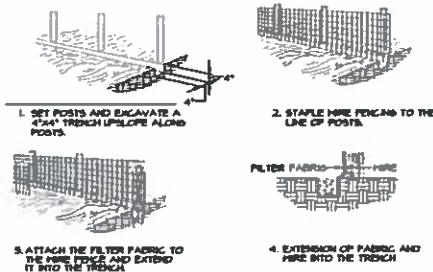
SCALE: N.T.S.

3 SIGN DETAIL

SCALE: N.T.S.

NOTES:

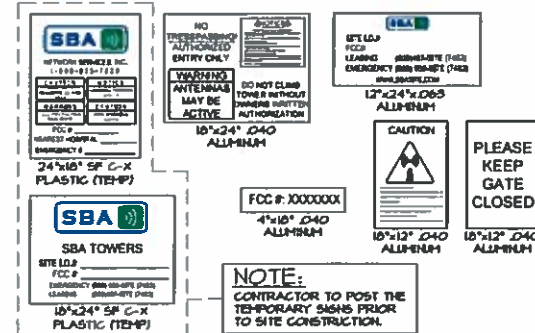
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION. INSTALL SILT FENCE AS SHOWN WHERE ADDITIONALLY REQUIRED FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
- CONTRACTOR SHALL INSPECT INSTALLED EROSION CONTROL DEVICE WEEKLY DURING CONSTRUCTION AND AFTER HEAVY RAINS FOR DAMAGE OR EXCESSIVE SILTATION. MAINTENANCE SHALL INCLUDE CLEANING BUILT-UP SEDIMENT BEHIND THE BARRIERS AND/OR REPLACING DAMAGED SECTIONS.
- THE EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- HAY BALES SHALL NOT BE USED AS EROSION CONTROL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES FOR CONSTRUCTION TO PREVENT THE DIVERSION OF SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.
- CONTRACTOR SHALL PREVENT TRACKING OF SEDIMENT OUTSIDE OF CONSTRUCTION LIMITS. THIS MAY REQUIRE CLEANING AND/OR WASHING OF DEBRIS AND SEDIMENT FROM ALL VEHICLES PRIOR TO EXITING THE SITE. ANY SEDIMENT DEPOSITED ON THE ROADWAY SHALL BE SWEEP AS NECESSARY THROUGHOUT THE DAY OR AT THE END OF EVERY DAY AND DISPOSED OF IN AN APPROPRIATE MANNER. SEDIMENT SHALL NOT BE WASHED INTO STORM SEWER SYSTEMS.
- ANY DEBRIS AND/OR SEDIMENT EXITING THE SITE DUE TO TRACKING OR FAILURE OF A SITE BMP SHALL BE CLEANED IMMEDIATELY BY THE CONTRACTOR BY A METHOD OTHER THAN MUCKING. CONTRACTOR SHALL ALSO IMMEDIATELY REPAIR ANY BMPs THAT HAVE FAILED AND/OR INSTALL ADDITIONAL BMPs TO ENSURE SEDIMENT DOES NOT LEAVE THE SITE.



SILT FENCE

1 EROSION CONTROL DETAIL

SCALE: N.T.S.



SBA TOWERS II LLC
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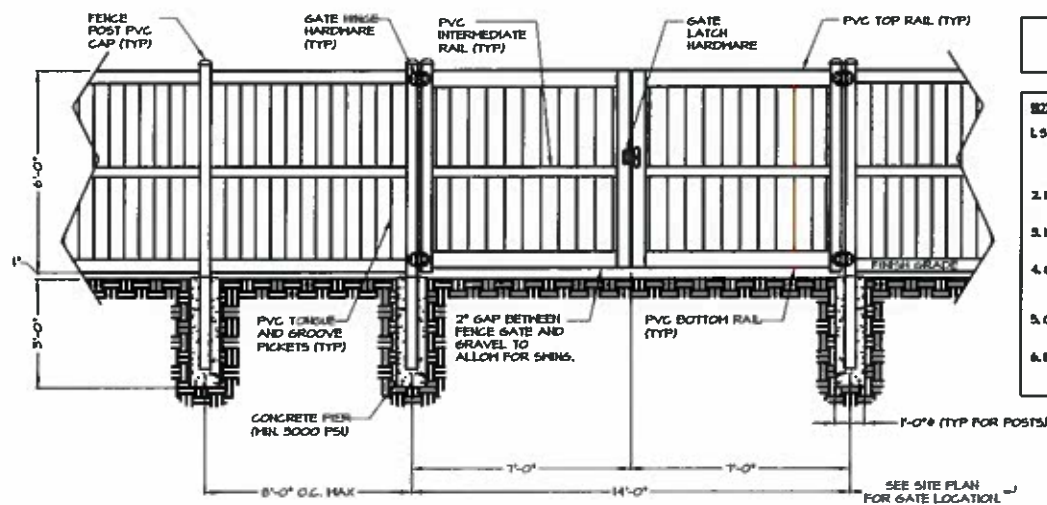
ASE PROJECT #	148415181
DRAWN BY:	DVS
CHECKED BY:	TWD
REV. # BY:	DVS

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/18/18	REVISED PER COMMENTS
2	07/25/18	REVISED PER COMMENTS
3	05/22/18	REVISED PER COMMENTS
4	05/22/18	REVISED PER COMMENTS

NOT FOR CONSTRUCTION

SITE NAME	
WAXAHACHIE	
SITE NUMBER	
TX22705	
SITE ADDRESS	
108 CHAMBERS CIRCLE WAXAHACHIE, TX 75165	
DESIGN TYPE	
RAWLAND	
SHEET TITLE	
SITE DETAILS	
SHEET NUMBER	REVISION
C-5	B

(15)



DETAIL SHOWN FOR REFERENCE ONLY. CONTRACTOR MUST VERIFY ALL PVC FENCE MATERIAL AND INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NOTES:

1. STANDARD FENCE SECTION AND GATES ARE DESIGNED FOR LEVEL GROUND. SIGNIFICANT SLOPES IN THE TERRAIN WILL NECESSITATE MODIFICATIONS TO PANEL SITS, GATE SITS, AND POSTS.
2. DURING INSTALLATION, WORK ON A SOFT, NON-ABRASIVE SURFACE TO AVOID SCRATCHING THE PVC.
3. WHEN CUTTING THE PVC COMPONENTS WITH A POWER SAW, USE A FINE TOOTHED BLADE.
4. ONCE INSTALLATION IS COMPLETE, THE CONTRACTOR MUST CLEAN PVC MATERIAL WITH A NON-ABRASIVE SOAP AND SOFT PAPER TOWELS.
5. CONTRACTOR MUST REPLACE ANY SECTION OF FENCE THAT IS SCRATCHED OR DAMAGED.
6. PROPOSED FENCE MUST MEET ALL LOCAL AND GOVERNING MHD CODES.



SBA TOWERS IX LLC,
8001 CONGRESS AVENUE
BOCA RATON, FL 33487-2787
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SUITE 150
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PHONE (813) 620-1460
WWW.KIMLEY-HORN.COM

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ALL PROJECT #	140418195
DRAWN BY	DVS
CHECKED BY	TMD
REV. BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	06/18/19	REVISED FOR COMMENTS
2	07/29/19	REVISED FOR COMMENTS
3	05/22/18	ISSUED FOR REVIEW

NOT FOR
CONSTRUCTION

SITE NAME	WAXAHACHIE
SITE NUMBER	TX22705
SITE ADDRESS	106 CHAMBERS CIRCLE WAXAHACHIE, TX 75165
DESIGN TYPE	RAWLAND
SHEET TITLE	FENCE DETAILS

SHEET NUMBER:	REVISION
C-6	B

(15)

2/1/2019

DA02368C_Cell Split_0.1_draft_2019-02-01

RAN Template: 6790R_SR_4Sec
 AAL Template: 6790R_SR_4Sec
 Power System Template: Custom

DA02368C_Cell Split_0.1_draft

Section 1 - Site Information

Site ID: DA02368C
 Status: Draft
 Version: 0.1
 Project Type: Cell Split
 Approved: Not Approved
 Approved By: Not Approved
 Last Modified: 2/1/2019 5:22:33 PM
 Last Modified By: GSM1900VShan17

Site Name: DA02368C
 Site Class: <undefined>
 Site Type: <undefined>
 Plan Year: 2018
 Market: DALLAS TX
 Vendor: Nokia
 Location: Not Specified

Latitude: 32.429607000
 Longitude: -95.8424110000
 Address: 1679 N Highway 77
 City, State: Waxahachie, TX
 Region: SOUTH

RAN Template: 6790R_SR_4Sec

AAL Template: 6790R_SR_4Sec

Sector Count: 4

Antenna Count: 8

Cable Line Count: 0

TMA Count: 0

RRU Count: 5

Section 2 - Existing Template Images

— This section is intentionally blank. —

Section 5 - RAN Equipment

Existing RAN Equipment

— This section is intentionally blank. —

Proposed RAN Equipment

Template: 6790R_SR_4Sec

Enclosures	1	2	3	4
Enclosures Type	Generic Cabinet	Tower Top Mount	Ancillary Equipment	Generic Site Support Cabinet
Baseband	FSMF (G1900) ASIA L2100 L1900 L1700 L600 (DARK) ABA L1700 L600 (DARK) ASIK L2100 (DARK) L1900 (DARK) ABIL L1900 (DARK)			
Baseband Subrack	AMOB (x2)			
Hybrid Cable System		15' HCS 2.0 Jumper Cable - 10AWG 2PR Aircore (x12)	Nokia HCS 2.0 Trunk "Select Length"	
Junction Box			Nokia HCS 2.0 Tower Junction Box	
Power subsystem				Batteries "Select size" Breakers "Select size" Rackless Shelf "Select size"
Radio		AHEIDA (x4) L1700 L600 (DARK) L1900 (DARK)	AHFIB (x4) L2100 L1900 G1900	
Transport System				CSR T210 SAS-Max

RAN Scope of Work:

2/1/2019 V0.1 Hybrid jumper cable length to be finalized during CD review

NOTE:

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AGE PROJECT #	14841508
DRAWN BY	DVS
CHECKED BY	TWO
REV. & BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	05/15/15	REVISED PER COMMENTS
2	07/25/15	REVISED PER COMMENTS
3	05/22/15	ISSUED FOR PERMIT

NOT FOR
CONSTRUCTION

SITE NAME:
WAXAHACHIE
 SITE NUMBER:
TX22705
 SITE ADDRESS:
 108 CHAMBERS CIRCLE
 WAXAHACHIE, TX, 75185
 DESIGN TYPE:
RAWLAND

SHEET TITLE:
RF DATA SHEET

SHEET NUMBER:
C-7
 REVISION:
B

(15)

Sector 1 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro			
Antenna	1		2	
Antenna Model	Corvuscope - FT-65C-R1 (Quad)		Andrew - HBBX-6517DS-A2M (Quad)	
Azimuth	(350)		(350)	
M. Tilt	(0)		(0)	
Height	(180)		(190)	
Ports	P1	P2	P3	P4
Active Tech.	(L700)	(L700)	(L2100) (L1900) (G1900)	(L2100) (L1900) (G1900)
Dark Tech.	(L800) (H800)	(L800) (H800)		
Reconstructed Tech.				
Discontin. Tech.				
E. Tilt				
Cables				
TMA's				
Diplomats / Combibars				
Radio				
Sealer Equipment				

Sector 2 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro			
Antenna	1		2	
Antenna Model	Corvuscope - FT-65C-R1 (Quad)		Andrew - HBBX-6517DS-A2M (Quad)	
Azimuth	(80)		(80)	
M. Tilt	(0)		(0)	
Height	(190)		(190)	
Ports	P1	P2	P3	P4
Active Tech.	(L700)	(L700)	(L2100) (L1900) (G1900)	(L2100) (L1900) (G1900)
Dark Tech.	(L800) (H800)	(L800) (H800)		
Reconstructed Tech.				
Discontin. Tech.				
E. Tilt				
Cables				
TMA's				
Diplomats / Combibars				
Radio				
Sealer Equipment				

Sector 3 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro			
Antenna	1		2	
Antenna Model	Corvuscope - FT-65C-R1 (Quad)		Andrew - HBBX-6517DS-A2M (Quad)	
Azimuth	(150)		(150)	
M. Tilt	(0)		(0)	
Height	(150)		(150)	
Ports	P1	P2	P3	P4
Active Tech.	(L700)	(L700)	(L2100) (L1900) (G1900)	(L2100) (L1900) (G1900)
Dark Tech.	(L800) (H800)	(L800) (H800)		
Reconstructed Tech.				
Discontin. Tech.				
E. Tilt				
Cables				
TMA's				
Diplomats / Combibars				
Radio				
Sealer Equipment				

Sector 4 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro			
Antenna	1		2	
Antenna Model	Corvuscope - FT-65C-R1 (Quad)		Andrew - HBBX-6517DS-A2M (Quad)	
Azimuth	(250)		(250)	
M. Tilt	(0)		(0)	
Height	(190)		(190)	
Ports	P1	P2	P3	P4
Active Tech.	(L700)	(L700)	(L2100) (L1900) (G1900)	(L2100) (L1900) (G1900)
Dark Tech.	(L800) (H800)	(L800) (H800)		
Reconstructed Tech.				
Discontin. Tech.				
E. Tilt				
Cables				
TMA's				
Diplomats / Combibars				
Radio				
Sealer Equipment				

NOTE:
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ADD PROJECT # 14841908
DRAWN BY DVS
CHECKED BY TWD
REV # BY DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	02/18/15	REVISED PER COMMENTS
2	07/25/15	REVISED PER COMMENTS
3	05/22/15	REVISED PER COMMENTS

NOT FOR CONSTRUCTION

SITE NAME:

WAXAHACHIE

SITE NUMBER:

TX22705

SITE ADDRESS:

109 CHAMBERS CIRCLE
WAXAHACHIE, TX 75165

DESIGN TYPE:

RAWLAND

SHEET TITLE:

RF DATA SHEET

SHEET NUMBER:

C-8

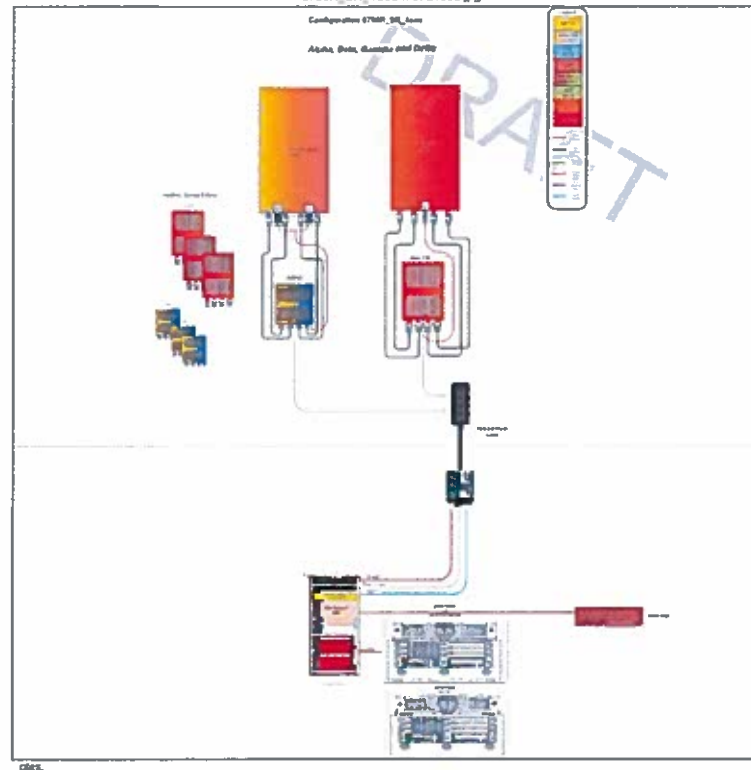
REVISION

B

(15)

DA02368C_Cell Split_0.1_draft_2019-02-01

6790R SR 45Sec with L1900.jpg



0483

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AGE PROJECT #	140419103
DRAWN BY:	DVS
CHECKED BY:	TWO
REV 0 BY	[DVS]

REVISIONS		
▲	06/19/19	REVISED PER COMMENTS
▲	07/29/19	REVISED PER COMMENTS
▲	08/22/19	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION

NOT FOR
CONSTRUCTION

SITE NAME
WAXAHACHIE

DATE NUMBER TX22705

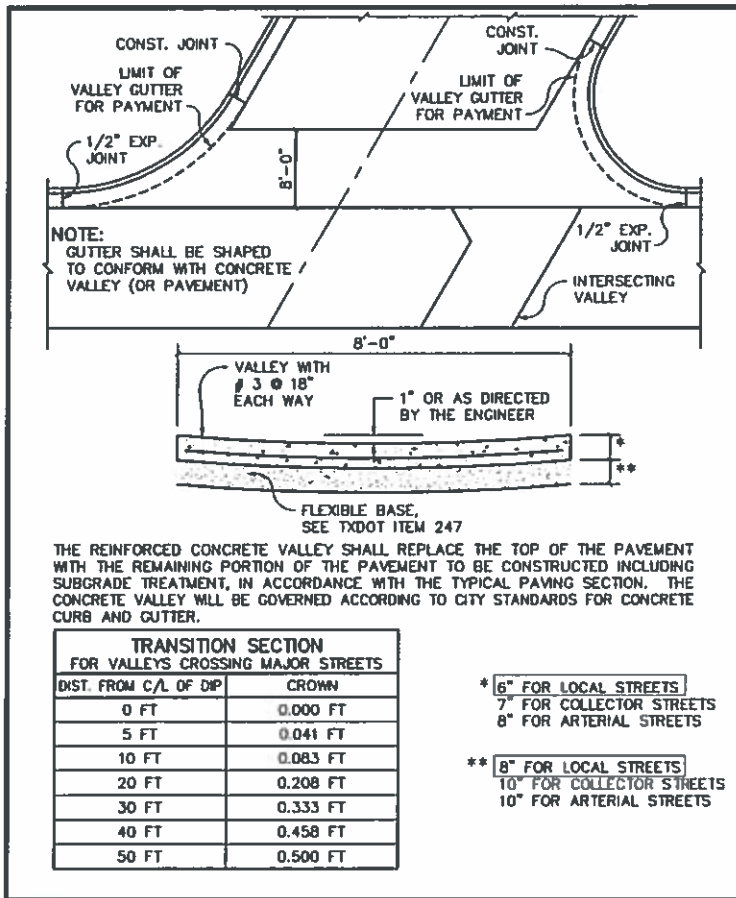
WTE ADDRESS:
106 CHAMBERS CIRCLE
WAXAHACHE, TX, 75165

DESIGN TYPE	RAWLAND
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PLUMBING DIAGRAM

SHEET NUMBER: C-9	REVISION B
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(15)



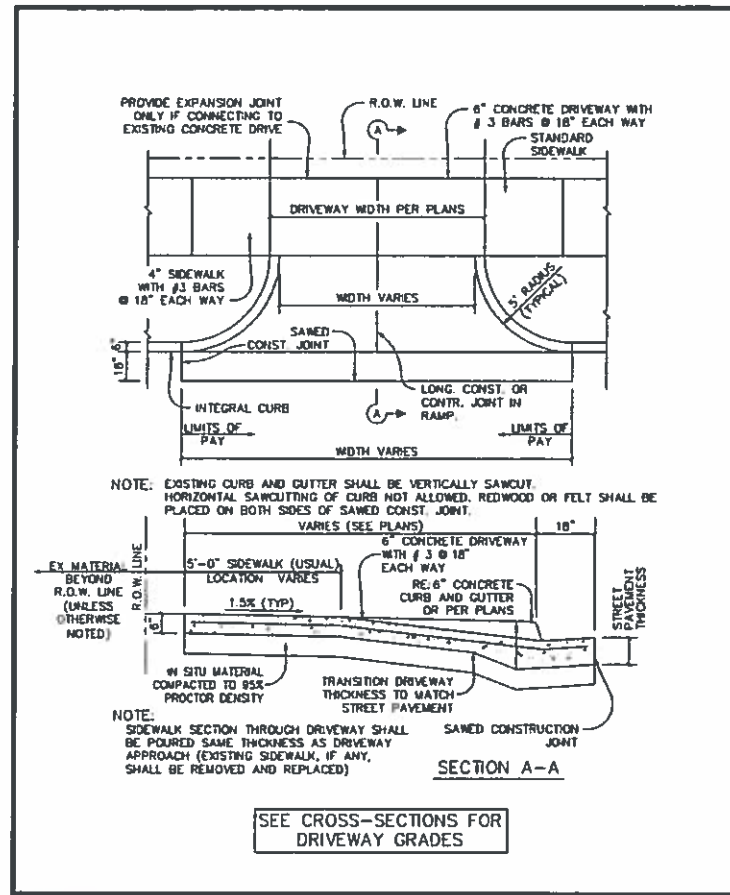
STANDARD CONSTRUCTION DETAIL

VALLEY GUTTER

SCALE: 1"=1'-0"

REVISED: MAR 2013

P2



STANDARD CONSTRUCTION DETAIL

RESIDENTIAL DRIVEWAY

SCALE: N.T.S.

REVISED: MAY 2013

P3

NOTE:

PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIREMENTS WITH ALL GOVERNING JURISDICTIONS.

SCALE: N.T.S.



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ADD PROJECT #	100415106
DRAWN BY:	DVB
CHECKED BY:	TWD
REV. & BY:	DVB

REVISIONS

NO.	DATE	DESCRIPTION
1	04/15/15	REVISED PER COMMENTS
2	07/22/15	REVISED PER COMMENTS
3	10/22/15	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME:

WAXAHACHIE

SITE NUMBER:

TX22705

SITE ADDRESS:

108 CHAMBERS CIRCLE
WAXAHACHIE, TX 75105

DESIGN TYPE:

RAWLAND

SHEET TITLE:

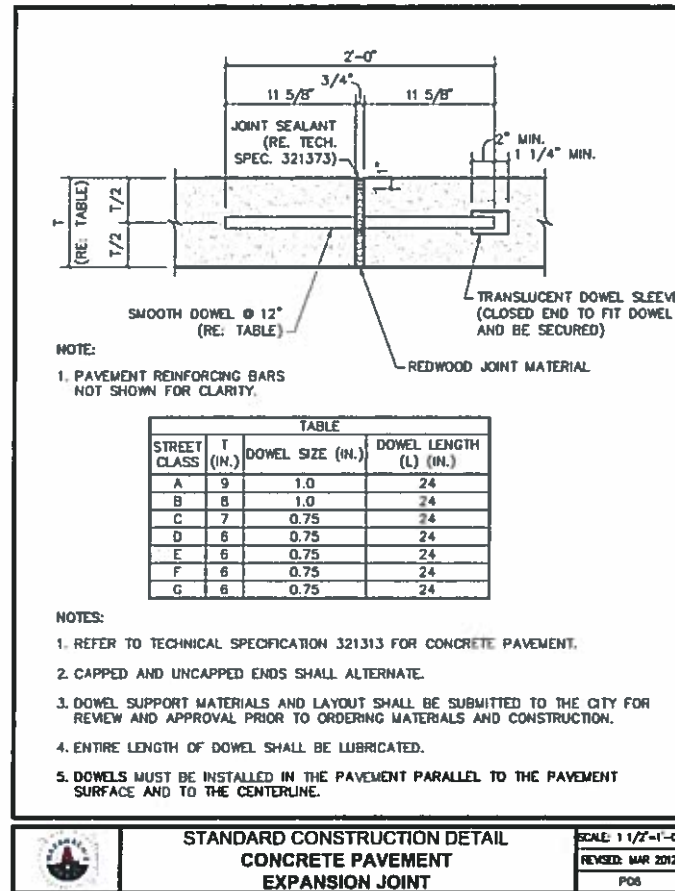
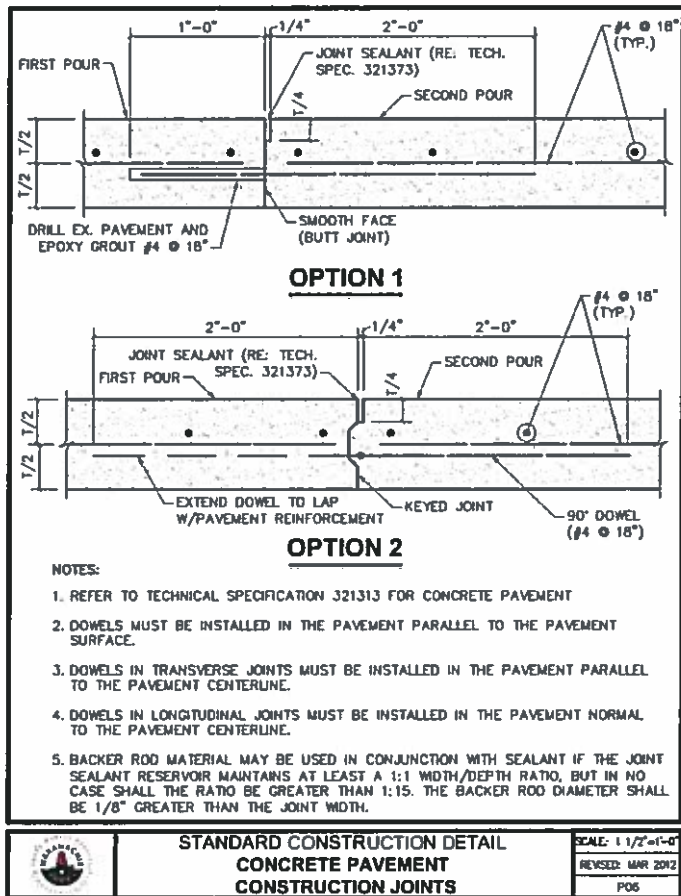
ACCESS DRIVE DETAILS

SHEET NUMBER:

C-10

REVISION:

B



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ADD PROJECT #	14841908
DRAWN BY	DVS
CHECKED BY	TMD
REV. BY	DVS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06/19/18	REVISED PER COMMENTS	DVS
2	07/29/18	REVISED PER COMMENTS	DVS
3	08/22/18	REVISED FOR REVIEW	DVS

NOT FOR CONSTRUCTION

SITE NAME:
WAXAHACHIE

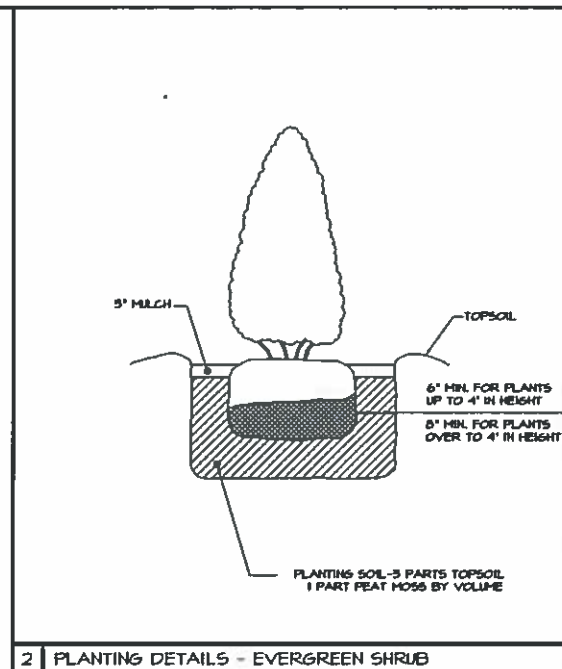
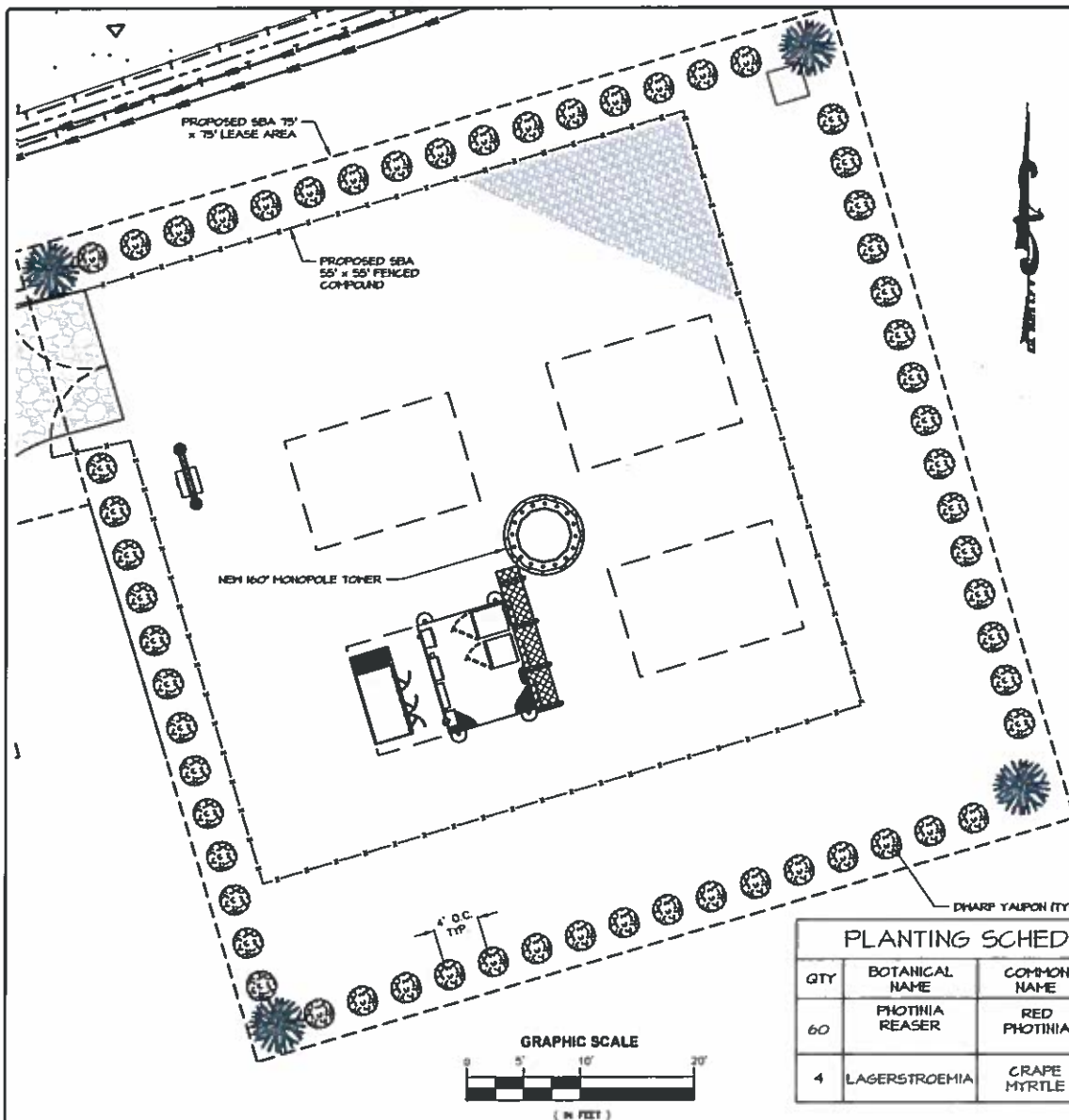
SITE NUMBER:
TX22705

SITE ADDRESS:
105 CHAMBERS CIRCLE
WAXAHACHIE, TX 75165

DESIGN TYPE:
RAWLAND

SHEET TITLE:
ACCESS DRIVE DETAILS

SHEET NUMBER:	REVISION
C-11	B



LANDSCAPE NOTES:

1. EACH TREE / SHRUB TO BE INSTALLED WITHIN 6' DIAMETER MULCH RING.
2. CONTRACTOR TO INSTALL FESCUE SOO ON BERM / BUFFER AREAS TO LIMITS OF DISTURBANCE.

PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SPACING	SYMBOL	REMARKS
60	PHOTINIA REASER	RED PHOTINIA	3" GAL	SHRUB	4' O. C.		FULL TO BASE
4	LAGERSTROEMIA	GRAPE MYRTLE	3" GAL	TREE	SEE PLAN		FULL TO BASE



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ADD PROJECT #	148418108
DRAWN BY:	DVS
CHECKED BY:	TWO
REV. # BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	08/19/18	REVISED PER COMMENTS
2	07/29/18	REVISED PER COMMENTS
3	05/22/18	REVISED FOR REVIEW

NOT FOR
CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

SITE ADDRESS:
108 CHAMBERS CIRCLE
WAXAHACHIE, TX 75165

DEARTH TYPE:
RAWLAND

SHEET TITLE:
LANDSCAPING PLAN

SHEET NUMBER:
L-1

REVISION:
B

LANDSCAPE INSTALLATION NOTES:

1. ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
2. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. TRUNK CALIPER IS MEASURED SIX INCHES ABOVE THE GROUND ON TREES.
3. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF DELRAY BEACH STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY, AND NEED FREE CONDITION.
4. IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
5. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES. TREES CANNOT BE PLANTED AROUND, OVER, OR UNDER ANY EXISTING OR PROPOSED POWER LINES. THIS INCLUDES ANY LINES DESIGNED AFTER FINAL SITE PLAN APPROVAL.
7. ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3" DEEP PINE BARK MULCH. ALL NEW TREES SHALL HAVE A TREE RING WITH A MINIMUM 24" RADIUS. ALL NEW TREES AND PALMS SHALL BE STAKED.
8. TREES, SHRUBS AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL BEFORE BACKFILLING PIT. ADD AGRIFORM FERTILIZER TABLETS TO EACH PLANT PIT, AS PER THE SPECIFICATIONS.
9. TREE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL D & B STOCK.
10. THE CONTRACTOR MUST MAINTAIN THE LANDSCAPING FOR 1 YEAR FROM THE DATE OF CONSTRUCTION COMPLETION. THIS INCLUDES BUT IS NOT LIMITED TO WATERING AND ENSURING THAT THE LANDSCAPING DOES NOT DIE. IF ANY OF THE LANDSCAPING DIES WITHIN THE 1 YEAR TIME FRAME, THE CONTRACTOR MUST REPLACE IT WITH EQUIVALENT LANDSCAPING. LOCAL JURISDICTION WATERING GUIDELINES SHALL BE FOLLOWED THOROUGHLY. LANDSCAPED AREAS MUST BE 100% IRRIGATED THROUGHOUT THE ESTABLISHMENT PERIOD.
11. CONTRACTOR MUST CONFIRM LANDSCAPE REQUIREMENTS AND SPECIFICATIONS WITH LOCAL JURISDICTION.



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WWW.KIMLEY-HORN.COM

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AGE PROJECT #	148416106
DRAWN BY:	DVS
CHECKED BY:	TWD
REV # BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	08/15/18	ISSUED FOR REVIEW
2	07/27/18	REVISED PER COMMENTS
3	05/22/18	REVISED PER COMMENTS
4	05/22/18	ISSUED FOR REVIEW

NOT FOR
CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

SITE ADDRESS:
108 CHAMBERS CIRCLE
WAXAHACHIE, TX, 75165

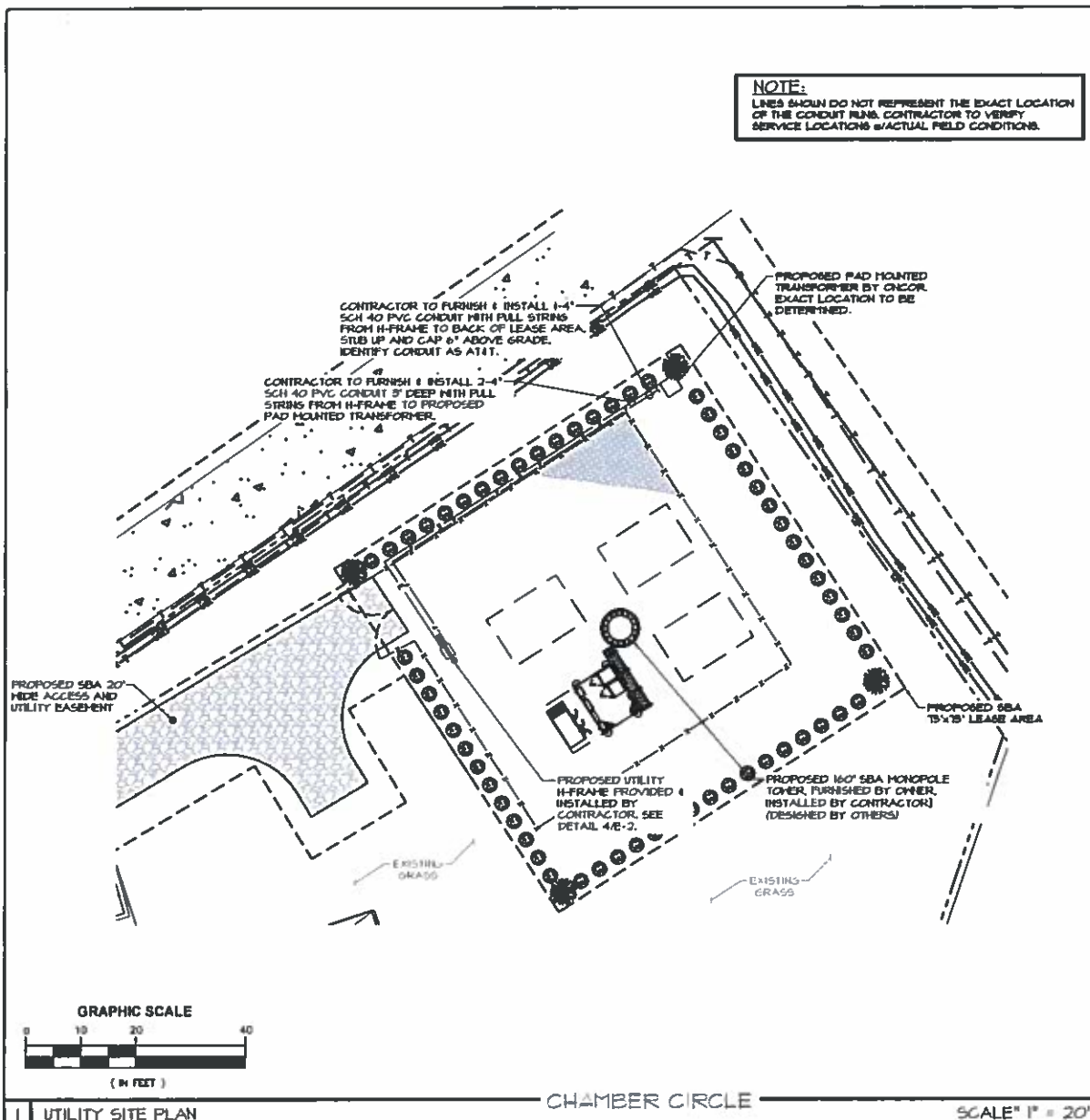
DESIGN TYPE:
RAWLAND

SHEET TITLE:
LANDSCAPING NOTES

SHEET NUMBER:
L-2

REVISION:
B

(15)



GENERAL ELECTRICAL NOTES

- 1) ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES.
- 2) ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
- 3) CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- 4) ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- 5) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- 6) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- 7) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- 8) FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- 9) PATCH REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 10) PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- 11) LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
- 12) ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- 13) ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- 14) ALL INTERIOR CONDUITS AND BUSINGS SHALL BE ENT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- 15) NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
- 16) CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER, ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.

CODES AND STANDARDS

ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
NEC NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NFPA NATIONAL FIRE PROTECTION ASSOCIATION
UL UNDERWRITERS LABORATORIES, INC.

UTILITY PROVIDE INFORMATION

TELEPHONE COMPANY,
CENTURILINK
CONTACT: MIKE BELL
PHONE: 850-664-3600

POWER COMPANY,
ONCOR
CONTACT: TBD
PHONE: 1-800-313-6062



SBA TOWERS II LLC
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
TEL: (800) 487-7483



655 NORTH FRANKLIN STREET
SUITE 150
TAMPA, FL 33602
PHONE (813) 620-1480
WWW.KIMLEY-HORN.COM

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AGE PROJECT #	148415108
DRAWN BY	DVS
CHECKED BY	DVS
REV # BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	02/18/15	REVISED PER COMMENTS
2	03/23/15	REVISED PER COMMENTS
3	05/22/15	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

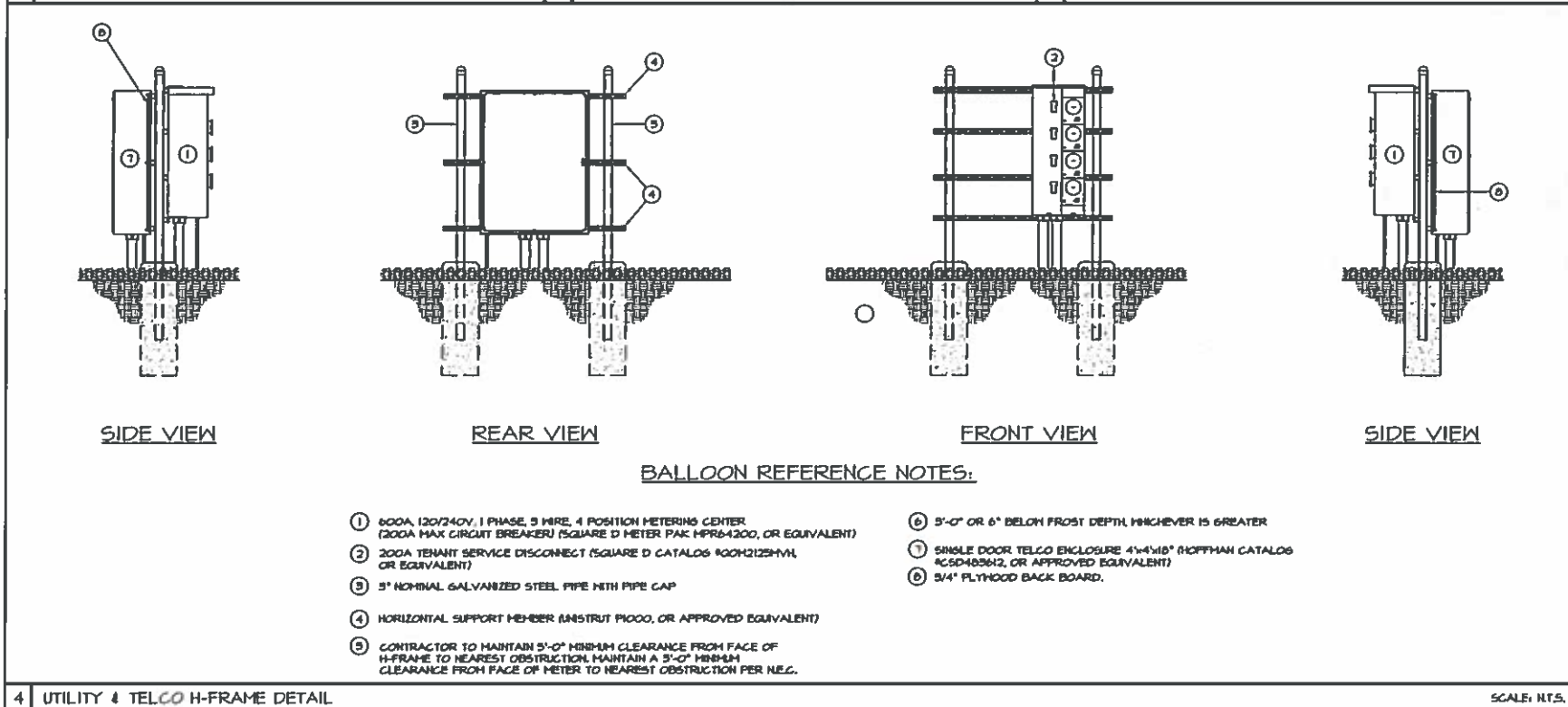
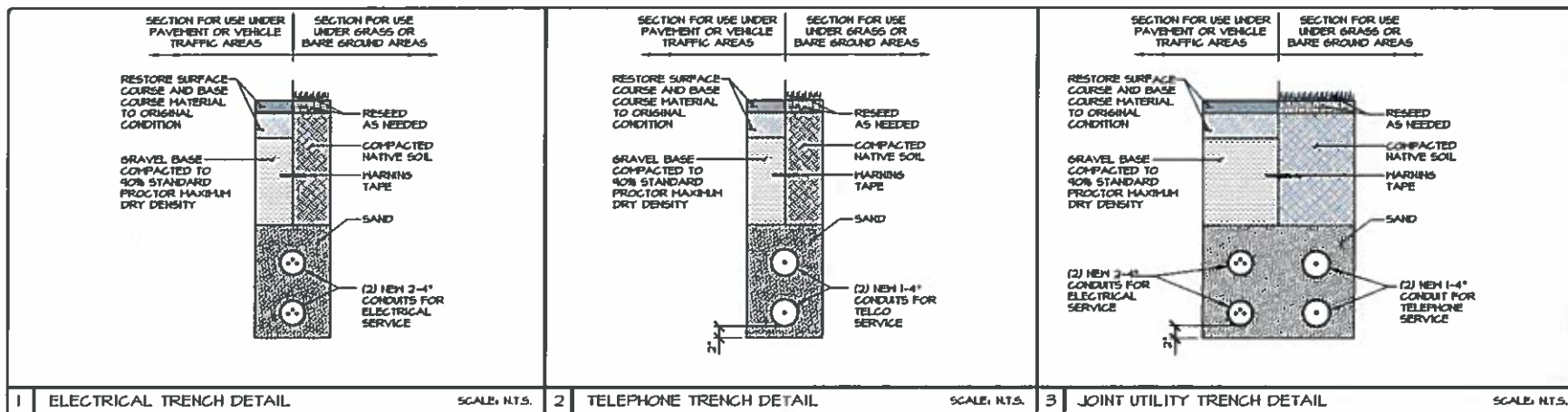
SITE ADDRESS:
108 CHAMBERS CIRCLE
WAXAHACHIE, TX 75185

CESSION TYPE:
RAWLAND

SHEET TITLE:
UTILITY SITE PLAN

SHEET NUMBER:
E-1

REVISION:
B



SBA

SBA TOWERS IX LLC
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
TEL: (800) 487-7483

Kimley-Horn

655 NORTH FRANKLIN STREET
SUITE 150
TAMPA, FL 33602
PHONE: (813) 620-1480
WWW.KIMLEY-HORN.COM

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AGE PROJECT #	14M11108
DRAWN BY	DVS
CHECKED BY	TWD
REV. 0 BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	05/18/10	REVISED PER COMMENTS
2	07/23/10	REVISED PER COMMENTS
3	08/22/10	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME:
WAXAHACHIE

SITE NUMBER:
TX22705

SITE ADDRESS:
108 CHAMBERS CIRCLE
WAXAHACHIE, TX 75165

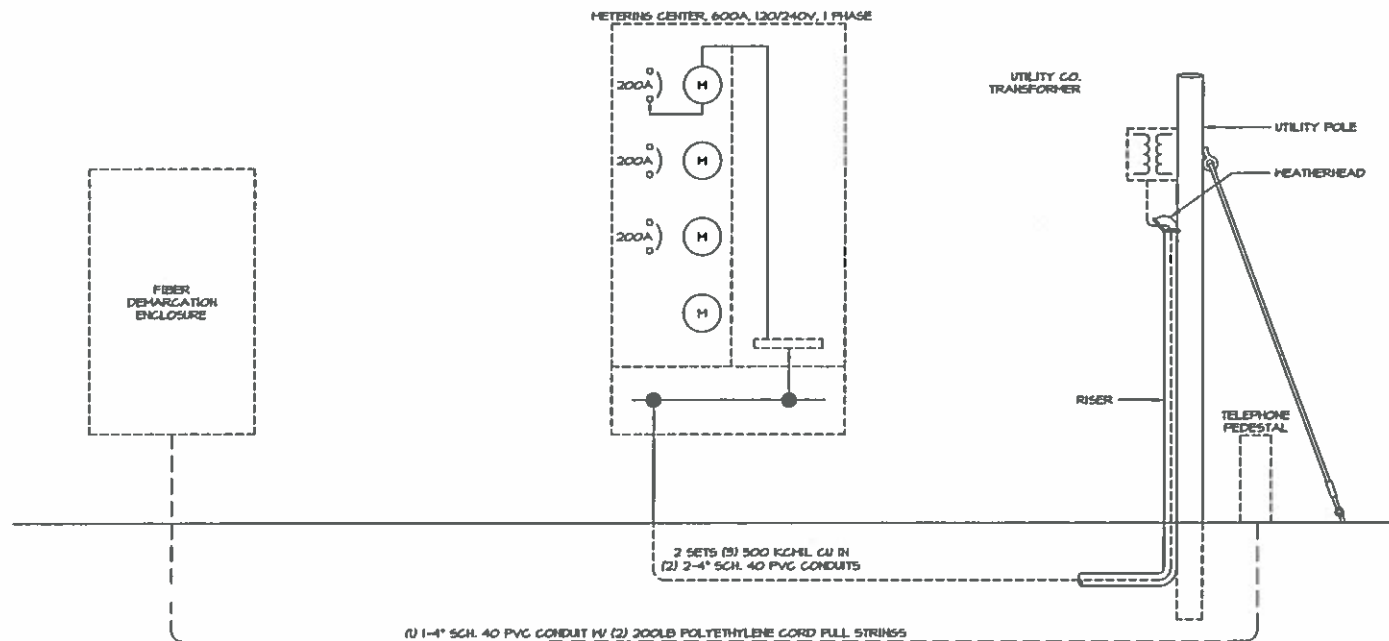
DESIGN TYPE:
RAWLAND

SHEET TITLE:
UTILITY DETAILS

SHEET NUMBER:
E-2

REVISION:
B

(15)



SBA TOWERS IX LLC
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
TEL: (800) 487-7483



655 NORTH FRANKLIN STREET
SUITE 150
TAMPA, FL 33602
PHONE (813) 820-1460
WWW.KIMLEY-HORN.COM

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AGE PROJECT #	148418108
DRAWN BY	DVS
CHECKED BY	TWD
REV. & BY	DVS

REVISIONS		
NO	DATE	DESCRIPTION
1	04/15/15	REVISED FOR COMMENTS
2	07/28/15	REVISED FOR COMMENTS
3	02/22/16	ISSUED FOR REVIEW

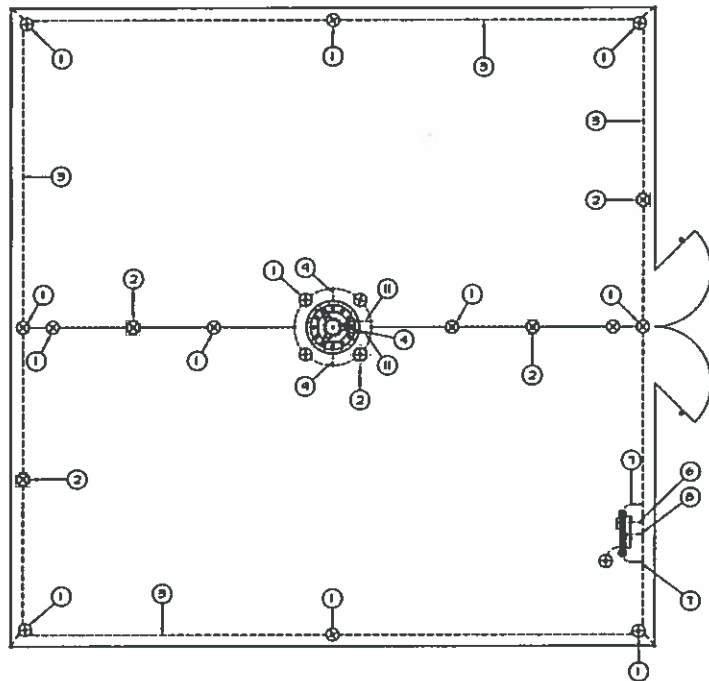
NOT FOR CONSTRUCTION

SITE NAME:
WAXAHACHIE
SITE NUMBER:
TX22705
SITE ADDRESS:
108 CHAMBERS CIRCLE
WAXAHACHIE, TX, 75165
DESIGN TYPE:
RAWLAND

SHEET TITLE:
SINGLE LINE DIAGRAM

SHEET NUMBER:
E-3 REVISION:
B

(15)



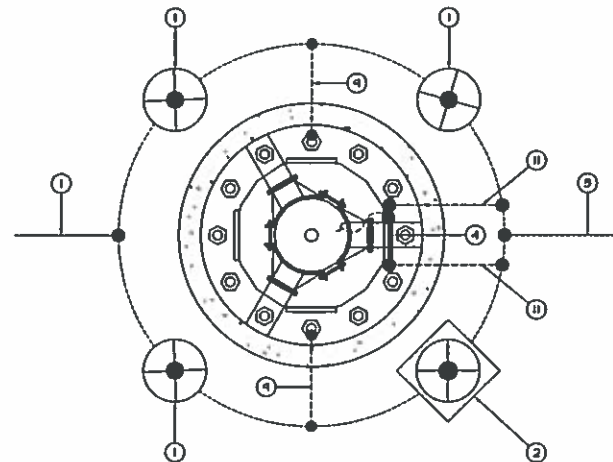
BALLOON REFERENCE NOTES:

- 1 3/8"x1/2" COPPER CLAD GROUND ROD BURIED 36" BELOW GRADE (MIN)
- 2 GROUND ROD ACCESS WELL (MIN. OF 4 EACH PER COMPOUND)
- 3 #2 SOLID, TINNED, BARE COPPER WIRE GROUND RING (CONTINUOUS STRAND)
- 4 1/4"x4"x20" TINNED COPPER GROUND BAR, 2 TYP. AT BASE AND TOP OF TOWER. MOUNT DIRECT TO TOWER, DO NOT ISOLATE.
- 5 NOT USED
- 6 #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO TELCO CELL-PAC.
- 7 #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO UTILITY H-FRAME SUPPORT POST
- 8 SERVICE ENTRANCE GROUND TO DEDICATED GROUND ROD
- 9 #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM MONOPOLE BASE TO GROUND RING. (2 TYPICAL, 180" SEPARATION)
- 10 NOT USED
- 11 #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT MONOPOLE BASE TO GROUND RING. ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END. (2 TYPICAL)

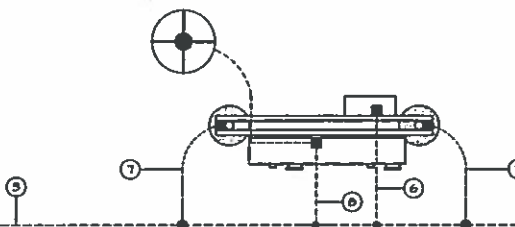
1 SITE GROUNDING PLAN (TYP.)

SYMBOLS LEGEND

- GROUND ROD WITH ACCESS
- GROUND ROD
- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION
- GROUND BAR
- GROUND WIRE



2 ENLARGED GROUNDING PLAN • TOWER BASE (TYP.)



3 ENLARGED GROUNDING PLAN • UTILITY H-FRAME



SBA TOWERS IX LLC,
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
TEL: (800) 487-7483

Kimley»Horn

655 NORTH FRANKLIN STREET
SUITE 150
TAMPA, FL 33602
PHONE (813) 620-1480
WWW.KIMLEY-HORN.COM

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DATE PROJECT #	100475105
DRAWN BY	DVS
CHECKED BY	TWD
REV. BY	DVS

REVISIONS		
NO.	DATE	DESCRIPTION
1	06/18/19	REVISED PER COMMENTS
2	07/29/19	REVISED PER COMMENTS
3	05/22/19	ISSUED FOR REVIEW

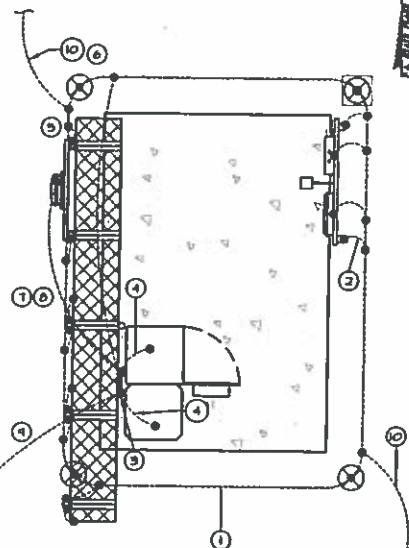
NOT FOR
CONSTRUCTION

SITE NAME	WAXAHACHIE
SITE NUMBER	TX22705
SITE ADDRESS	108 CHAMBERS CIRCLE WAXAHACHIE, TX 75105
DESIGN TYPE	RAWLAND
SHEET TITLE	GROUNDING PLAN & DETAILS
SHEET NUMBER	EG-1
REVISION	B

(15)

GROUNDING NOTES:

1. GROUNDING SHALL COMPLY WITH LATEST EDITION OF THE NATIONAL ELECTRIC CODE.
2. MINIMUM BENDING RADIUS FOR GROUND CONDUCTORS IS 6".
3. NO SPLICES PERMITTED IN GROUNDING CONDUCTORS.
4. ALL GROUNDING CONNECTORS TO BE CLEAN AND FREE OF PAINT & THEIR MATING SURFACES AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. USE PENETROX OR EQUIVALENT ANTIOXIDANT GREASE.
5. ALL GROUND BAR CONNECTIONS ARE TO BE 2 HOLE LONG COMPRESSION TYPE. STACKED CONNECTIONS ARE NOT ACCEPTABLE. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR WILL BE PERMITTED.
6. ENSURE ALL MECHANICAL CONNECTORS ARE TORQUED TO THE MANUFACTURER'S SPECIFIED VALUES.
7. MULTIPLE BONDS ON GROUND RODS TO BE SEPARATED BY AT LEAST 6".
8. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED A RESISTANCE OF 5 OHMS TO EARTH.
9. GROUND WIRES SHALL NOT BE INSTALLED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS TO PRECLUDE ESTABLISHING A "CHOKE" POINT.
10. GROUND BARS SHALL NOT BE FIELD MODIFIED.
11. GROUND RING BURIAL DEPTH SHALL BE 30".
12. A CERTIFIED CONTRACTOR WILL MAKE ALL MEASUREMENTS REQUIRED TO TEST THE GROUNDING SYSTEM USING A MEGGER OR EQUIVALENT. THE ACCEPTABLE RESISTANCE MEASURES FOR THE GROUNDING SYSTEM WILL NOT EXCEED 5 OHMS RESISTANCE. THREE DISTANCES SHALL BE USED: 1 AT 100 FEET, 1 AT 70 FEET, AND 1 AT 35 FEET. THESE DISTANCES ARE SUBJECT TO A SITE BY SITE BASIS. T-MOBILE-HITS SHALL BE GIVEN 24 HOURS NOTICE. ALL COSTS ASSOCIATED WITH GROUND TESTING WILL BE AT THE EXPENSE OF THE CONTRACTOR.

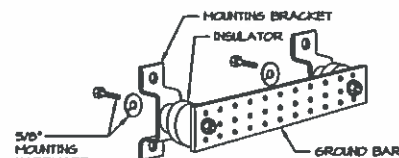


BALLOON REFERENCE NOTES:

- | | |
|---|---|
| 1 PROPOSED EQUIPMENT GROUND RING (#2 BARE TINED COPPER) ALONG T-MOBILE CONCRETE PAD | 5 BOND ALL HAYESGIDE BRIDGE POSTS TO HAYESGIDE BRIDGE STEEL |
| 2 BOND EQUIPMENT AND H-FRAME POSTS TO GROUND RING | 6 BOND M50 TO M50 |
| 3 PROPOSED M50 (MASTER GROUND BAR) MOUNT TO HAYESGIDE BRIDGE | 7 BOND M50 TO M50 |
| 4 BOND BTS CABINETS AND EQUIPMENT TO M50 | 8 BOND M50 TO GROUND RING |
| 5 BOND COMP TO M50 | 9 BOND M50 TO GROUND RING |
| 6 BOND M50 TO GROUND RING | 10 BOND ALL HAYESGIDE BRIDGE POSTS TO EQUIPMENT GROUND RING |
| 7 BOND ALL HAYESGIDE BRIDGE POSTS TO EQUIPMENT GROUND RING | |

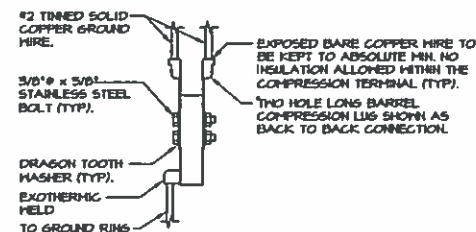
SYMBOLS LEGEND

- | | | | |
|--|------------------------|--|-----------------------|
| | GROUND ROD WITH ACCESS | | MECHANICAL CONNECTION |
| | GROUND ROD | | GROUND BAR |
| | EXOTHERMIC CONNECTION | | GROUND WIRE |



- NOTES:**
1. 1/4" THICK COPPER GROUND BR TIN PLATED AFTER FABRICATION (2000S THICK).
 2. HOLES TO HAVE 1/16" COUNTERSINK ON EACH SIDE.

2 TYPICAL GROUND BAR DETAIL



3 TYPICAL GROUND BAR CONNECTION DETAIL



SBA TOWERS IX LLC,
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
TEL: (800) 487-7483



655 NORTH FRANKLIN STREET
SUITE 150
TAMPA, FL 33602
PHONE (813) 820-1460
WWW.KIMLEY-HORN.COM

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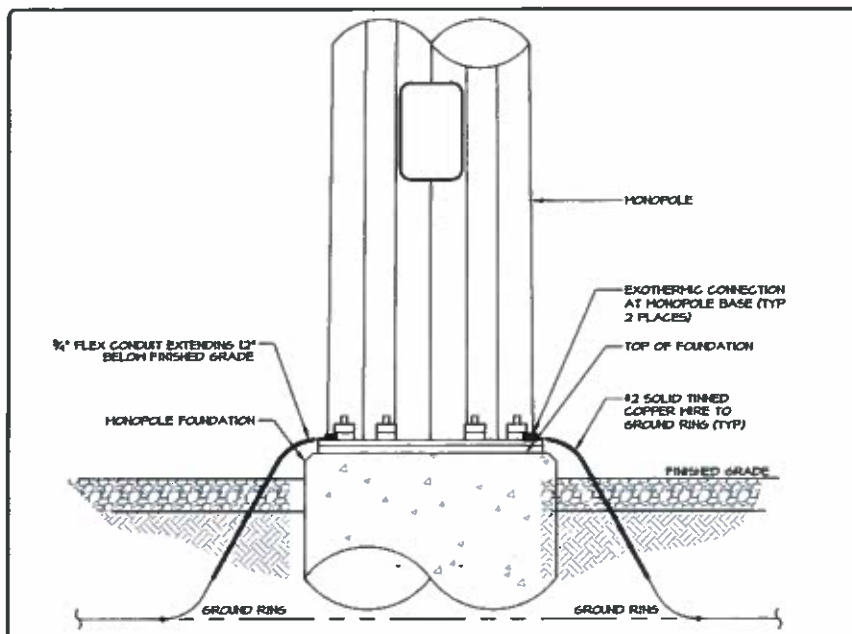
ASE PROJECT #	14611106
DRAWN BY	DVS
CHECKED BY	TWD
REV. B. BY	DVS

REVISIONS

NO.	DATE	DESCRIPTION
1	08/15/13	REVISED PER COMMENTS
2	07/27/13	REVISED PER COMMENTS
3	05/22/13	ISSUED FOR REVIEW

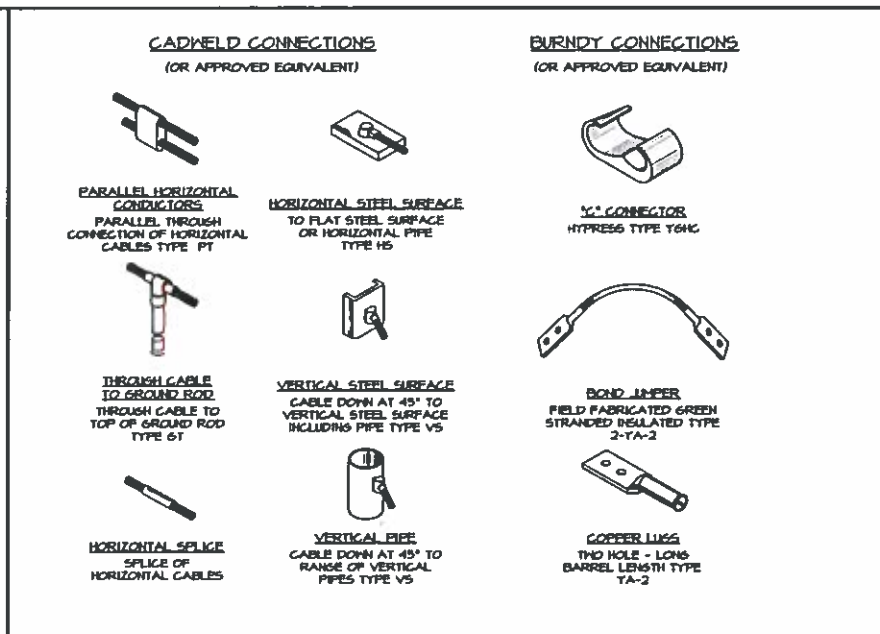
NOT FOR CONSTRUCTION

DATE NAME	WAXAHACHIE
SHEET NUMBER	TX22705
SITE ADDRESS	108 CHAMBERS CIRCLE WAXAHACHIE, TX 75165
DESIGN TYPE	RAWLAND
SHEET TITLE	GROUNDING PLAN & DETAILS
SHEET NUMBER	EG-2
REVISION	B



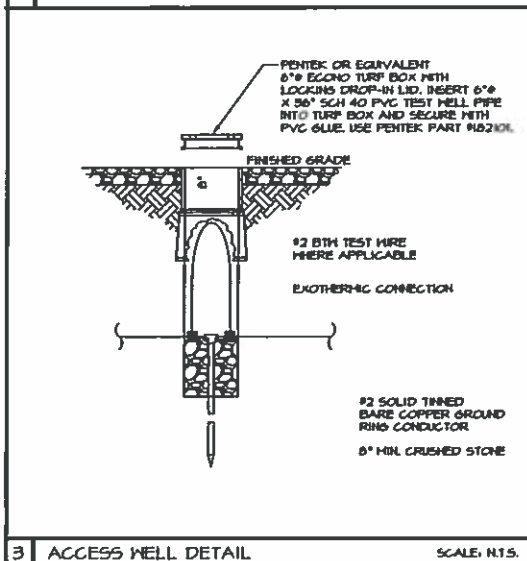
1 GROUNDING @ TOWER BASE

SCALE: N.T.S.



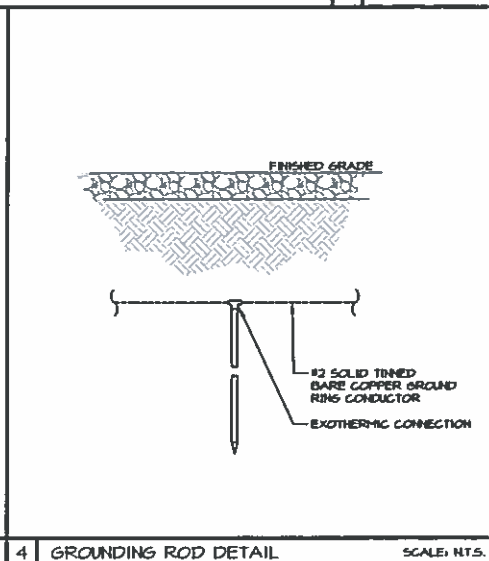
2 TYPICAL WELDING CONNECTIONS

SCALE: N.T.S.



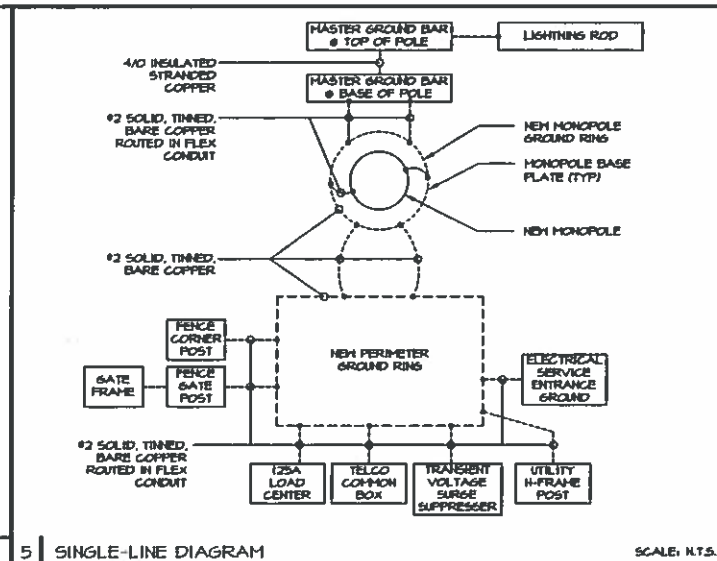
3 ACCESS WELL DETAIL

SCALE: N.T.S.



4 GROUNDING ROD DETAIL

SCALE: N.T.S.



5 SINGLE-LINE DIAGRAM

SCALE: N.T.S.



SBA TOWERS 1X LLC
8051 CONGRESS AVENUE
BOCA RATON, FL 33487-2797
TEL: (800) 487-7483

Kimley»Horn

855 NORTH FRANKLIN STREET
SUITE 150
TAMPA, FL 33602
PHONE: (813) 820-1460
WWW.KIMLEY-HORN.COM

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ASE PROJECT #	168415106
DRAWN BY	DVS
CHECKED BY	TWD
REV. BY	DVS

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/15/18	REVISED PER COMMENTS
2	07/28/18	REVISED PER COMMENTS
3	05/22/19	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION

SITE NAME	WAXAHACHIE
SITE NUMBER	TX22705
SITE ADDRESS	100 CHAMBERS CIRCLE WAXAHACHIE, TX, 75105
DESIGN TYPE	RAWLAND
GREET TITLE	GROUNDING DETAILS
SHEET NUMBER	EG-3
REVISION	B

(157)



Site Name: Waxahachie

Site Number: TX- 22705

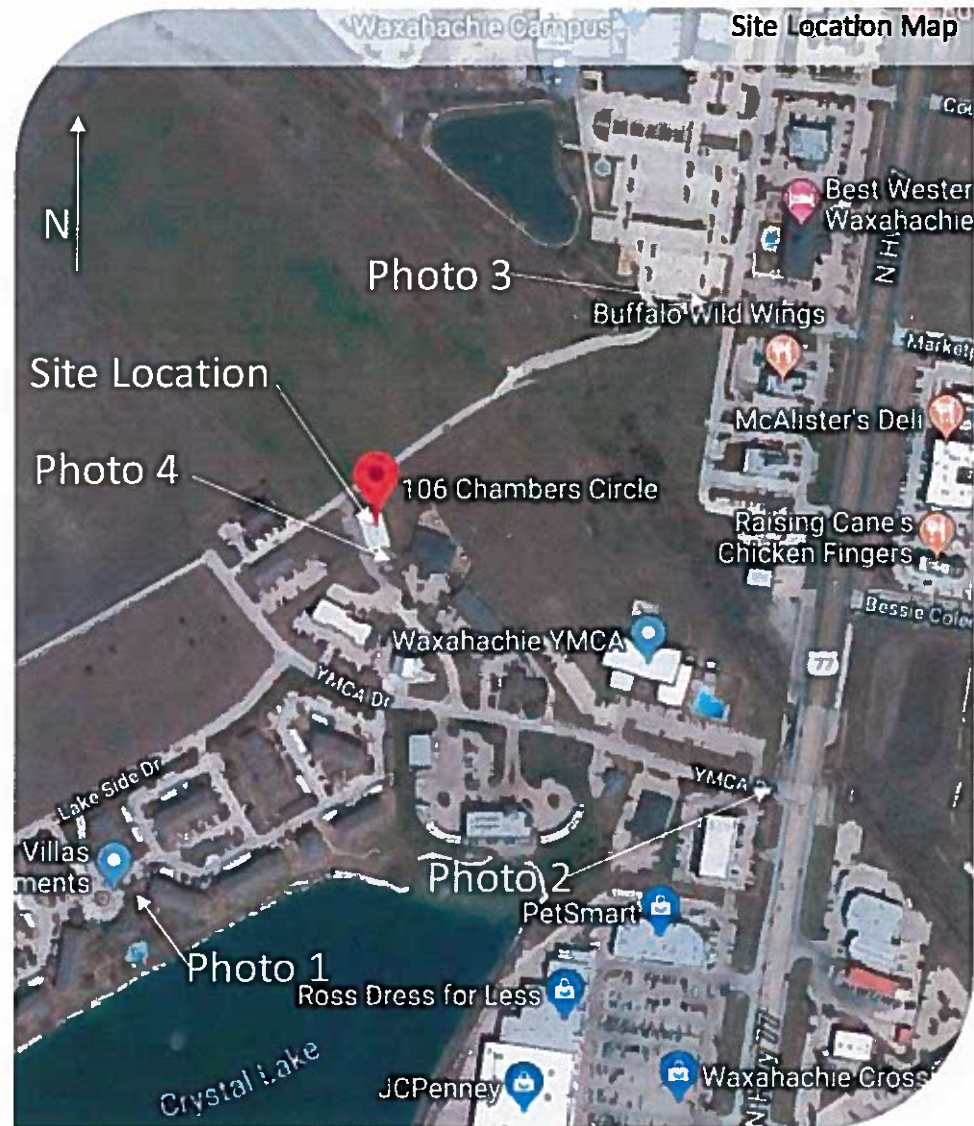
Site Type: RAWLAND – 160' MONOPOLE

Site Location: 106 Chambers Circle,
Waxahachie, TX 75165
32 25 46.296 N, -096 50 32.663 W

Date: 06/26/19

Applicant: SBA Towers
8051 Congress Avenue
Boca Raton, FL 33487

Contact: Paul Hickey
(561) 981-7406

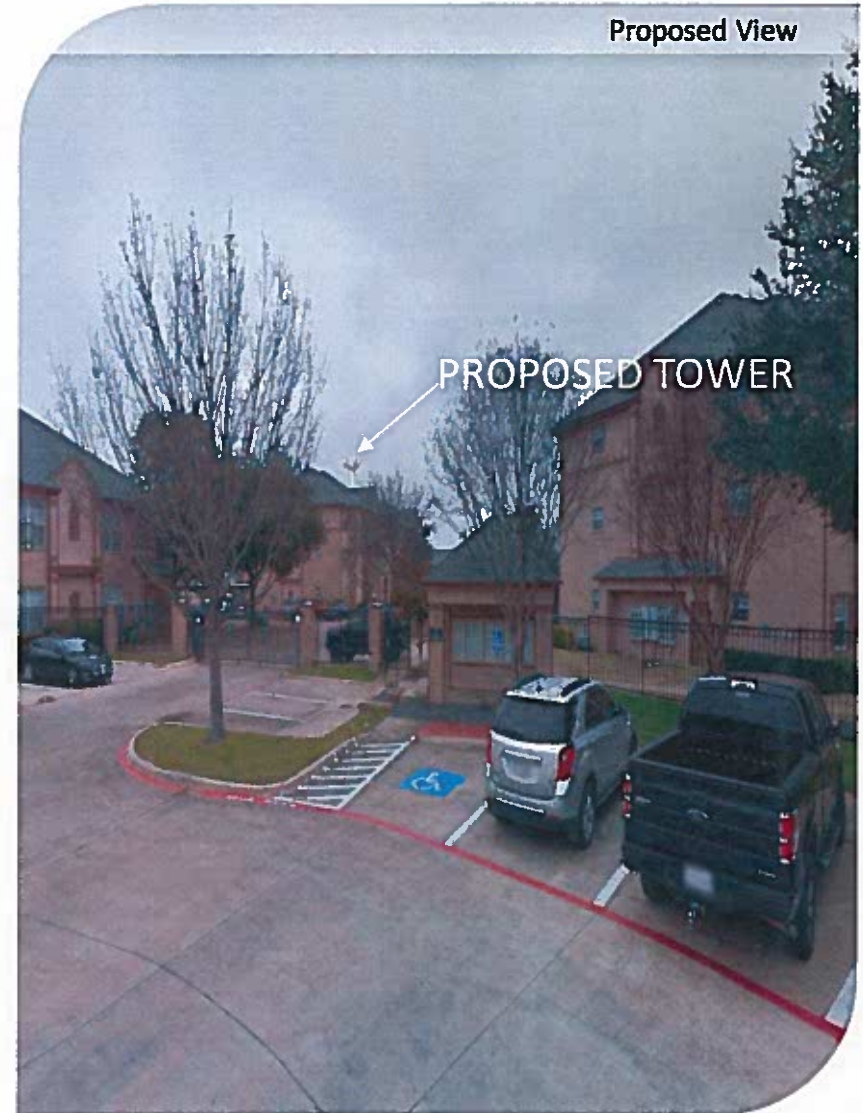




Existing View



Proposed View



(15)

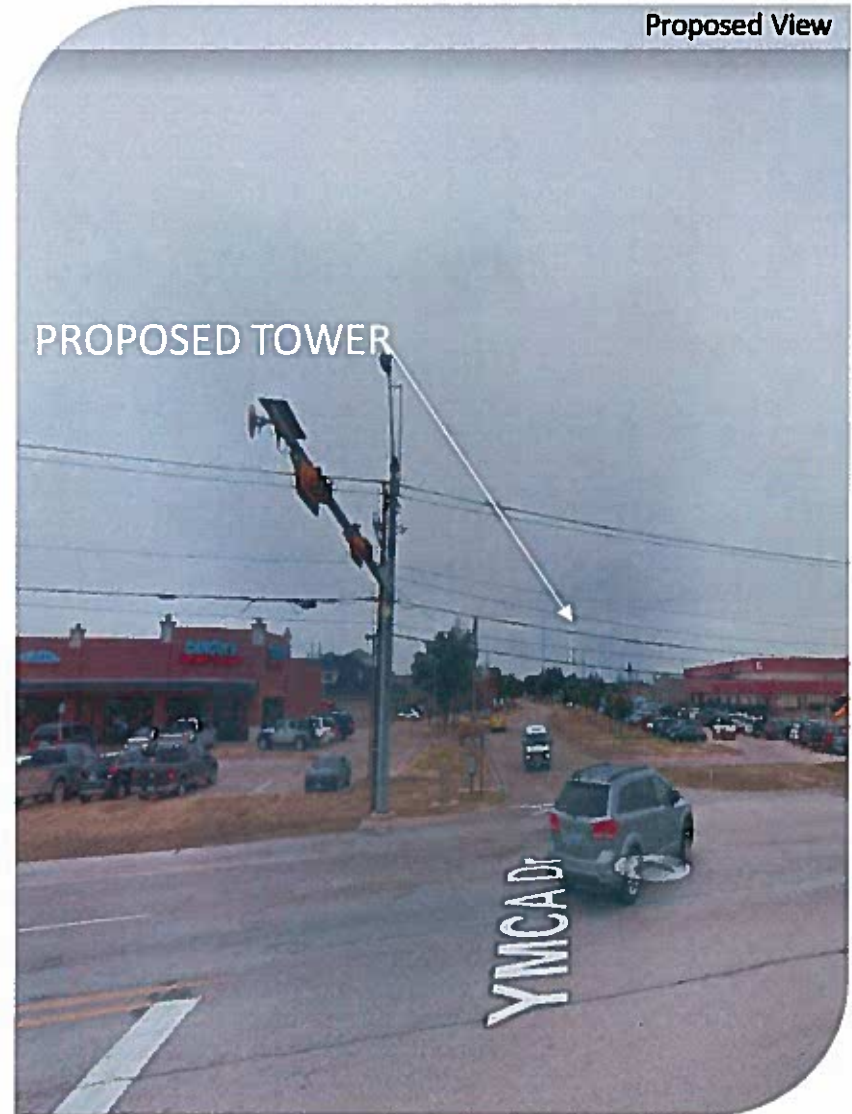
PHOTO LOCATION 1:
SOUTHWEST OF PROPOSED POLE FROM BLUE LAKE ENTRY LOOP



Existing View



Proposed View



(15)

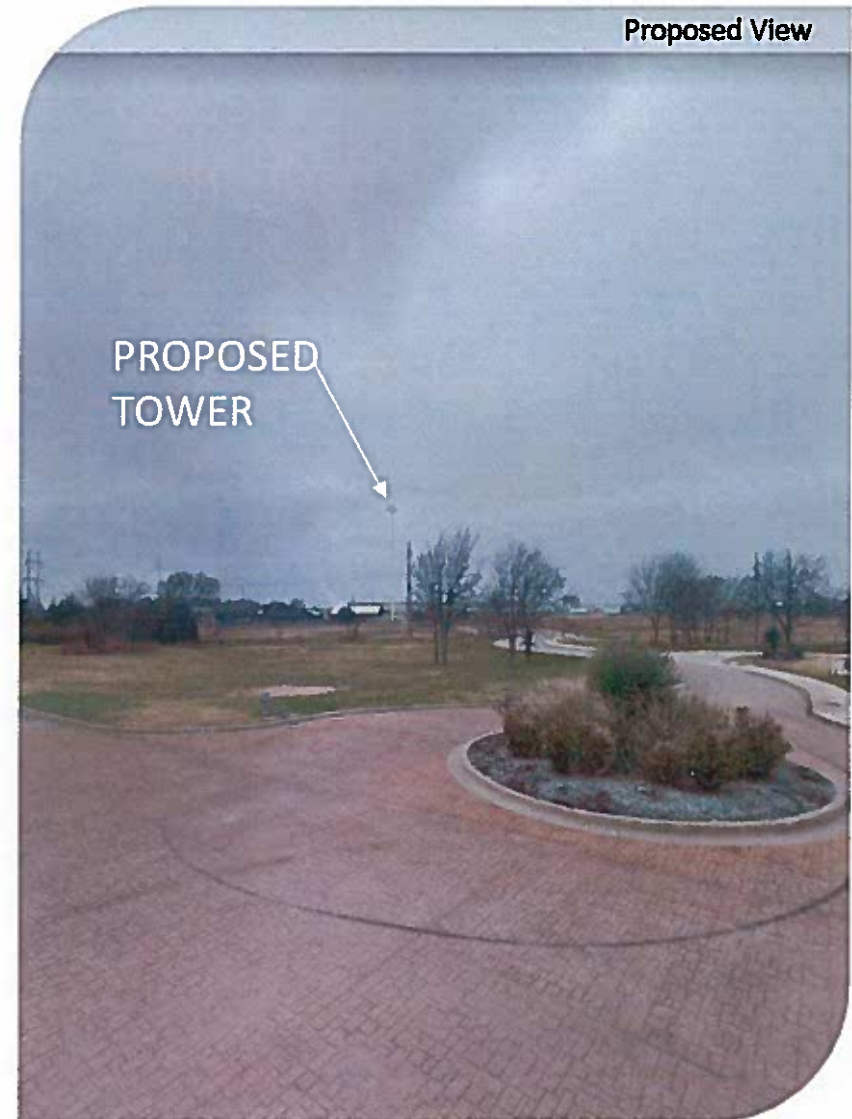
PHOTO LOCATION 2:
SOUTHEAST OF PROPOSED POLE UP YMCA DRIVE



Existing View



Proposed View



(15)

PHOTO LOCATION 3:
NORTHEAST OF PROPOSED POLE FROM MARKET PLACE BLVD

SBA



PHOTO SIMULATION

SBA PROPOSED TOWER

Site Name:

WAXAHACHIE

Date: 06/24/19

Existing View



Proposed View



(15)

PHOTO LOCATION 4:
SOUTH OF PROPOSED POLE FROM CHAMBER CIRCLE

Small text if needed

(15)

Case SU-19-0099*Responses Received Inside Required 200' Notification Area***Support: 0 Oppose: 2**

PropertyID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
174572	PEACOCK INVESTMENTS LLC	0.894	LOT 3 BLK C LAKERIDGE 1-REV 0.894 AC	1279 DIANA LN	STEPHENSVILLE	TN	78401	208 YMCA DR WAXAHACHIE TX 75165
186474	FERRIS AVE BAPTIST CHURCH DBA THE AVENUE	68.0112	629 H LEVY 68.0112 ACRES	210 YMCA DR	WAXAHACHIE	TX	75165	1761 N HIGHWAY 77 WAXAHACHIE TX 75165
243748	FERRIS AVE BAPTIST CHURCH DBA THE AVENUE	1.4	629 H LEVY 1.4 ACRES	210 YMCA DR	WAXAHACHIE	TX	75165	210 YMCA DR WAXAHACHIE TX 75165
174574		0.729	LOT 5 BLK C LAKERIDGE 1-REV 0.729 AC	217 HUNTER PASS	WAXAHACHIE	TX	75165	102 CHAMBERS CIR WAXAHACHIE TX 75165
174573	STAFFORD DAWSON J & SHIRLEY REVOCABLE TRUST	1.096	LOT 4 BLK C LAKERIDGE 1-REV 1.096 AC	23 MOUNTAIN CREST DR	RUSSELLVILLE	AR	72802	106 CHAMBERS CIR WAXAHACHIE TX 75165
183873	CITY OF WAXAHACHIE	0.543	LOT 1 BLK C LAKERIDGE 1-REV .543 AC	401 S ROGERS	WAXAHACHIE	TX	75165	200 YMCA DR WAXAHACHIE TX 75165
174571	LIECHTY HOMES INC	1.018	LOT 2 BLK C LAKERIDGE 1-REV 1.018 AC	501 17TH ST SW	JAMESTOWN	ND	58401	206 YMCA DR WAXAHACHIE TX 75165
183929	YMCA OF METRO DALLAS	11.423	PT 11 C LAKERIDGE 1 11.423 ACRES	501 N AKARD ST	DALLAS	TX	75201	100 YMCA DR WAXAHACHIE TX 75165
174575		0.723	LOT 6 BLK C LAKERIDGE 1-REV 0.723 AC	700 N PEARL STREET SUITE Q208	DALLAS	TX	75201	100 CHAMBERS CIR WAXAHACHIE TX 75165

Case Number: **SU-19-0099**

City Reference: 174574

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, August 21, 2019** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.

RECEIVED
8/16/19

☐

SUPPORT

☒

OPPOSE

Comments:

Tower would lower the value of surrounding property. NO

Herbert Bruce Connor

8-13-19

Signature

Date

HERBERT BRUCE CONNOR

102 CHAMBER CIRCLE

Printed Name and Title

Address

Fire station tower is enough we do not need a cell phone tower next door

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

(15)

(15)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: SU-19-0099



MANDALAY HOLDINGS LLC
700 N PEARL STREET SUITE G208
DALLAS, TX 75201

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, August 27, 2019 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Tuesday, September 3, 2019 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Alec Broadus, Broadus Services LLC, for a Specific Use Permit (SUP) for Communications Antennas and Support Structures/Towers use within an Office zoning district, located at 106 Chambers Circle (Property ID 174573) – Owner: DAWSON J & SHIRLEY STAFFORD REVOCABLE TRUST (SU-19-0099)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: planningandzoning@waxahachie.com for additional information on this request.

Case Number: SU-19-0099
City Reference: 174575

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 21, 2019* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to planningandzoning@waxahachie.com.



SUPPORT



OPPOSE

Comments: At 160 feet, a tower that tall is too big and will detract from the areas appeal.

Randall Brooks
Signature

8.19.19
Date

Randall Brooks Gen Mgr
Printed Name and Title

100 Chambers Circle, 2006 YMCA Dr.
Address