

A G E N D A

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, July 11, 2023 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman
Melissa Ballard, Vice Chairman
Betty Square Coleman
Bonney Ramsey
David Hudgins
Erik Test
Ron Ansell

1. Call to Order
2. Invocation
3. ***Public Comments:*** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.
4. ***Consider*** minutes of the regular Planning & Zoning Commission meeting of June 27, 2023
5. ***Public Hearing*** on a request by Steve Meier, Turcotte Development, for a Specific Use Permit (SUP) for a Heavy Equipment Rental and Sales use within a Commercial (C) zoning district located at 2021 Corporate Parkway (Property ID 273978) - Owner: LEDBETTER REAL ESTATE, LTD (ZDC-24-2023) Staff: Eleana Tuley
6. ***Consider*** recommendation of Zoning Change No. ZDC-24-2023
7. ***Consider*** a request by Stephen Dial, STV Inc, for a Plat of Ellis County JP2, Lot 1, Block 1, being 4.245 acres, located approximately 2,000 feet northwest of 2541 W US Highway 287 Business, situated in the William J. Boyd Survey, Abstract 109, an addition to the City of Waxahachie and in the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 290705) – Owner: ELLIS COUNTY, TEXAS (SUB-45-2023) Staff: Zack King
8. ***Public Hearing*** on a request by Mahendra Kandepu, Lillian Custom Homes, for an Amendment to Ordinance No. 3105, to allow for a revised site plan and development standards within an approved Planned Development located at the intersection of Vermont Street and Parks School House Road (Property ID: 226116) – Owner: FALCON’S LANDING A SERIES OF EIS DEVELOPMENT II LLC (ZDC-153-2022) Staff: Zack King
9. ***Consider*** recommendation of Zoning Change No. ZDC-153-2022

10. **Consider** a request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a Plat of Moody 2, Lot 1, Block A, being 1.139 acres, located at 630 Boyce Road, situated in the S. Peters Survey, Abstract No. 831, an addition in the Extraterritorial Jurisdiction of the City of Waxahachie (Property ID 189308) – Owner: TONY & DEBRA MOODY (SUB-12-2023) Staff: Eleana Tuley
11. **Consider** a request by Serena Moir, for a Replat of Lots 1R and 1A-R, Cockerham Estates and a 20.33 acre tract of land in the Charles Green Survey, Abstract No. 922 and the M.V.B Rhodes Survey, Abstract No. 950, to create Lot 1R2, 1R3, and 3, Cockerham Estates, 3 Residential Lots, being 42.770 acres, located at 4110 FM 66, in the Extraterritorial Jurisdiction (Property ID 209024, 239265, and 239266) – Owner: SERENA & JAMES MOIR AND MICHELLE RIDER (SUB-49-2023) Staff: Eleana Tuley
12. **Consider** a request by Claudio Segovia, Johnson Volk Consulting, Inc., for a Replat of Lot 2, Block A, Commons at North Grove, 3 lots, being 3.001 acres, located across from 507 Country Meadows Blvd., (Property ID 290825) – Owner: KOTHA HOLDINGS GROUP, LLC (SUB-68-2023) Staff: Eleana Tuley
13. **Public Hearing** on a request by Jake Fears, JHF Engineering, for a Specific Use Permit (SUP) for a restaurant with a drive-through use within a General Retail (GR) and Light Industrial-1 (LI-1) zoning district located at 1995 North Highway 77 (Property ID 262424) - Owner: C&C WAXAHACHIE, LLC (ZDC-4-2023) Staff: Eleana Tuley
14. **Consider** recommendation of Zoning Change No. ZDC-4-2023
15. **Public Hearing** on a request by James Dixon, Dixon & Associates, for a Specific Use Permit (SUP) for an Accessory Building (Residential), Greater than or Equal to 700 Square Feet use within the Single-Family Dwelling-2 (SF2) zoning district located at 149 Country Drive (Property ID: 203065) – Owners: NICHOLAS AND MARIA SIERRA (ZDC-48-2023) Staff: Oanh Vu
16. **Consider** recommendation of Zoning Change No. ZDC-48-2023
17. Adjourn

The Planning and Zoning Commission reserves the right to go into Executive Session as authorized by Section 551.071(2) of the Texas Government Code, for the purpose of seeking confidential legal advice from legal counsel on any agenda item listed herein. This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at 469-309-4006 or (TDD) 1-800-RELAY TX

<p style="text-align: center;"><i>Notice of Potential Quorum</i> <i>One or more members of the Waxahachie City Council may be present at this meeting.</i> <i>No action will be taken by the City Council at this meeting.</i></p>

Planning and Zoning Commission
June 27, 2023

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, June 27, 2023 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Melissa Ballard, Vice Chairman
Bonney Ramsey
David Hudgins
Erik Test
Ron Ansell

Members Absent: Rick Keeler, Chairman
Betty Square Coleman

Others Present: Jennifer Pruitt, Senior Director of Planning
Oanh Vu, Planner
Amber Villarreal, City Secretary
Chris Wright, Council Representative

1. **Call to Order**
2. **Invocation**

Vice Chairman Melissa Ballard called the meeting to order. Ron Ansell gave the invocation.

3. Public Comments

Michael McCorkle, 171 Willow Run, Waxahachie, Texas, requested an ordinance regulating short term rentals due to issues at 159 Willow Run. He noted a new owner recently purchased the home and issues began when the owner started renting out the residential home for short-term rental use. Mr. McCorkle cited numerous issues at the property and requested an ordinance prohibiting short-term rentals in residential neighborhoods.

4. **Consider minutes of the regular Planning & Zoning Commission meeting of June 13, 2023 and the City Council and Planning and Zoning Commission Joint Work Session of June 13, 2023**

Action:

Bonney Ramsey moved to approve the minutes of the regular Planning & Zoning Commission meeting of June 13, 2023 and the City Council and Planning and Zoning Commission Joint Work Session of June 13, 2023. Erik Test seconded, All Ayes.

5. **Consider a request by Ellis County Coalition for Health Options, Inc. DBA Hope Clinic, for a Replat of Lot 3, Block A of the City of Waxahachie Public Safety Campus addition, 4 commercial lots, being 27.445 acres, located adjacent to 632 Farley Street, (Property ID: 273695, 297103, 297104, & 297105) Owner: CITY OF WAXAHACHIE & ELLIS COUNTY COALITION FOR HEALTH OPTIONS, INC. DBA HOPE CLINIC (SUB-66-2023) Staff: Zack King**

Jennifer Pruitt, Senior Director of Planning, presented the case noting the applicant proposes to Replat the subject property into four (4) lots. The proposed lots adhere to the minimum lot size

and dimension standards required by the zoning for the property. As part of the Replat, the applicant proposes to provide right-of-way (ROW) dedication for Farley Street per the Waxahachie Thoroughfare Plan. Based on the details provided in the Staff Report and the present status of the documents subject to the request, staff recommends approval of the Replat.

Action:

David Hudgins moved to approve SUB-66-2023, a Replat of Lot 3, Block A of the City of Waxahachie Public Safety Campus, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly. Ron Ansell seconded, All Ayes.

6. Adjourn

Bonney Ramsey announced the Crape Myrtle Festival will be held July 3-4, 2023 and encouraged everyone to attend.

Chris Wright announced short-term rentals will be discussed at the June 29, 2023 City Council Work Session.

There being no further business, the meeting adjourned at 7:08 p.m.

Respectfully submitted,

Amber Villarreal
City Secretary

(5+6)



Memorandum

To: Honorable Mayor and City Council

From: Jennifer Pruitt, Senior Director of Planning

Thru: Albert Lawrence, Deputy City Manager

Date: July 4, 2023

Re: ZDC-24-2023 – Turcotte Heavy Equipment Rental and Sales

On June 29, 2023, the applicant requested to withdraw this application from the July 11, 2023, Planning and Zoning and the July 17, 2023, City Council meeting.

Planning & Zoning Department

Plat Staff Report

Case: SUB-45-2023



MEETING DATE(S)

Planning & Zoning Commission: July 11, 2023

CAPTION

Consider request by Stephen Dial, STV Inc, for a **Plat** of Ellis County JP2, Lot 1, Block 1, being 4.245 acres, located approximately 2,000 feet northwest of 2541 W US Highway 287 Business, situated in the William J. Boyd Survey, Abstract 109, an addition to the City of Waxahachie and in the Extra Territorial Jurisdiction of the City of Waxahachie (Property ID: 290705) – Owner: Ellis County, Texas (SUB-45-2023) Staff: Zack King

RECOMMENDED MOTION

"I move to approve SUB-45-2023, a Plat of Ellis County JP2, Lot 1, Block 1, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."

APPLICANT REQUEST

The applicant requests to plat the subject property into one (1) commercial lot.

CASE INFORMATION

Applicant:	Stephen Dial, STV Inc
Property Owner(s):	Ellis County, Texas
Site Acreage:	4.245 acres
Number of Lots:	1 lot
Number of Dwelling Units:	0 units
Park Land Dedication:	In lieu of parkland, the applicant has proposed to dedicate an additional 15' regional trail easement to extend the regional Waxahachie-Midlothian trail.
Adequate Public Facilities:	Adequate public facilities are available to the subject property.

SUBJECT PROPERTY

General Location:	Approximately 2,000 feet northwest of 2541 W US Highway 287 Business
Parcel ID Number(s):	290705
Current Zoning:	General Retail (GR)
Existing Use:	The subject property is currently undeveloped.
Platting History:	The subject property is a portion of the William J. Boyd Survey, Abstract 109.

Site Aerial:

PLANNING ANALYSIS

The applicant proposes to plat the subject property into one (1) commercial lot. The proposed plat includes a 10' right-way-way (ROW) dedication along US 287 Business, in conformance with the City of Waxahachie Thoroughfare Plan. A portion of the subject property is located outside of the Waxahachie city limits. However, Ellis County has elected to waive their platting authority for this property. Thus, only the regulations City of Waxahachie Subdivision Ordinance apply to this plat. The proposed plat adheres to all requirements of the Waxahachie Subdivision Ordinance.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the Plat request.

ATTACHED EXHIBITS

1. Plat

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's Subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by:

Zack King

Senior Planner

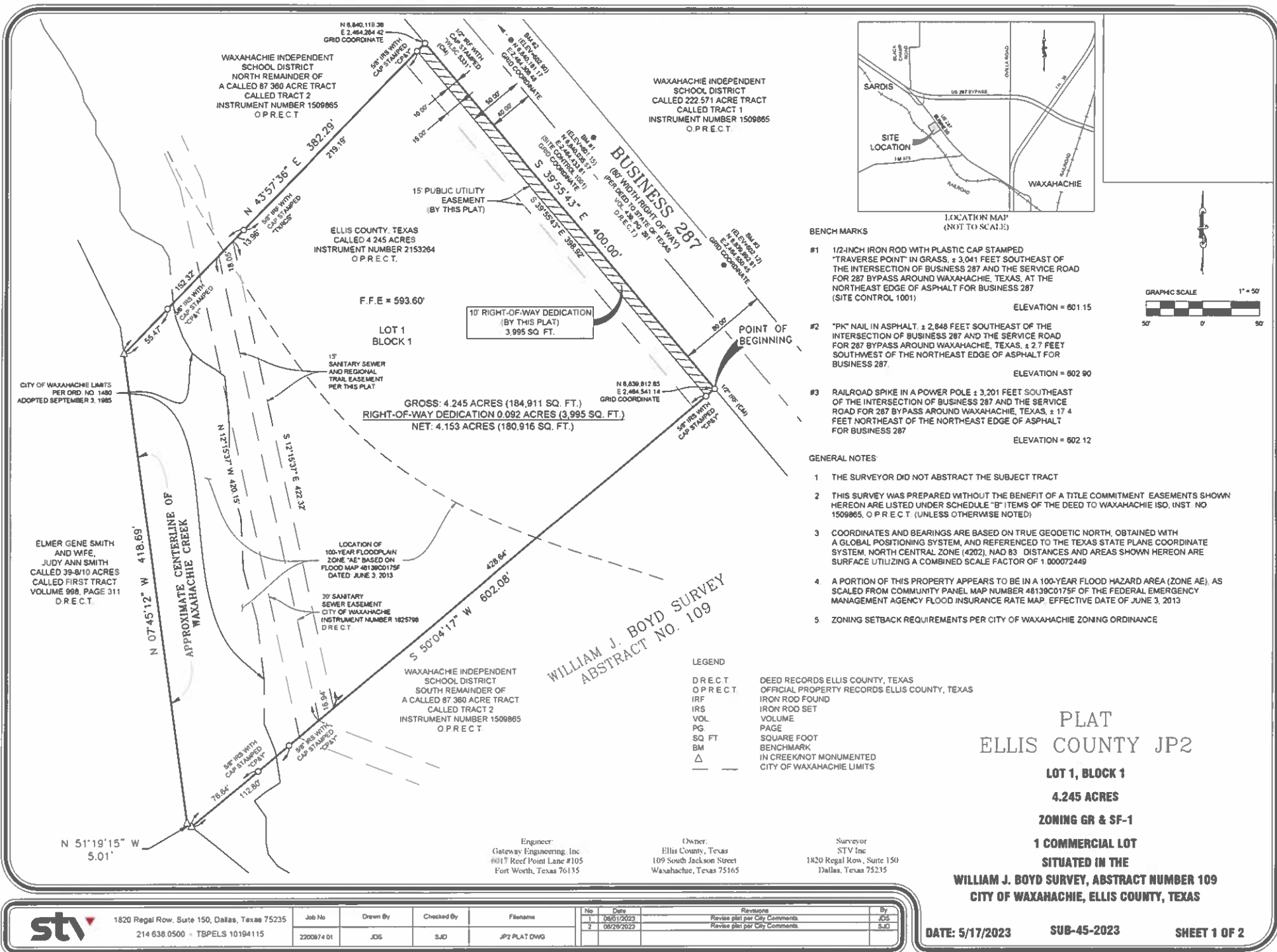
zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



OWNER'S CERTIFICATE
STATE OF TEXAS §
COUNTY OF ELLIS §

WHEREAS, Ellis County, Texas is the sole owner of a 4.245 acre (184,911 square foot) tract of land situated in the William J. Boyd Survey, Abstract 109, in the City of Waxahachie, Ellis County, Texas and being all of a called 4.245 acre tract of land described in a Texas General Warranty Deed to Ellis County, Texas as recorded in Instrument Number 2153264 of the Official Public Records of Ellis County, Texas (O.P.R.E.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found (controlling monument) at the east corner of said 4.245 acre tract and the north corner of the south remainder of a called 87.360 acre tract of land (Tract 2) described in a Special Warranty Deed to Waxahachie Independent School District, as recorded in Instrument Number 1509865, O.P.R.E.C.T., and being in the southwest Right-Of-Way (R.O.W.) line of Business 287 (80-foot width R.O.W.), as described in Right-Of-Way deed to the State of Texas, as recorded in Volume 438, Page 291 of the Deed Records of Ellis County, Texas (D.R.E.C.T.).

THENCE South 50 degrees 04 minutes 17 seconds West, departing the southwest R.O.W. line of said Business 287, along the southeast line of said 4.245 acre tract and the northwest line of the south remainder of a said 87.360 acre tract, passing at a distance of 490.00 feet a 5/8-inch iron rod with plastic cap stamped "CP&Y" set for a reference corner, continuing for a total distance of 602.08 feet to the south corner of said called 4.245 acre tract and the west corner of the south remainder said 87.360 acre tract, being in the east line of a called 39-8/10 acre tract of land (First Tract) described in a Warranty Deed with Vendor's Lien to Elmer Gene Smith and wife, Judy Ann Smith, as recorded in Volume 998, Page 311, D.R.E.C.T., also being in the approximate centerline of Waxahachie Creek;

THENCE North 51 degrees 19 minutes 15 seconds West, along the west line of said 4.245 acre tract, the east line of said 39-8/10 acre tract, and along the meanders of said Waxahachie Creek, a distance of 5.01 feet to an angle point;

THENCE North 07 degrees 45 minutes 12 seconds West, continuing along said common line, a distance of 418.69 feet to the west corner of said 4.245 acre tract and the south corner of the north remainder of said 87.360 acre tract of land (Tract 2) described in the aforementioned Special Warranty Deed to Waxahachie Independent School District, as recorded in Instrument Number 1509865, O.P.R.E.C.T.;

THENCE North 43 degrees 57 minutes 36 seconds East, departing the east line of said 39-8/10 acre tract and the approximate centerline of said Waxahachie Creek, along the northwest line of said 4.245 acre tract and the southeast line of the north remainder of said 87.360 acre tract, passing at a distance of 152.33 feet a 5/8-inch iron rod with cap stamped "TXRCS" found for a reference corner, continuing for a total distance of 382.28 feet to a 1/2-inch iron rod with plastic cap stamped "VALSC 5331" found (controlling monument) at the north corner of said 4.245 acre tract, and the east corner of the north remainder of said 87.360 acre tract, being in the southwest R.O.W. line of said Business 287;

THENCE South 39 degrees 55 minutes 43 seconds East, along the northeast line of said 4.245 acre tract and the southwest R.O.W. line of said Business 287, a distance of 400.00 feet to the POINT OF BEGINNING, containing within the metes recited 4.245 acres (184,911 square feet) of land, of which 0.092 acres (3,995 square feet) lies within a proposed 10-foot wide Right-Of-Way dedication, leaving a Net of 4.153 acres (180,905 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Ellis County, Texas acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as ELLIS COUNTY JP2, an addition to the City of Waxahachie, Ellis County, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown hereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas.

WITNESS, my hand, this _____ day of _____, 2023.

BY

Authorized Signature of Owner

Todd Little, County Judge

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Todd Little, County Judge, Owner Representative, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to be that he/she executed the same for the purpose and considerations herein expressed.

Given under my hand and seal of office, this _____ day of _____, 2023.

Notary Public in and for the State of Texas

My Commission Expires On

SURVEYOR'S CERTIFICATE
STATE OF TEXAS §
COUNTY OF ELLIS §

KNOW ALL MEN BY THESE PRESENTS:

That I, Stephen Joel Dui, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal Supervision in accordance with the Subdivision Ordinance of the City of Waxahachie.

*PRELIMINARY: THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Stephen Joel Dui

Registered Professional Land Surveyor
Texas Registration No. 6697

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Stephen Joel Dui R.P.L.S. 6697, Surveyor, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to be that he executed the same for the purpose and considerations herein expressed.

Given under my hand and seal of office, this _____ day of _____, 2023.

Notary Public in and for the State of Texas

My Commission Expires On

STATE OF TEXAS §
COUNTY OF ELLIS §

APPROVED BY: Planning and Zoning Commission City of Waxahachie

By:

Chairperson

Date

Attest

Date

PLAT
ELLIS COUNTY JP2

LOT 1, BLOCK 1

4.245 ACRES

ZONING GR & SF-1

1 COMMERCIAL LOT

SITUATED IN THE

WILLIAM J. BOYD SURVEY, ABSTRACT NUMBER 109
CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS

DATE: 5/17/2023

SUB-45-2023

SHEET 2 OF 2



1820 Regal Row, Suite 150, Dallas, Texas 75235
214 636 0500 - TBPELS 10194115

Job No	Drawn By	Checked By	Filename
2200874 01	JDS	SJD	JP2 PLAT.DWG

No	Date	Revisions	By
1	05/01/2023	Revised plat per City Comments	

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-153-2022



MEETING DATE(S)

Planning & Zoning Commission: July 11, 2023

City Council: July 17, 2023

CAPTION

Public Hearing on a request by Mahendra Kandepu, Lillian Custom Homes, for an **Amendment to Ordinance No. 3105**, to allow for a revised site plan and development standards within an approved Planned Development located at the intersection of Vermont Street and Parks School House Road (Property ID: 226116) – Owner: Falcon’s Landing A Series of EIS Development II LLC (ZDC-153-2022)
Staff: Zack King

RECOMMENDED MOTION

“I move to recommend approval of ZDC-153-2022, an Amendment to Ordinance 3105, subject to the conditions the staff report.

APPLICANT REQUEST

The applicant requests to amend Ordinance 3105 to include a detailed Elevation/Façade Plan, a Detailed Site Plan, and a Landscape Plan, and allow for front entry townhomes on Block A.

CASE INFORMATION

Applicant: Mahendra Kandepu, Lillian Custom Homes

Property Owner(s): Falcon’s Landing A Series of EIS Development II LLC

Site Acreage: 2.662 acres

Current Zoning: Planned Development (PD)

Requested Zoning: Planned Development (PD) – (Ordinance 3105 Amendment)

SUBJECT PROPERTY

General Location: The intersection of Vermont Street & Parks School House Road

Parcel ID Number(s): 226116

Existing Use: Currently undeveloped

Development History: The existing Planned Development was approved on April 1st, 2019, with Ordinance 3105. The developer has received Civil Construction Plan approval; but the City has not yet accepted infrastructure for the development.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	Single Family-3 (SF-3)	Lexington Arms – Single-Family Homes
East	Planned Development- Single Family-3 (PD-SF-3)	Camden Park – Single-Family Homes
South	Planned Development-Multi Family-2 (PD-MF-2)	Gala at Waxahachie – 55+ Apartments
West	Single Family-3 (SF-3)	Single Family Residence

Future Land Use Plan: Mixed-Use Neighborhood

Comprehensive Plan: A mixed-use neighborhood harkens back to the pre-suburban development pattern with smaller lots, smaller setbacks, shorter blocks, diverse housing typologies and very importantly, a mix of uses. This mixing of activities and uses allows the area to adapt and change over time to suit the needs of its inhabitants. Though it is not imperative for uses to always be mixed within the same building, it is important to note that large monolithic developments with near exclusive uses such as large multiplex apartments or retail centers with large land area being devoted to automobile parking do not suit mixed-use neighborhoods. Mixed-use neighborhoods are places where residents can live, work and play and are primarily accessible by foot. Given the various housing typologies encouraged in this place type, it is essential to make sure residential uses appropriately transition from one another based on the housing typology.

Thoroughfare Plan: The subject property is accessible via Parks School House Road, Peters Street, and Vermont Street.

Site Image:

PLANNING ANALYSIS

Purpose of Request

The applicant proposes to amend Ordinance 3105 in order to include a detailed Elevation/Façade Plan, a Detailed Site Plan, and a Landscape Plan, and allow for front entry townhomes on Block A.

Development History

The existing Planned Development was originally approved in 2019 under the name Peter's Point. The development included a total of four (4) buildings, each with up to six (6) townhomes. Each townhome was proposed to be on a fee simple, individually platted lot. At that time no detailed site plan was provided; but all twenty-four (24) proposed lots were required to be alley-served, rear-entry products.

The subject property came under new ownership in 2021 and the new ownership began preparing civil construction plan shortly after purchasing the property. During these preparations, the new ownership team identified a grading issue on the western portion of the property that would make the development of an alley and the extension of sewer infrastructure to the rear of the property more difficult than initially expected. To work around this issue, the owner proposed an alternative design that eliminated the alley on Block A and moved sewer infrastructure to the front of the lots. The Waxahachie Utilities Department confirmed that this alternative was feasible from a construction standpoint; but notified the applicant that the change would still need to be approved through an amendment to the existing PD. The owner proceeded to install street and utility infrastructure for the development and completed this work in the fall of 2022.

The owner subsequently submitted a formal PD Amendment Application in November of 2022, seeking to amend the PD to eliminate the requirement for the townhomes on Block A to be alley-served, rear entry products. As part of the application, the owner has also worked with staff to prepare a detailed site plan, landscape plan, and elevation/façade plan for inclusion in the PD Amendment. These documents were absent in the original PD. The site plan, landscape plan, and elevation/façade plan comply with the revised PD development regulations and the applicable regulations of the Waxahachie Zoning Ordinance.

Elevation/Façade

The original PD includes a requirement for using at least 70% masonry exterior construction materials for the townhomes, with cementous fiberboard included as a masonry material. With this PD Amendment, the owner is not seeking to deviate from this requirement; but is providing additional detail on the proposed exterior construction material for each building. Each building is now proposed to be 100% masonry, comprised of brick veneer, stone veneer, and cementous siding as per the table below. The material breakdown can be referenced further in attached exhibit number 4.

<u>Building</u>	<u>Brick Veneer</u>	<u>Stone Veneer</u>	<u>Cementous Siding</u>
A	60.15%	4.20%	35.66%
B	59.00%	4.06%	36.95%
C	78.11%	3.13%	18.76%
D	76.84%	3.47%	19.69%

Due to the additional site detail, landscape detail, and architectural regulations proposed with the PD Amendment, staff supports the request.

DEVELOPMENT REGULATIONS

The following table identifies the development regulations of the existing PD (Ord. 3105) in comparison to the specific development regulation changes that are proposed with the PD Amendment.

<u>Existing PD Regulations</u>	<u>Proposed Development Regulations</u>
All units are required to have a rear entry one (1) car garage.	All units are required to have two (2) car garages. Townhomes on Block A shall be front entry.
No fencing standards.	Townhomes on Block A shall have backyards with 6' fencing per the fencing exhibit.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 34 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

PUBLIC NOTIFICATION RESPONSES

Staff has received two (2) letters of opposition to the proposed PD Amendment.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, staff recommends approval of the PD Amendment request, subject to the conditions noted below.

Conditions:

1. A mutually agreed upon Development Agreement will be required to be executed prior to the issuance of building permits. The Development Agreement shall include the type and percentage of the proposed exterior construction materials for each building.
2. The property shall be platted prior to the issuance of a building permits for the development.
3. The applicant shall obtain building permits from the City of Waxahachie Building & Community Services Department prior to construction of the townhomes.

ATTACHED EXHIBITS

1. PON Responses
2. Ordinance 3105
3. Revised Development Regulations
4. Site Plan
5. Elevation/Façade and Floor Plan
6. Landscape Plan
7. Fencing & Signage Details
8. Elevation Renderings

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then the applicant will be notified to make corrections.
 - b. If all comments were satisfied, then the applicant will be issued a formal Approval Letter.

STAFF CONTACT INFORMATION

Prepared by:

Zack King, AICP

Senior Planner

zking@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

(8)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-153-2022

RECEIVED JUN 2 2023

LOREN GRAY INVESTMENTS LLC
PO BOX 2868
WAXAHACHIE, TX 75168-8868

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 11, 2023 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 17, 2023 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

Request by Mahendra Kandepu, Lillian Custom Homes, for an **Amendment to Ordinance No. 3105**, to allow for a revised site plan and development standards within an approved Planned Development located at the intersection of Vermont Street and Parks School House Road (Property ID: 226116) – Owner: FALCON'S LANDING A SERIES OF EIS DEVELOPMENT II LLC (ZDC-153-2022) Staff: Zack King

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-153-2022

City Reference: 173742

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **July 5, 2023** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

Would like to see standards held higher



Signature

Brad Yates owner

Printed Name and Title

6/28/23

Date

PO Box 2868

Address

Waxahachie, TX 75168

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(8)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-153-2022

RECEIVED JUN 2 2023

LOREN GRAY INVESTMENTS LLC
PO BOX 2868
WAXAHACHIE, TX 75168-8868

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 11, 2023 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 17, 2023 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

Request by Mahendra Kandepu, Lillian Custom Homes, for an **Amendment to Ordinance No. 3105**, to allow for a revised site plan and development standards within an approved Planned Development located at the intersection of Vermont Street and Parks School House Road (Property ID: 226116) – Owner: FALCON'S LANDING A SERIES OF EIS DEVELOPMENT II LLC (ZDC-153-2022) Staff: Zack King

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-153-2022

City Reference: 173751

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **July 5, 2023** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☒ OPPOSE

Comments:

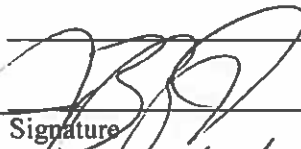
Would like to see standards held higher

Signature

Date

Printed Name and Title

Address


Brad Yates owner

6/28/23
PO Box 2868
Waxahachie, TX 75168

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

ORDINANCE NO. 3105

AN ORDINANCE AUTHORIZING A ZONING CHANGE FROM SINGLE FAMILY-3 (SF-3) TO PLANNED DEVELOPMENT WITH SINGLE FAMILY-ATTACHED (SF-A) DEVELOPMENT STANDARDS, WITH CONCEPT PLAN LOCATED AT THE NORTHWEST CORNER OF PETERS STREET AT PARKS SCHOOL HOUSE ROAD IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING 2.662 ACRES KNOWN AS A PORTION OF PROPERTY ID 226116 OF THE SM DURRETT ABSTRACT, AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, a proper application for a PD, with Concept Plan has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number PD-19-0023. Said application, having been referred to the Planning and Zoning (P&Z) Commission for their final report, was recommended by the P&Z Commission for zoning change approval of the subject property from SF-3 to PD with SF-A development standards, with Concept Plan; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said zoning amendment;

NOW, THEREFORE, this property is rezoned from SF-3 to PD with SF-A development standards, with Concept Plan in order to facilitate development of the subject property in a manner that allows single family/townhome structures on the following property: a portion of Property ID 226116 of the SM Durrett Abstract, which is shown on Exhibit A, in accordance with the Concept Plan provisions attached as Exhibit B, and the conceptual elevation plan attached as Exhibit C.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED, AND ADOPTED on this 1st day of April, 2019.




MAYOR

ATTEST:


Assistant City Secretary

ORDINANCE 3105

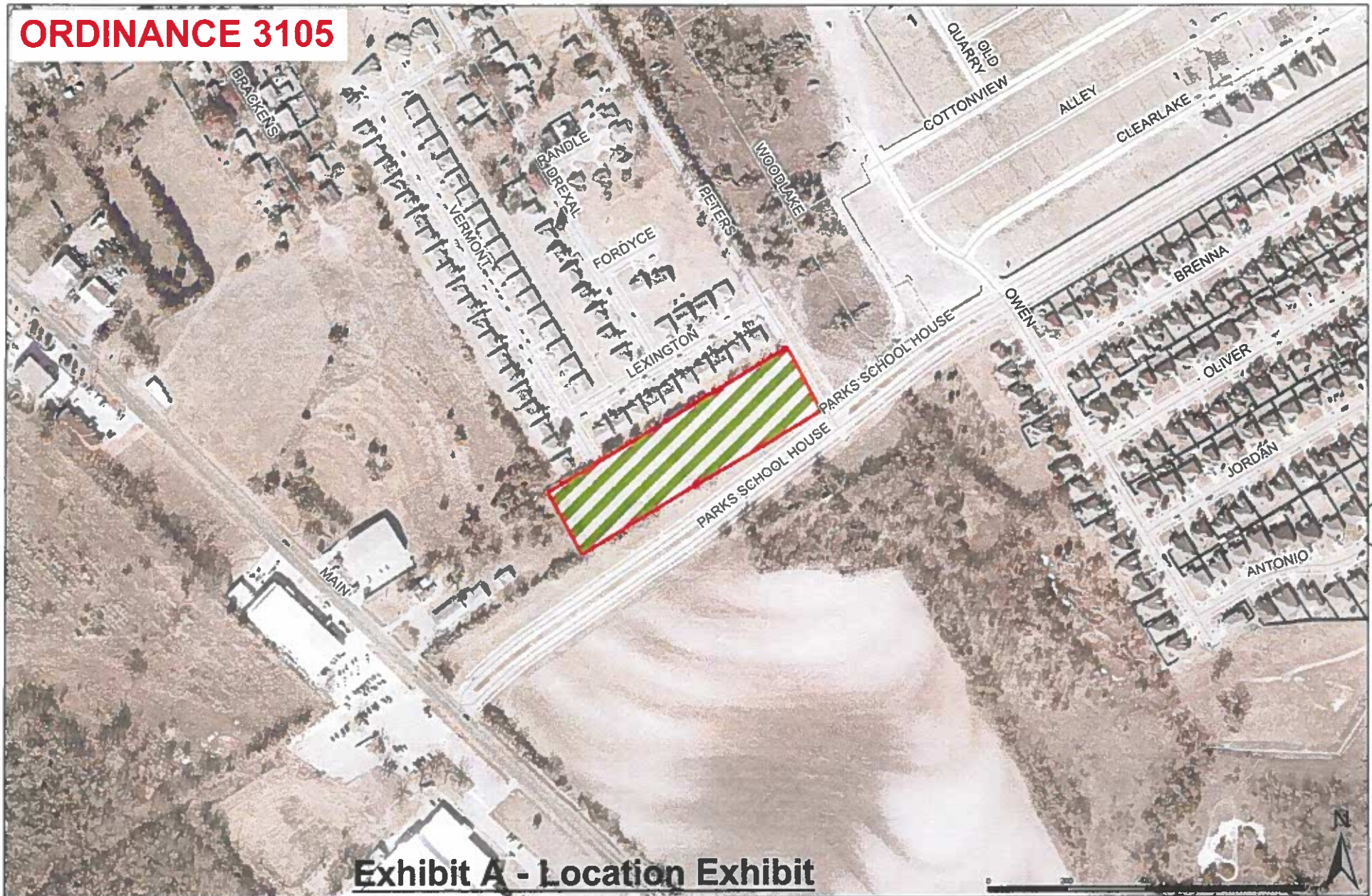


Exhibit A - Location Exhibit



PD-19-0023 Peter's Point Location Exhibit

Legend



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the City of Waxahachie for the sole purpose of geographic reference. No warranty is made by the City of Waxahachie regarding specific accuracy or completeness.

Peters Pointe Case: PD-19-0023

Exhibit B Planned Development Regulations

Zoning District RESIDENTIAL SINGLE FAMILY ATTACHED (SFA) is the intended base zoning classification underlying this PD. Any variation to the base zoning district regulations and comprehensive plan are as detailed in these PD regulations along with a site plan and concept plan.

PD DISTRICT DEVELOPMENT STANDARDS

Description of Request

- The intent is to modify the existing zoning requirements from single family to a Planned Development which will allow for the development of multiple attached Town Home/Row House Buildings or single family attached. Any conditions found within the Single-Family Attached (SF-A) zoning district or Zoning Ordinance that are not written herein, shall default to the City of Waxahachie Code of Ordinances, as amended.

Proposed Use of Property

- The purpose and intent of this Planned Development (PD) is to allow for the development of four attached town home buildings containing 5 to 6 attached single family homes per building using similar architectural style as the attached elevation and similar family developments of Cliff Estates and Camden Gardens, both located on Park School House Rd and in view of the subject property and creating a common look and style of the area.

General Development Guidelines

- The site plan is attached as exhibit "C".
- An elevation is attached as exhibit "D".
- Vermont Street shall be extended to Park School House Road matching the same existing concrete widths and ROW dimensions as it currently exists.
- The attached homes will have common vertical walls.
- Lots 1-5 Block A, Park School House Road, shall contain 3 buildings of 5 to 6 attached homes per building, minimum of 25 ft wide lots with 15 ft side setbacks and 15 ft minimum space between buildings. The front set back from the street shall be a minimum of 20 ft.
- Minimum SF of each attached home to be 1,000 ft. and contain a rear entry and minimum of a one car garage.
- Height to be a maximum of two-story units.
- All lots shall be fee simple.
- The entire development shall be managed by an HOA. The HOA will maintain all landscaping in a professional manner. The HOA will own and manage common areas.

Additional Requirements on PD – Single Family Attached

- Masonry requirements of 70% with roof eaves, recessed balcony's and porch areas of Cementous fiberboard or similar materials.
- Each unit shall have a privacy fenced back yard of 6ft in height.
- Back driveways shall be minimum of 20 ft of depth.
- No parking will be allowed on Park School House Road.
- All roofing materials shall be of 30-year architectural shingles, flat roofs will have Thermoplastic Polyolefin roofing (TPO).
- All HVAC systems shall be screened and out of view from public right of ways.
- Cluster mailbox receptacles shall be used and located in an area to be determined.
- City of Waxahachie is the owner of record of an unused dedicated alley way at the rear of the homes on Lexington Drive. This dedicated alley way to be associated to the transfer, the responsibility of the developer.
- A monument sign identifying the property and following city standards may be placed on the property, outside of any utility easements, at the discretion of the developer.

City Requirements VS PD Minimum Requirements Table (See attached table)

Standards	Single-Family Attached (SF-A) Requirement	PD Proposal (25 ft Wide Single Family Attached)
Minimum Lot Area	3,630 SF per dwelling unit, not to exceed 12 dwelling units per acre (calculated on gross acreage). The minimum lot size shall be 10,890 SF.	2,125 SF (Does not include alley)
Height Requirements (Not to Exceed)	3 stories in DN, MF1, or MF2, 4 stories in CA for main building. Accessory building 1 story.	Two Story Maximum Height
Lot Density (Number Of units Per Acre)	12 units per acre	9.2 Units Per Acre
Minimum Dwelling Unit (Square Feet)	N/A	1,000 Minimum SF A/C space per unit
Minimum Lot Width	N/A	25 ft wide
Minimum Lot Depth	N/A	85 ft deep
Front Yard Setback	15ft	20 ft
Rear Yard Setback	Adjacent to Residential 25 ft. otherwise 10 ft	20 ft (does not include alley)
Maximum Lot Coverage	50% by main buildings and accessory buildings	1036 SF Includes garage (50% Maximum Lot Coverage)
Parking Requirements	2 behind front building plan, at least 1 enclosed	1 interior with garage and two exterior
Minimum Size Dwelling Units Allowed	1,000 sf	1000 SF minimum per unit

ORDINANCE 3105



**Exhibit C - Concept
Elevations**

Revised Development Regulations

(8)

Revised Planned Development Regulations

Zoning District RESIDENTIAL SINGLE FAMILY ATTACHED (SFA) is the intended base zoning classification underlying this PD. Any variation to the base zoning district regulations and comprehensive plan are as detailed in these PD regulations along with a site plan and concept plan.

PD DISTRICT DEVELOPMENT STANDARDS

Description of Request

- The intent is to modify the existing zoning requirements from single family to a Planned Development which will allow for the development of multiple attached Town Home/Row House Buildings or single family attached. Any conditions found within the Single-Family Attached (SF-A) zoning district or Zoning Ordinance that are not written herein, shall default to the City of Waxahachie Code of Ordinances, as amended.

Proposed Use of Property

- The purpose and intent of this Planned Development (PD) is to allow for the development of four attached town home buildings containing 5 to 6 attached single family homes per building using similar architectural style as the attached elevation and similar family developments of Cliff Estates and Camden Gardens, both located on Park School House Rd and in view of the subject property and creating a common look and style of the area.

General Development Guidelines

- The site plan is attached as exhibit "C".
- An elevation is attached as exhibit "D".
- Vermont Street shall be extended to Park School House Road matching the same existing concrete widths and ROW dimensions as it currently exists.
- The attached homes will have common vertical walls.
- Lots 1-5 Block A, Park School House Road, shall contain 3 buildings of 5 to 6 attached homes per building, minimum of 25 ft wide lots with 15 ft side setbacks and 15 ft minimum space between buildings. The front set back from the street shall be a minimum of 20 ft.
- Height to be a maximum of two-story units.
- All lots shall be fee simple.
- The entire development shall be managed by an HOA. The HOA will maintain all landscaping in a professional manor. The HOA will own and manage common areas.
- Minimum SF of each Block A attached home to be 1,000 sq. ft. and contain a front entry and minimum of two car garage.
- Minimum SF of each Block B attached home to be 1,000 sq. ft. and contain a rear entry and minimum of two car garage.

Revised Development Regulations

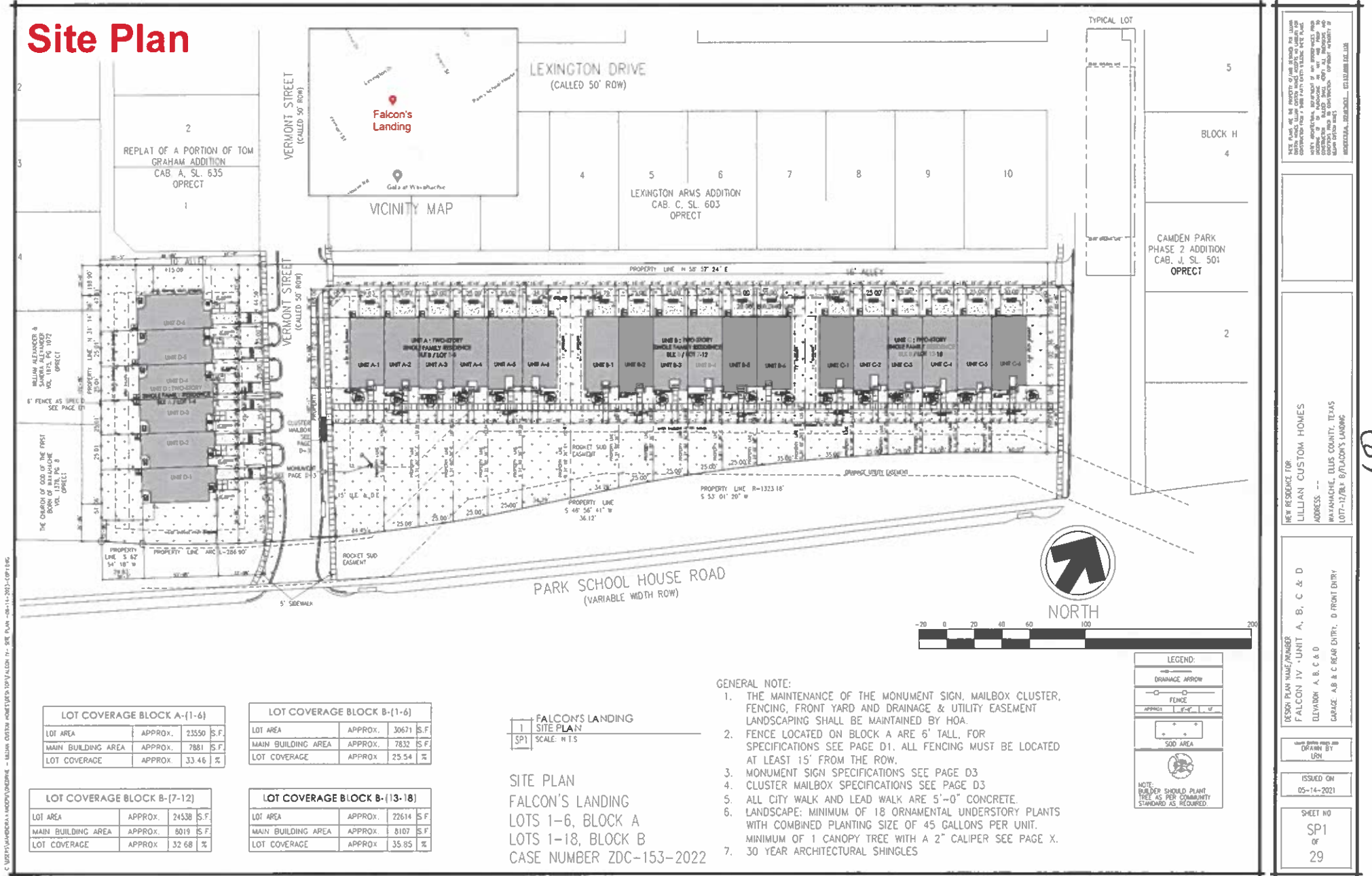
Additional Requirements on PD – Single Family Attached

- Masonry requirements of 70% with roof eaves, recessed balcony's and porch areas of Cementous fiberboard or similar materials.
- Each unit shall have a privacy fenced back yard of 6ft in height.
- Back driveways shall be minimum of 20 ft of depth.
- No parking will be allowed on Park School House Road.
- All roofing materials shall be of 30-year architectural shingles, flat roofs will have Thermoplastic Polyolefin roofing (TPO).
- All HVAC systems shall be screened and out of view from public right of ways.
- Cluster mailbox receptacles shall be used and located in an area to be determined.
- City of Waxahachie is the owner of record of an unused dedicated alley way at the rear of the homes on Lexington Drive. This dedicated alley way to be associated to the transfer, the responsibility of the developer.
- A monument sign identifying the property and following city standards may be placed on the property, outside of any utility easements, at the discretion of the developer.
- Each unit on Block A shall have a fenced backyard of 6' in height.

City Requirements VS PD Minimum Requirements Table (See attached table)

Standards	Single-Family Attached (SF-A) Requirement	PD Proposal (25 ft Wide Single Family Attached)
Minimum Lot Area	3,630 SF per dwelling unit, not to exceed 12 dwelling units per acre (calculated on gross acreage). The minimum lot size shall be 10,890 SF.	2,125 SF (Does not include alley)
Height Requirements (Not to Exceed)	3 stories in DN, MF1, or MF2, 4 stories in CA for main building. Accessory building 1 story.	Two Story Maximum Height
Lot Density (Number Of units Per Acre)	12 units per acre	9.2 Units Per Acre
Minimum Dwelling Unit (Square Feet)	N/A	1,000 Minimum SF A/C space per unit
Minimum Lot Width	N/A	25 ft wide
Minimum Lot Depth	N/A	85 ft deep
Front Yard Setback	15ft	20 ft
Rear Yard Setback	Adjacent to Residential 25 ft. otherwise 10 ft	20 ft (does not include alley)
Maximum Lot Coverage	50% by main buildings and accessory buildings	1036 SF Includes garage (50% Maximum Lot Coverage)
Parking Requirements	2 behind front building plan, at least 1 enclosed	1 interior with garage and two exterior
Minimum Size Dwelling Units Allowed	1,000 sf	1000 SF minimum per unit

Site Plan



NOTE: THIS PLAN IS THE PROPERTY OF THE LULU LILLIAN CUSTOM HOMES, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE LULU LILLIAN CUSTOM HOMES, INC. ANY REPRODUCTION OR COPIING OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF THE LULU LILLIAN CUSTOM HOMES, INC. IS STRICTLY PROHIBITED. THE LULU LILLIAN CUSTOM HOMES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE LULU LILLIAN CUSTOM HOMES, INC. IS NOT RESPONSIBLE FOR ANY CHANGES TO THIS PLAN THAT MAY BE MADE BY THE LULU LILLIAN CUSTOM HOMES, INC. OR ANY OTHER PARTY. THE LULU LILLIAN CUSTOM HOMES, INC. IS NOT RESPONSIBLE FOR ANY CHANGES TO THIS PLAN THAT MAY BE MADE BY THE LULU LILLIAN CUSTOM HOMES, INC. OR ANY OTHER PARTY.

NEW RESIDENCE FOR LILLIAN CUSTOM HOMES
ADDRESS: ---
BAXANACHIE, ELLIS COUNTY, TEXAS
LOT-12/BLK 8/FALCON'S LANDING

DESIGN PLAN MADE NUMBER
FALCON 1V - UNIT A, B, C & D
ELEVATION A, B, C & D
GARAGE A, B & C REAR ENTRY, D FRONT ENTRY

ISSUED ON
05-14-2021

SHEET NO
SP1
OF
29

(8)

Site Plan

A-1

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 38 S.F.
CITY WALK	APPROX 258 S.F.
DRIVE	APPROX 230 S.F.
APPROACH	APPROX 18 S.F.
TOTAL	APPROX 524 S.F.

LOT COVERAGE	
LOT AREA	APPROX 1437 S.F.
MAIN BUILDING AREA	APPROX 1258 S.F.
LOT COVERAGE	APPROX 16.81 %

SOD COVERAGE	
LOT AREA	APPROX 1437 S.F.
SOD AREA	APPROX 3084 S.F.
TOTAL OPEN SPACE	APPROX 75.22 %

A-2

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 37 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 321 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 518 S.F.

LOT COVERAGE	
LOT AREA	APPROX 4532 S.F.
MAIN BUILDING AREA	APPROX 1263 S.F.
LOT COVERAGE	APPROX 27.86 %

SOD COVERAGE	
LOT AREA	APPROX 4532 S.F.
SOD AREA	APPROX 2765 S.F.
TOTAL OPEN SPACE	APPROX 61.00 %

A-3

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 47 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 525 S.F.

LOT COVERAGE	
LOT AREA	APPROX 4448 S.F.
MAIN BUILDING AREA	APPROX 1335 S.F.
LOT COVERAGE	APPROX 30.07 %

SOD COVERAGE	
LOT AREA	APPROX 4448 S.F.
SOD AREA	APPROX 2612 S.F.
TOTAL OPEN SPACE	APPROX 58.75 %

A-4

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 55 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 523 S.F.

LOT COVERAGE	
LOT AREA	APPROX 4345 S.F.
MAIN BUILDING AREA	APPROX 1271 S.F.
LOT COVERAGE	APPROX 29.25 %

SOD COVERAGE	
LOT AREA	APPROX 4345 S.F.
SOD AREA	APPROX 2528 S.F.
TOTAL OPEN SPACE	APPROX 58.15 %

A-5

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 56 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 324 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 520 S.F.

LOT COVERAGE	
LOT AREA	APPROX 4333 S.F.
MAIN BUILDING AREA	APPROX 1290 S.F.
LOT COVERAGE	APPROX 29.88 %

SOD COVERAGE	
LOT AREA	APPROX 4333 S.F.
SOD AREA	APPROX 2438 S.F.
TOTAL OPEN SPACE	APPROX 56.31 %

A-6

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 56 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 324 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 520 S.F.

LOT COVERAGE	
LOT AREA	APPROX 4333 S.F.
MAIN BUILDING AREA	APPROX 1290 S.F.
LOT COVERAGE	APPROX 31.16 %

SOD COVERAGE	
LOT AREA	APPROX 4333 S.F.
SOD AREA	APPROX 2318 S.F.
TOTAL OPEN SPACE	APPROX 56.47 %

B-1

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 58 S.F.
CITY WALK	APPROX 222 S.F.
DRIVE	APPROX 326 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 619 S.F.

LOT COVERAGE	
LOT AREA	APPROX 8892 S.F.
MAIN BUILDING AREA	APPROX 1258 S.F.
LOT COVERAGE	APPROX 18.99 %

SOD COVERAGE	
LOT AREA	APPROX 8892 S.F.
SOD AREA	APPROX 5028 S.F.
TOTAL OPEN SPACE	APPROX 72.07 %

B-2

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 58 S.F.
CITY WALK	APPROX 125 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 616 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2748 S.F.
MAIN BUILDING AREA	APPROX 1258 S.F.
LOT COVERAGE	APPROX 35.49 %

SOD COVERAGE	
LOT AREA	APPROX 2748 S.F.
SOD AREA	APPROX 1615 S.F.
TOTAL OPEN SPACE	APPROX 51.89 %

B-3

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 53 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 518 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2648 S.F.
MAIN BUILDING AREA	APPROX 1388 S.F.
LOT COVERAGE	APPROX 55.77 %

SOD COVERAGE	
LOT AREA	APPROX 2648 S.F.
SOD AREA	APPROX 1516 S.F.
TOTAL OPEN SPACE	APPROX 55.16 %

B-4

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 47 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 514 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2643 S.F.
MAIN BUILDING AREA	APPROX 1331 S.F.
LOT COVERAGE	APPROX 50.22 %

SOD COVERAGE	
LOT AREA	APPROX 2643 S.F.
SOD AREA	APPROX 1488 S.F.
TOTAL OPEN SPACE	APPROX 47.58 %

B-5

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 47 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 514 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2643 S.F.
MAIN BUILDING AREA	APPROX 1331 S.F.
LOT COVERAGE	APPROX 50.22 %

SOD COVERAGE	
LOT AREA	APPROX 2643 S.F.
SOD AREA	APPROX 1422 S.F.
TOTAL OPEN SPACE	APPROX 46.99 %

B-6

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 54 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 321 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 514 S.F.

LOT COVERAGE	
LOT AREA	APPROX 1387 S.F.
MAIN BUILDING AREA	APPROX 1211 S.F.
LOT COVERAGE	APPROX 136.71 %

SOD COVERAGE	
LOT AREA	APPROX 1387 S.F.
SOD AREA	APPROX 1365 S.F.
TOTAL OPEN SPACE	APPROX 48.21 %

C-1

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 43 S.F.
CITY WALK	APPROX 215 S.F.
DRIVE	APPROX 331 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 615 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2602 S.F.
MAIN BUILDING AREA	APPROX 1257 S.F.
LOT COVERAGE	APPROX 22.30 %

SOD COVERAGE	
LOT AREA	APPROX 2602 S.F.
SOD AREA	APPROX 2862 S.F.
TOTAL OPEN SPACE	APPROX 66.33 %

C-2

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 54 S.F.
CITY WALK	APPROX 125 S.F.
DRIVE	APPROX 332 S.F.
APPROACH	APPROX 17 S.F.
TOTAL	APPROX 528 S.F.

LOT COVERAGE	
LOT AREA	APPROX 3248 S.F.
MAIN BUILDING AREA	APPROX 1288 S.F.
LOT COVERAGE	APPROX 40.27 %

SOD COVERAGE	
LOT AREA	APPROX 3248 S.F.
SOD AREA	APPROX 1768 S.F.
TOTAL OPEN SPACE	APPROX 43.90 %

C-3

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 48 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 333 S.F.
APPROACH	APPROX 17 S.F.
TOTAL	APPROX 522 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2718 S.F.
MAIN BUILDING AREA	APPROX 1322 S.F.
LOT COVERAGE	APPROX 61.11 %

SOD COVERAGE	
LOT AREA	APPROX 2718 S.F.
SOD AREA	APPROX 1388 S.F.
TOTAL OPEN SPACE	APPROX 43.18 %

C-4

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 47 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 334 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 521 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2295 S.F.
MAIN BUILDING AREA	APPROX 1338 S.F.
LOT COVERAGE	APPROX 42.40 %

SOD COVERAGE	
LOT AREA	APPROX 2295 S.F.
SOD AREA	APPROX 1328 S.F.
TOTAL OPEN SPACE	APPROX 41.78 %

C-5

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 48 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 335 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 523 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2282 S.F.
MAIN BUILDING AREA	APPROX 1339 S.F.
LOT COVERAGE	APPROX 41.82 %

SOD COVERAGE	
LOT AREA	APPROX 2282 S.F.
SOD AREA	APPROX 1354 S.F.
TOTAL OPEN SPACE	APPROX 42.29 %

C-6

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 54 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 336 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 530 S.F.

LOT COVERAGE	
LOT AREA	APPROX 5125 S.F.
MAIN BUILDING AREA	APPROX 1314 S.F.
LOT COVERAGE	APPROX 25.64 %

SOD COVERAGE	
LOT AREA	APPROX 5125 S.F.
SOD AREA	APPROX 3222 S.F.
TOTAL OPEN SPACE	APPROX 40.17 %

D-1

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 48 S.F.
CITY WALK	APPROX 222 S.F.
DRIVE	APPROX 326 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 611 S.F.

LOT COVERAGE	
LOT AREA	APPROX 3412 S.F.
MAIN BUILDING AREA	APPROX 1388 S.F.
LOT COVERAGE	APPROX 29.07 %

SOD COVERAGE	
LOT AREA	APPROX 3412 S.F.
SOD AREA	APPROX 4822 S.F.
TOTAL OPEN SPACE	APPROX 74.45 %

D-2

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 52 S.F.
CITY WALK	APPROX 125 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 520 S.F.

LOT COVERAGE	
LOT AREA	APPROX 3294 S.F.
MAIN BUILDING AREA	APPROX 1388 S.F.
LOT COVERAGE	APPROX 44.15 %

SOD COVERAGE	
LOT AREA	APPROX 3294 S.F.
SOD AREA	APPROX 1934 S.F.
TOTAL OPEN SPACE	APPROX 43.78 %

D-3

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 51 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 329 S.F.
APPROACH	APPROX 17 S.F.
TOTAL	APPROX 521 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2941 S.F.
MAIN BUILDING AREA	APPROX 1325 S.F.
LOT COVERAGE	APPROX 45.09 %

SOD COVERAGE	
LOT AREA	APPROX 2941 S.F.
SOD AREA	APPROX 1928 S.F.
TOTAL OPEN SPACE	APPROX 42.81 %

D-4

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 47 S.F.
CITY WALK	APPROX 124 S.F.
DRIVE	APPROX 330 S.F.
APPROACH	APPROX 16 S.F.
TOTAL	APPROX 517 S.F.

LOT COVERAGE	
LOT AREA	APPROX 2925 S.F.
MAIN BUILDING AREA	APPROX 1332 S.F.
LOT COVERAGE	APPROX 44.51 %

SOD COVERAGE	
LOT AREA	APPROX 2925 S.F.
SOD AREA	APPROX 1771 S.F.
TOTAL OPEN SPACE	APPROX 43.45 %

D-5

FLATWORK AREA TABULATIONS	
LEAD WALK	APPROX 52 S.F.
CITY WALK	APPROX 125 S.F.
DRIVE	APPROX 328 S.F.
APPROACH	APPROX 15 S.F.
TOTAL	APPROX 520 S.F.

||
||
||

Elevation/Facade Plan

BUILDING A • REAR ENTRY • LAST UPDATE: 05-26-2023



FALCON LANDING

INDEX:

- C0.1 COVER PAGE: INDEX, GENERAL NOTES & ABBRV.
- A0.1 FIRST FLOOR PLAN
- A0.2 SECOND FLOOR PLAN
- A0.3 ROOF PLAN
- A0.4 FRONT & REAR ELEVATIONS
- A0.5 RIGHT & LEFT ELEVATIONS

GENERAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
2. CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
3. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
6. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
7. CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAMB BUILDING STANDARDS.

ABBREVIATIONS:

R & S	ROD & SHELF
X-SH	SHELF/SHELVES
ABV.	ABOVE
A.F.F.	FINISH FLOOR
APRX.	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLC	CEILING
COV'D	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXTD	EXTENDED
FLUOR	FLUORESCENT
FX	FIXED
HB	HOSE BIB
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OBS	OBSOLETE
OPQ	OPAQUE
OPT	OPTIONAL
PL	PLATE HEIGHT
PWDR	POWDER ROOM
RAD/R	RADIUS
REF	REFERENCE
STD	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP	TYPICAL
W.C.	WATER CLOSET
WD	WOOD
W.C.	WALKING CLOSET
WP	WATER PROOF

THIS PLAN IS THE PROPERTY OF LILLIAN CUSTOM HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THE TITLE. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF LILLIAN CUSTOM HOMES, ANY REPRODUCTION OR TRANSMISSION OF THIS PLAN IS PROHIBITED. LILLIAN CUSTOM HOMES SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN.

LILLIAN
CUSTOM HOMES

LILLIAN CUSTOM HOMES, SPEC. HOME
ADDRESS: FALCON LANDING

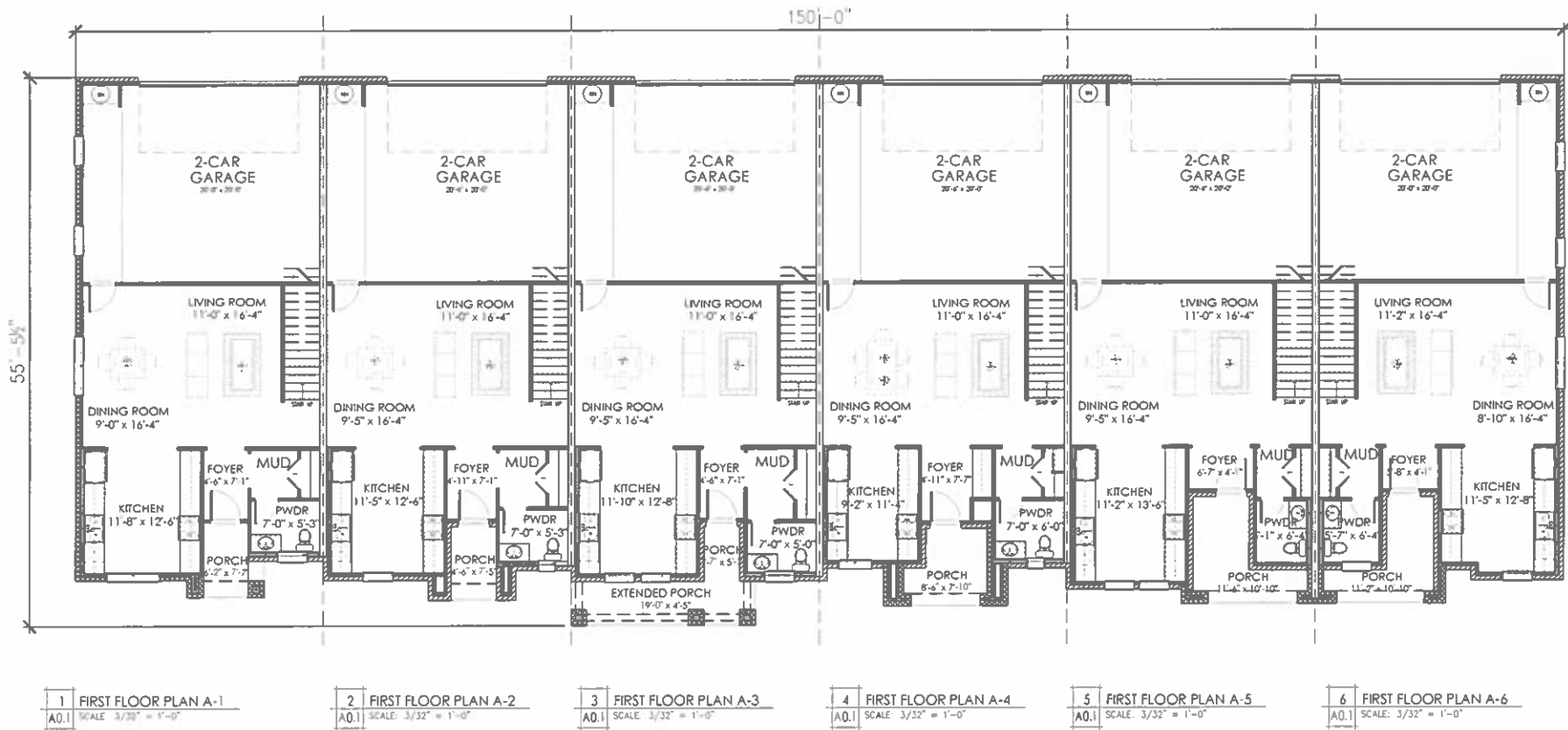
REVISIONS: 01-10-2023
BUILDING A
ELEVATION A, STORE
CABAGE REAR ENTRY

ISSUED ON:
01-10-2023

SHEET NO.
C0.1
OF
6

(8)

Elevation/Facade Plan



THIS PLAN AND THE PROPERTY IS NOT BEING OFFERED FOR SALE OR CONSTRUCTION UNTIL THE LILLIAN CUSTOM HOMES SPEC HOME IS BUILT. THE LILLIAN CUSTOM HOMES SPEC HOME IS NOT BEING OFFERED FOR SALE OR CONSTRUCTION UNTIL THE LILLIAN CUSTOM HOMES SPEC HOME IS BUILT. THE LILLIAN CUSTOM HOMES SPEC HOME IS NOT BEING OFFERED FOR SALE OR CONSTRUCTION UNTIL THE LILLIAN CUSTOM HOMES SPEC HOME IS BUILT.



FOR RESALE ONLY
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: 11111 LILLIAN DRIVE
LILLIAN, OHIO 44130

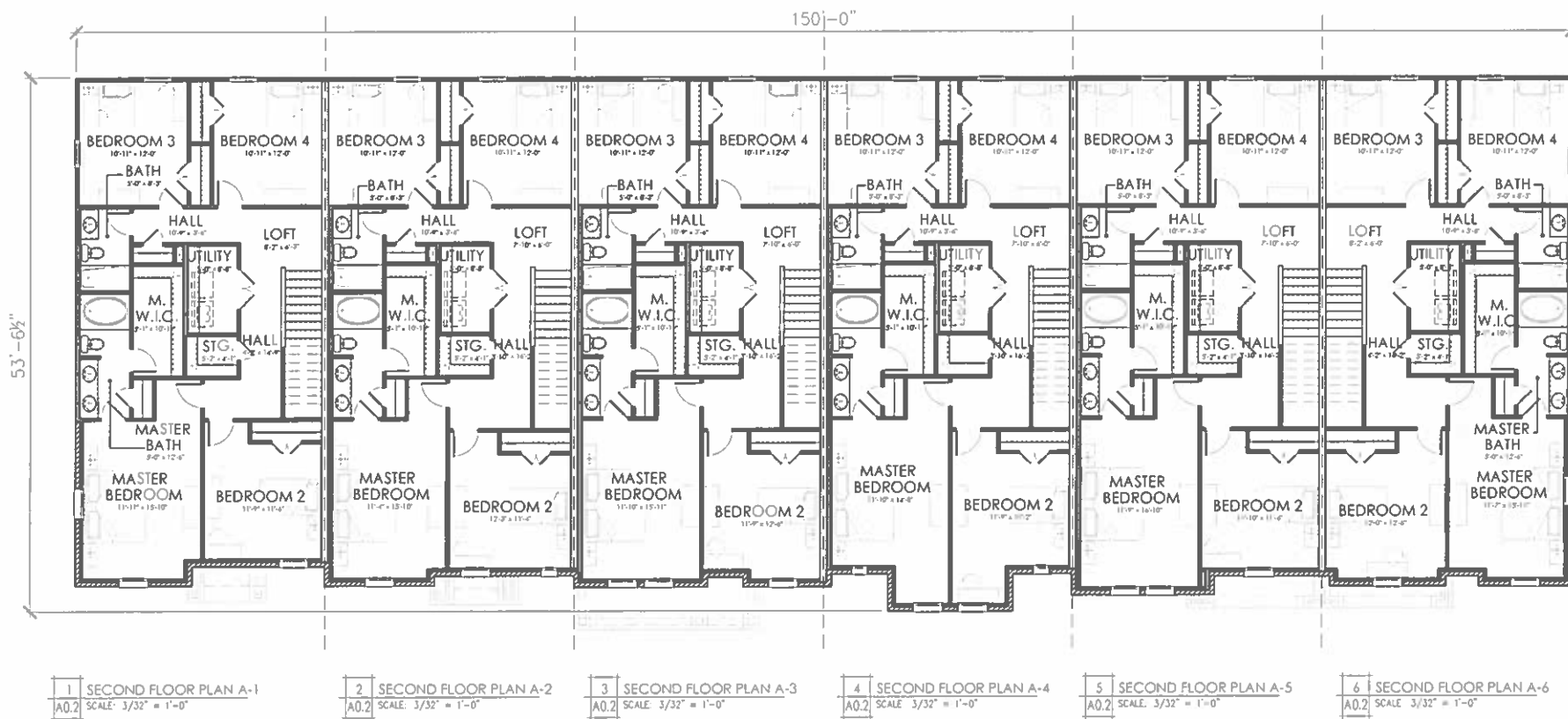
RESIDENTIAL VALUE VUE
BUILDING A
ELEVATION A - STORE
GARAGE REAR ENTRY

ISSUED ON
05-28-2021

SHEET NO.
A0.1
OF
6

(8)

Elevation/Facade Plan



1. **NO. 1000** 2. **NO. 1000** 3. **NO. 1000** 4. **NO. 1000** 5. **NO. 1000** 6. **NO. 1000** 7. **NO. 1000** 8. **NO. 1000** 9. **NO. 1000** 10. **NO. 1000** 11. **NO. 1000** 12. **NO. 1000** 13. **NO. 1000** 14. **NO. 1000** 15. **NO. 1000** 16. **NO. 1000** 17. **NO. 1000** 18. **NO. 1000** 19. **NO. 1000** 20. **NO. 1000** 21. **NO. 1000** 22. **NO. 1000** 23. **NO. 1000** 24. **NO. 1000** 25. **NO. 1000** 26. **NO. 1000** 27. **NO. 1000** 28. **NO. 1000** 29. **NO. 1000** 30. **NO. 1000** 31. **NO. 1000** 32. **NO. 1000** 33. **NO. 1000** 34. **NO. 1000** 35. **NO. 1000** 36. **NO. 1000** 37. **NO. 1000** 38. **NO. 1000** 39. **NO. 1000** 40. **NO. 1000** 41. **NO. 1000** 42. **NO. 1000** 43. **NO. 1000** 44. **NO. 1000** 45. **NO. 1000** 46. **NO. 1000** 47. **NO. 1000** 48. **NO. 1000** 49. **NO. 1000** 50. **NO. 1000** 51. **NO. 1000** 52. **NO. 1000** 53. **NO. 1000** 54. **NO. 1000** 55. **NO. 1000** 56. **NO. 1000** 57. **NO. 1000** 58. **NO. 1000** 59. **NO. 1000** 60. **NO. 1000** 61. **NO. 1000** 62. **NO. 1000** 63. **NO. 1000** 64. **NO. 1000** 65. **NO. 1000** 66. **NO. 1000** 67. **NO. 1000** 68. **NO. 1000** 69. **NO. 1000** 70. **NO. 1000** 71. **NO. 1000** 72. **NO. 1000** 73. **NO. 1000** 74. **NO. 1000** 75. **NO. 1000** 76. **NO. 1000** 77. **NO. 1000** 78. **NO. 1000** 79. **NO. 1000** 80. **NO. 1000** 81. **NO. 1000** 82. **NO. 1000** 83. **NO. 1000** 84. **NO. 1000** 85. **NO. 1000** 86. **NO. 1000** 87. **NO. 1000** 88. **NO. 1000** 89. **NO. 1000** 90. **NO. 1000** 91. **NO. 1000** 92. **NO. 1000** 93. **NO. 1000** 94. **NO. 1000** 95. **NO. 1000** 96. **NO. 1000** 97. **NO. 1000** 98. **NO. 1000** 99. **NO. 1000** 100. **NO. 1000**

LILLIAN

ATTN: RESURFACER FOR
MILLIAN CUSTOM HOMES_SPECS HOME
ADDRESS: FALCON SLANDING

DESIGN PLAN NAME, NUMBER
BUILDING A
ELEVATION A - STONE
CARCAGE RE-ENTRY

DRAWN BY:
DSC/MR

ISSUE ON
05-26-2021

SHEET NO.
 A0.2
 OF
 6

© WILLIAM CUNNINGHAM'S / ALLURE TV. BOUTIQUE'S DESIGN TEAM HAS A REVEALING * 1013-06-31/2005



ADDRESS: FALCON'S LANDING

BUILDING A
ELEVATION A - STONE
GARAGE RE-ENTRY

DRAWN BY
DDSC: HRL

ISSUED ON
07-26-2021

SHEET NO.
A0.3
of
6

MATERIAL AREA TABULATIONS										FALCON'S LANDING - BUILDING A										SYMBOL		DESIGN ELEMENT DESCRIPTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
Brick Vener					Stone Vener					Stone					TOTAL					A	B	MULTIPLE BAYE DOORS LIGHT OR ELEMENTED RECESSED LIGHT WINDOW MAYBE WITH WINDOW OR OTHER ACCENTARY FLAURE 8 1/2 ROOF PITCH																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
Front Elevation	1910	S.F.	18.16%	233	S.F.	10.84%	0	S.F.	0.00%	2,149	S.F.	C	D	E	F	G	H	I	J			K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	AB	AC	AD	AE	AF	AG	AH	AI	AJ	AK	AL	AM	AN	AO	AP	AQ	AR	AS	AT	AU	AV	AW	AX	AY	AZ	BA	BB	BC	BD	BE	BF	BG	BH	BI	BJ	BK	BL	BM	BN	BO	BP	BQ	BR	BS	BT	BU	BV	BW	BX	BY	BZ	CA	CB	CC	CD	CE	CF	CG	CH	CI	CJ	CK	CL	CM	CN	CO	CP	CQ	CR	CS	CT	CU	CV	CW	CX	CY	CZ	DA	DB	DC	DD	DE	DF	DG	DH	DI	DJ	DK	DL	DM	DN	DO	DP	DQ	DR	DS	DT	DU	DV	DW	DX	DY	DZ	EA	EB	EC	ED	EE	EF	EG	EH	EI	EJ	EK	EL	EM	EN	EO	EP	EQ	ER	ES	ET	EU	EV	EW	EX	EY	EZ	FA	FB	FC	FD	FE	FF	FG	FH	FI	FJ	FK	FL	FM	FN	FO	FP	FQ	FR	FS	FT	FU	FV	FW	FX	FY	FZ	GA	GB	GC	GD	GE	GF	GG	GH	GI	GJ	GK	GL	GM	GN	GO	GP	GQ	GR	GS	GT	GU	GV	GW	GX	GY	GZ	HA	HB	HC	HD	HE	HF	HG	HH	HI	HJ	HK	HL	HM	HN	HO	HP	HQ	HR	HS	HT	HU	HV	HW	HX	HY	HZ	IA	IB	IC	ID	IE	IF	IG	IH	II	IJ	IK	IL	IM	IN	IO	IP	IQ	IR	IS	IT	IU	IV	IW	IX	IY	IZ	JA	JB	JC	JD	JE	JF	JG	JH	JI	JJ	JK	JL	JM	JN	JO	JP	JQ	JR	JS	JT	JU	JV	JW	JX	JY	JZ	KA	KB	KC	KD	KE	KF	KG	KH	KI	KJ	KL	KM	KN	KO	KP	KQ	KR	KS	KT	KU	KV	KW	KX	KY	KZ	LA	LB	LC	LD	LE	LF	LG	LH	LI	LJ	LK	LL	LM	LN	LO	LP	LQ	LR	LS	LT	LU	LV	LW	LX	LY	LZ	MA	MB	MC	MD	ME	MF	MG	MH	MI	MJ	MK	ML	MM	MN	MO	MP	MQ	MR	MS	MT	MU	MV	MW	MX	MY	MZ	NA	NB	NC	ND	NE	NF	NG	NH	NI	NJ	NK	NL	NM	NN	NO	NP	NQ	NR	NS	NT	NU	NV	NW	NX	NY	NZ	OA	OB	OC	OD	OE	OF	OG	OH	OI	OJ	OK	OL	OM	ON	OO	OP	OQ	OR	OS	OT	OU	OV	OW	OX	OY	OZ	PA	PB	PC	PD	PE	PF	PG	PH	PI	PJ	PK	PL	PM	PN	PO	PP	PQ	PR	PS	PT	PU	PV	PW	PX	PY	PZ	QA	QB	QC	QD	QE	QF	QG	QH	QI	QJ	QK	QL	QM	QN	QO	QP	QQ	QR	QS	QT	QU	QV	QW	QX	QY	QZ	RA	RB	RC	RD	RE	RF	RG	RH	RI	RJ	RK	RL	RM	RN	RO	RP	RQ	RR	RS	RT	RU	RV	RW	RX	RY	RZ	SA	SB	SC	SD	SE	SF	SG	SH	SI	SJ	SK	SL	SM	SN	SO	SP	SQ	SR	SS	ST	SU	SV	SW	SX	SY	SZ	TA	TB	TC	TD	TE	TF	TG	TH	TI	TJ	TK	TL	TM	TN	TO	TP	TQ	TR	TS	TT	TU	TV	TW	TX	TY	TZ	UA	UB	UC	UD	UE	UF	UG	UH	UI	UJ	UK	UL	UM	UN	UO	UP	UQ	UR	US	UT	UU	UV	UW	UX	UY	UZ	VA	VB	VC	VD	VE	VF	VG	VH	VI	VJ	VK	VL	VM	VN	VO	VP	VQ	VR	VS	VT	VU	VV	VW	VX	VY	VZ	WA	WB	WC	WD	WE	WF	WG	WH	WI	WJ	WK	WL	WM	WN	WO	WP	WQ	WR	WS	WT	WU	WV	WW	WX	WY	WZ	XA	XB	XC	XD	XE	XF	XG	XH	XI	XJ	XK	XL	XM	XN	XO	XP	XQ	XR	XS	XT	XU	XV	XW	XX	XY	XZ	YA	YB	YC	YD	YE	YF	YG	YH	YI	YJ	YK	YL	YM	YN	YO	YP	YQ	YR	YS	YT	YU	YV	YW	YX	YY	YZ	ZA	ZB	ZC	ZD	ZE	ZF	ZG	ZH	ZI	ZJ	ZK	ZL	ZM	ZN	ZO	ZP	ZQ	ZR	ZS	ZT	ZU	ZV	ZW	ZX
Right Elevation	575	S.F.	47.44%	27	S.F.	2.33%	610	S.F.	30.33%	1,212	S.F.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
Rear Elevation	700	S.F.	38.14%	0	S.F.	0.00%	133	S.F.	6.64%	1,036	S.F.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
Left Elevation	580	S.F.	54.18%	4	S.F.	0.37%	495	S.F.	45.45%	1,088	S.F.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
Total Area	3,782	S.F.		264	S.F.		2,242	S.F.		6,286	S.F.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
Total Brick Area							3,782	S.F.		60.15%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
Total Stone Area							264	S.F.		4.20%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
Total Siding Area							2,242	S.F.		35.65%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
Overall Width = 150'-0"											Overall Depth = 52'-0"																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											

Elevation/Facade Plan



1 BLOCK B - LOT 1
FRONT ELEVATION A-1
A0.4 SCALE: 3/32" = 1'-0"

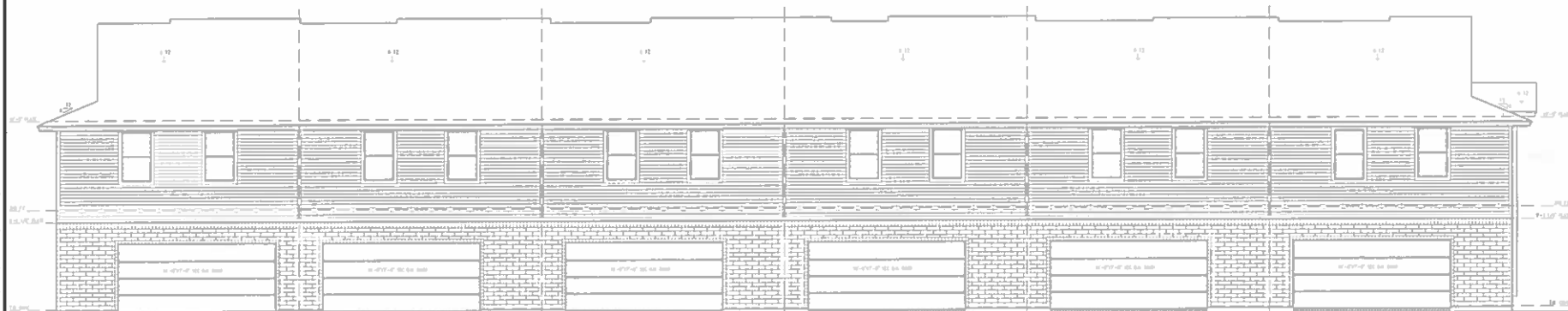
2 BLOCK B - LOT 2
FRONT ELEVATION A-2
A0.4 SCALE: 3/32" = 1'-0"

3 BLOCK B - LOT 3
FRONT ELEVATION A-3
A0.4 SCALE: 3/32" = 1'-0"

4 BLOCK B - LOT 4
FRONT ELEVATION A-4
A0.4 SCALE: 3/32" = 1'-0"

5 BLOCK B - LOT 5
FRONT ELEVATION A-5
A0.4 SCALE: 3/32" = 1'-0"

6 BLOCK B - LOT 6
FRONT ELEVATION A-6
A0.4 SCALE: 3/32" = 1'-0"



7 BLOCK B - LOT 6
REAR ELEVATION A-6
A0.4 SCALE: 3/32" = 1'-0"

8 BLOCK B - LOT 5
REAR ELEVATION A-5
A0.4 SCALE: 3/32" = 1'-0"

9 BLOCK B - LOT 4
REAR ELEVATION A-4
A0.4 SCALE: 3/32" = 1'-0"

10 BLOCK B - LOT 3
REAR ELEVATION A-3
A0.4 SCALE: 3/32" = 1'-0"

11 BLOCK B - LOT 2
REAR ELEVATION A-2
A0.4 SCALE: 3/32" = 1'-0"

12 BLOCK B - LOT 1
REAR ELEVATION A-1
A0.4 SCALE: 3/32" = 1'-0"

THIS PLAN SET, INCLUDING ALL ATTACHED SCHEDULES, IS THE PROPERTY OF LILLIAN CUSTOM HOMES, SPEC HOME. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS PLAN SET IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LILLIAN CUSTOM HOMES, SPEC HOME.

LILLIAN
CUSTOM HOMES

NEW RESIDENTIAL
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCON LANDING

RESIDENTIAL VENDOR
BUILDING A
ELEVATION A-1 STONE
GARAGE REAR ENTRY

ISSUED BY
DSCG H.R.

ISSUED ON
05/28/2023

SHEET NO.
A0.4
OF
6

(8)

MATERIAL AREA TABULATIONS										FALCON'S LANDING - BUILDING A										SYMBOL		DESIGN ELEMENT DESCRIPTION	
		BRICK VENEER		STONE VENEER		SHAPES		TOTAL															
Front Elevation	1,916	S.F.	89.16%	233	S.F.	10.84%	0	S.F.	0.00%	2,149	S.F.												
Right Elevation	975	S.F.	47.44%	77	S.F.	2.23%	810	S.F.	50.33%	1,212	S.F.												
Left Elevation	590	S.F.	28.18%	9	S.F.	0.43%	115	S.F.	5.78%	1,824	S.F.												
Total Area	3,782	S.F.		264	S.F.		2,242	S.F.		6,280	S.F.												
Total Brick Area										60.15%													
Total Stone Area										4.20%													
Total Shape Area										55.66%													
Overall Width = 15'-0"										Overall Depth = 55'-0"													



1 BLOCK B - LOT 1
LEFT ELEVATION A-1
SCALE: 3/32" = 1'-0"



2 BLOCK B - LOT 6
RIGHT ELEVATION A-6
SCALE: 3/32" = 1'-0"

Elevation/Facade Plan

NOTE: THIS PLAN IS THE PROPERTY OF LILLIAN CUSTOM HOMES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS PLAN IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

LILLIAN
CUSTOM HOMES

NEW RESERVE EDITION
LILLIAN CUSTOM HOMES SPEC HOME
ADDRESS: FALCON'S LANDING

RESERVE PLAN NAME: VIMBIA
BUILDING A
ELEVATION A - STONE
GARAGE: REAR ENTRY

DESIGNED BY
DOSC H.R.

ISSUED ON
05-26-2021

SHEET NO.
A0.5
OF
6

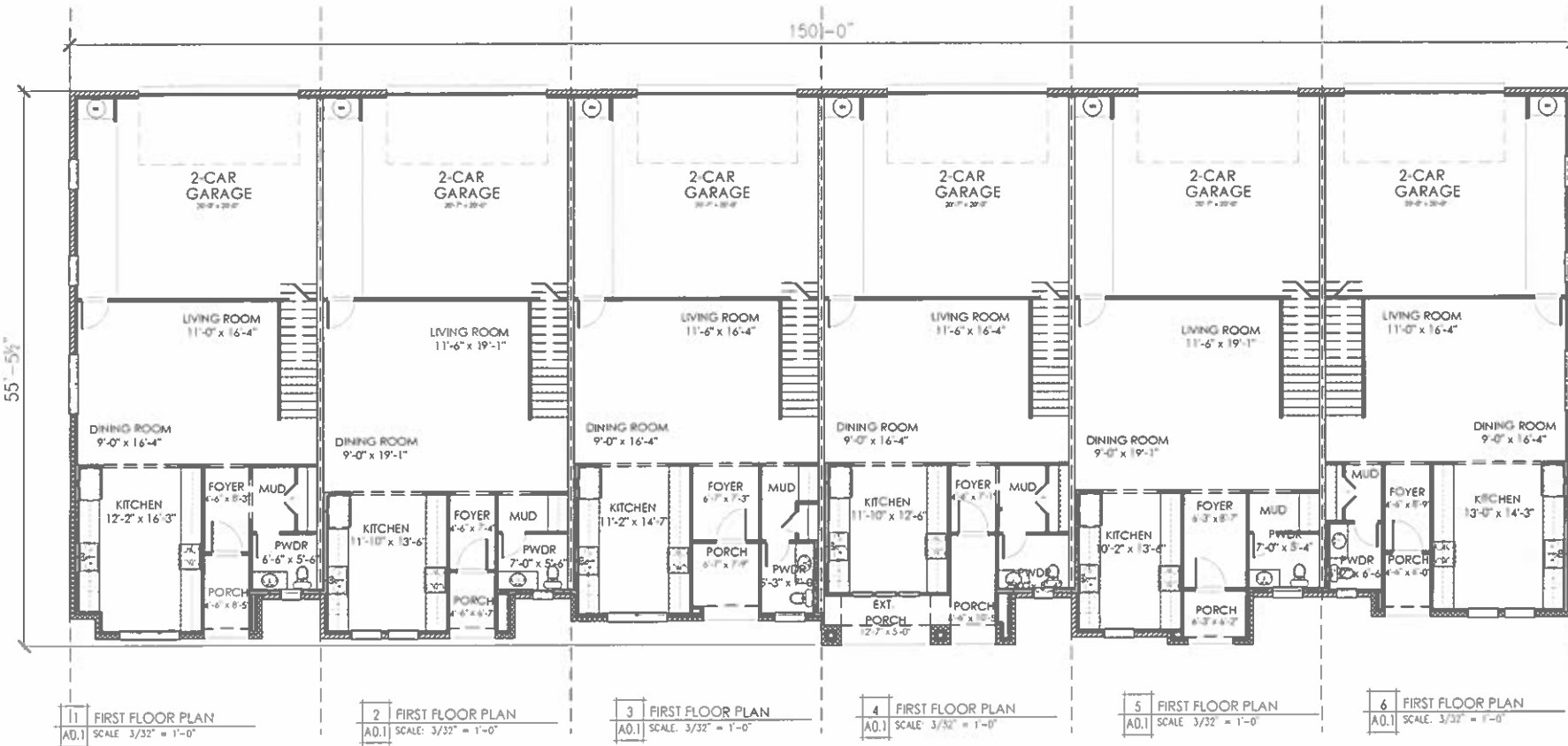
BUILDING B · REAR ENTRY · LAST UPDATE: 05-26-2023



FALCON LANDING

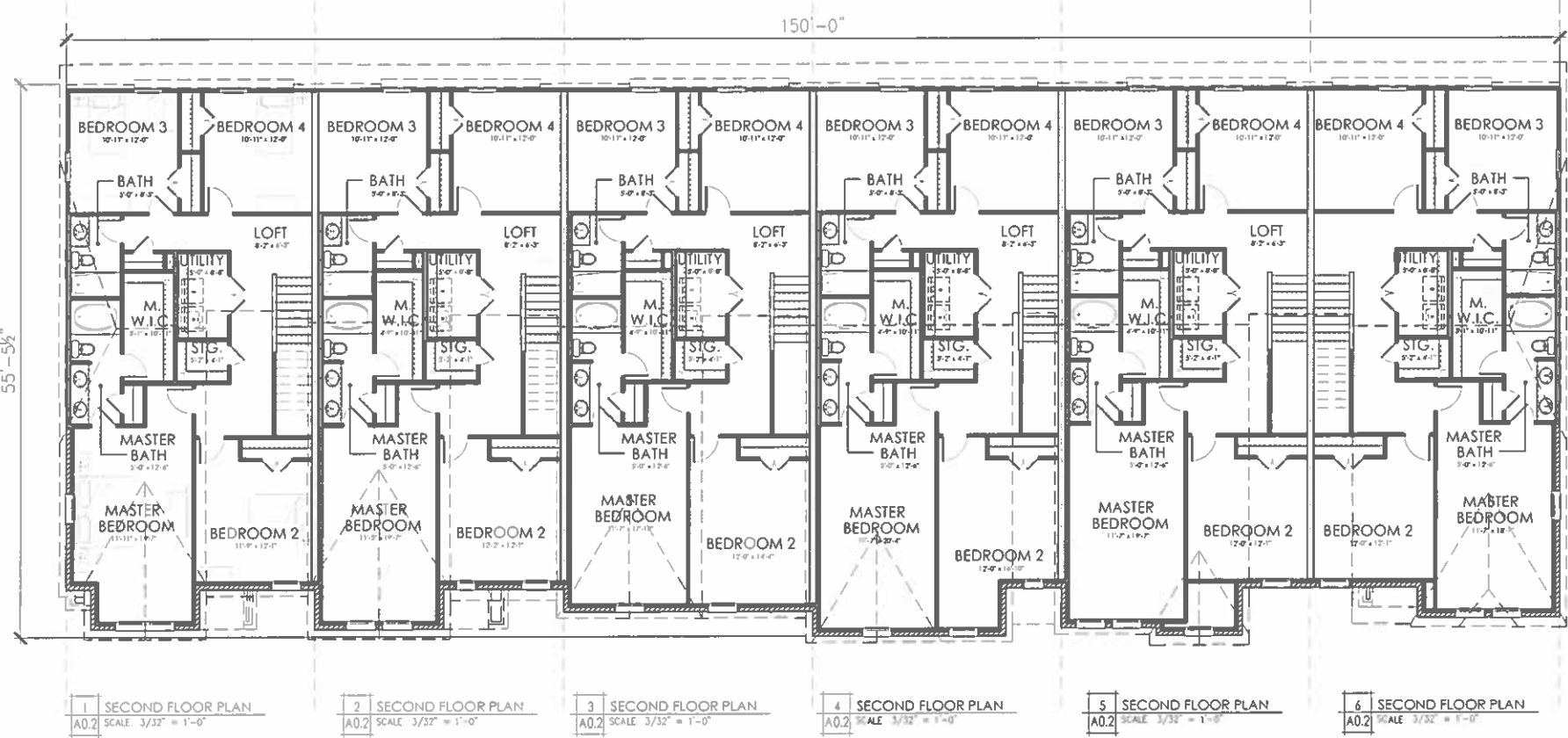
INDEX:	GENERAL NOTES	ABBREVIATIONS:
<p>C0.1 COVER PAGE: INDEX, GENERAL NOTES & ABBRV.</p> <p>A0.1 FIRST FLOOR PLAN</p> <p>A0.2 SECOND FLOOR PLAN</p> <p>A0.3 ROOF PLAN</p> <p>A0.4 FRONT & REAR ELEVATIONS</p> <p>A0.5 LEFT & RIGHT ELEVATIONS</p>	<p>1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.</p> <p>2. CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.</p> <p>3. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.</p> <p>4. THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.</p> <p>5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.</p> <p>6. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.</p> <p>7. CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NABH BUILDING STANDARDS.</p>	<p>R & S ROD & SHELF</p> <p>X-SH SHELF/SHELVES</p> <p>ABV ABOVE</p> <p>A.F.F. FINISH FLOOR</p> <p>APRX. APPROXIMATE</p> <p>CAB CABINET</p> <p>CL CENTER LINE</p> <p>CLG CEILING</p> <p>COV'D COVERED</p> <p>CPT CARPET</p> <p>DL DIVIDED LITE</p> <p>EXT'D EXTENDED</p> <p>FLUOR FLUORESCENT</p> <p>FX FIXED</p> <p>HB HOSE BIB</p> <p>HDR HEADER</p> <p>HZ HORIZONTAL</p> <p>ILO IN LIEU OF</p> <p>MTL METAL</p> <p>OBS OBSCURE</p> <p>OPQ OPAQUE</p> <p>OPT OPTIONAL</p> <p>PL PLATE HEIGHT</p> <p>PWR POWDER ROOM</p> <p>RAD/R RADIUS</p> <p>REF REFERENCE</p> <p>STD STANDARD</p> <p>TEMP TEMPERED</p> <p>TRANS TRANSPARENT</p> <p>TYP TYPICAL</p> <p>W.C. WATER CLOSET</p> <p>WD WOOD</p> <p>W/C WALKING CLOSET</p> <p>WP WATER PROOF</p>

Elevation/Facade Plan



6

Elevation/Facade Plan



THIS PLAN IS THE PROPERTY OF LILLIAN CUSTOM HOMES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LILLIAN CUSTOM HOMES, INC.



FOR RESERVATION
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FLOOR LANDING

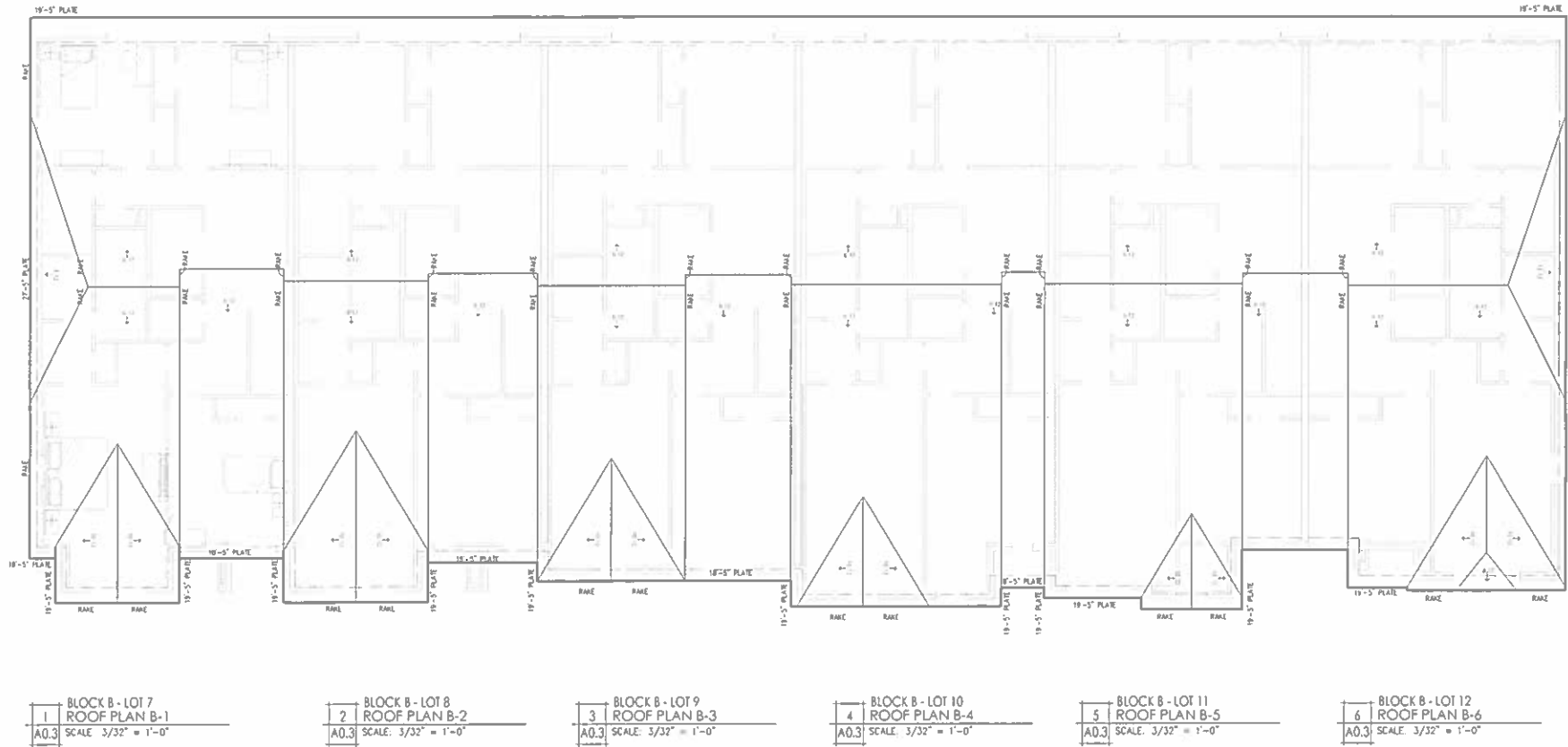
DESIGN: KAYLA W. VANCE
BUILDING B
ELEVATION B - STONE
CABINETS: REAR ENTRY

THANK YOU!
DISCOUNT

BRIDGES
05-20-2023

SHEET NO.
A0.2
OF
6

Elevation/Facade Plan



THESE ARE THE PROBLEMS OF THE DISORDER FOR THE CUSTOMER WHO IS AN ACTIVE MEMBER OF THE CONSTRUCTION TEAM. THE PROBLEMS OF THE TEAM ARE:



VIEW RESERVANCE FOR
LILLIAN CUSTOM HOMES_SPEC HOME
ADDRESS: FALCON ISLANDING

DESIGN PLAN NAME NUMBER
BUILDING B
ELEVATION 0 STONE
CADDISLE REAR ENTRY

DRAWN BY:
DDSG:AM

ISSN 1110-0551
01-26-2011

SHEET NO.
A07

6

LILLIAN
CUSTOM BONES



12' BLOCK 8 - LOT 7
REAR ELEVATION
A0.4 SCALE: 3/32" = 1'-0"

Elevation/Facade Plan



SHEET NO.
 A0.5
 OF
 6

Elevation/Facade Plan

BUILDING C · REAR ENTRY · LAST UPDATE: 05-26-2023



FALCON LANDING

INDEX:	GENERAL NOTES	ABBREVIATIONS:
C0.1 COVER PAGE: INDEX, GENERAL NOTES & ABBRV. A0.1 FIRST FLOOR PLAN A0.2 SECOND FLOOR PLAN A0.3 ROOF PLAN A0.4 FRONT & REAR ELEVATIONS A0.5 RIGHT & LEFT ELEVATIONS	<p>1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.</p> <p>2. CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.</p> <p>3. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.</p> <p>4. THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.</p> <p>5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.</p> <p>6. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.</p> <p>7. CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAHB BUILDING STANDARDS.</p>	<p>R & S ROD & SHELF X-SH SHELF/SHELVES ABV ABOVE A.F.F. FINISH FLOOR APRX APPROXIMATE CAB CABINET CL CENTER LINE CLG CEILING COVD COVERED CPT CARPET DL DIVIDED LITE EXTD EXTENDED FLUOR FLUORESCENT FX FIXED HB HOSE BIB HDR HEADER HZ HORIZONTAL ILO IN LIEU OF MTL METAL OBS OBSCURE OPQ OPAQUE OPT OPTIONAL PL PLATE HEIGHT PWDR POWDER ROOM RAD/R RADIUS REF REFERENCE STD STANDARD TMP TEMPERED TRANS TRANSLUCENT TYP TYPICAL W.C. WATER CLOSET WD WOOD W.I.C. WALKING CLOSET WP WATER PROOF</p>

© LILLIAN CUSTOM HOMES, 2023. ALL RIGHTS RESERVED. BUILDING C, 2023-05-26-2023

NOTE: LILLIAN CUSTOM HOMES, INC. IS NOT A DESIGNER OR ARCHITECT. IT IS A CUSTOM HOME BUILDER. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CLIENT IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. LILLIAN CUSTOM HOMES, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF ANY PROPERTY OR PERSONAL BELONGINGS. LILLIAN CUSTOM HOMES, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF ANY PROPERTY OR PERSONAL BELONGINGS. LILLIAN CUSTOM HOMES, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF ANY PROPERTY OR PERSONAL BELONGINGS.



FOR RESERVE FOR:
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCON LANDING
ADDRESS: FALCON LANDING

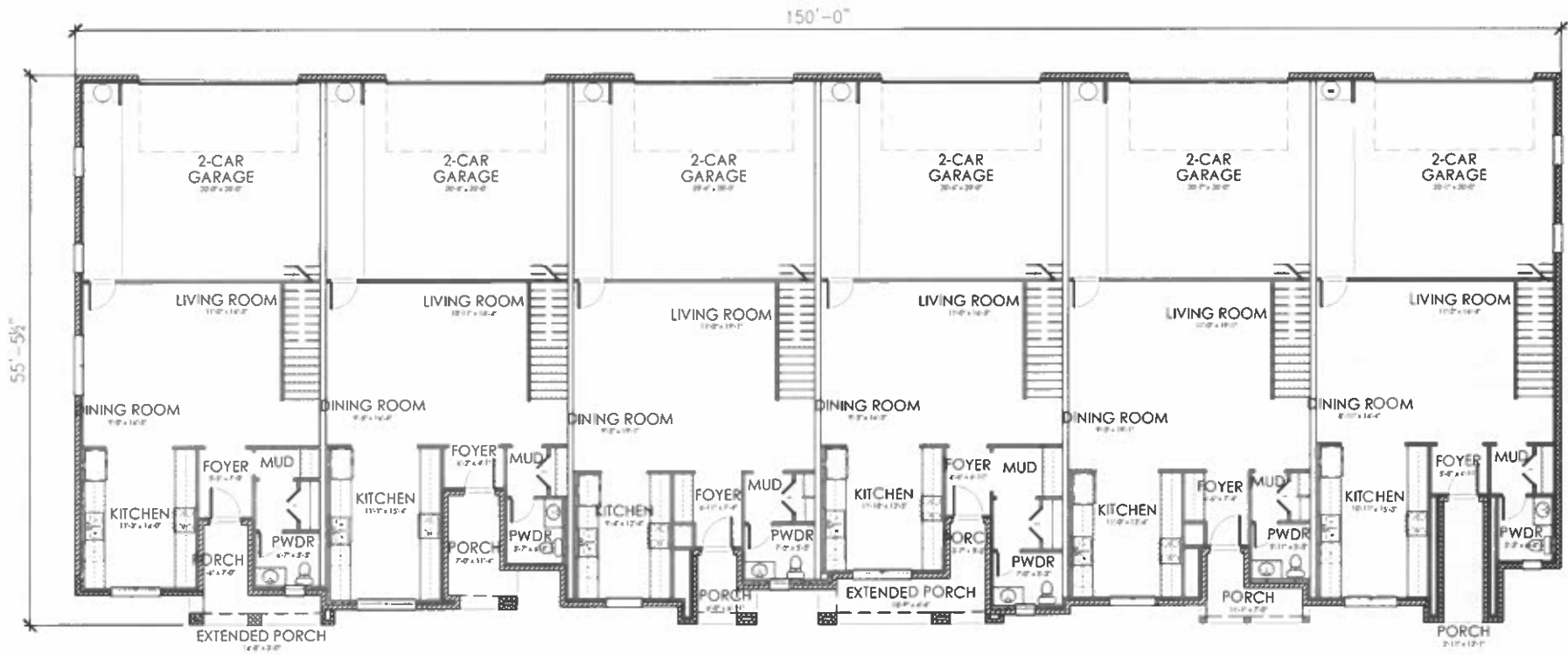
RESERVE NUMBER:
BUILDING C
ELEVATION C.BRCK.
GARAGE REAR ENTRY

ISSUED BY:
W.S.

ISSUED ON:
05-26-2023

SHEET NO.:
C0.1
OF
6

Elevation/Facade Plan



1 FIRST FLOOR PLAN C-1
A0.1 SCALE: 3/32" = 1'-0"

2 FIRST FLOOR PLAN C-2
A0.1 SCALE: 3/32" = 1'-0"

3 FIRST FLOOR PLAN C-3
A0.1 SCALE: 3/32" = 1'-0"

4 FIRST FLOOR PLAN C-4
A0.1 SCALE: 3/32" = 1'-0"

5 FIRST FLOOR PLAN C-5
A0.1 SCALE: 3/32" = 1'-0"

6 FIRST FLOOR PLAN C-6
A0.1 SCALE: 3/32" = 1'-0"

THIS PLAN SET IS THE PROPERTY OF LILLIAN CUSTOM HOMES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ALL RIGHTS ARE RESERVED. NO PART OF THIS PLAN SET MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. LILLIAN CUSTOM HOMES, INC. 10000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202



SEE RESERVE FOR
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCON LANDING

FLOOR PLAN NUMBER
BUILDING C
ELEVATION C-BRICK
GARAGE: REAR ENTRY

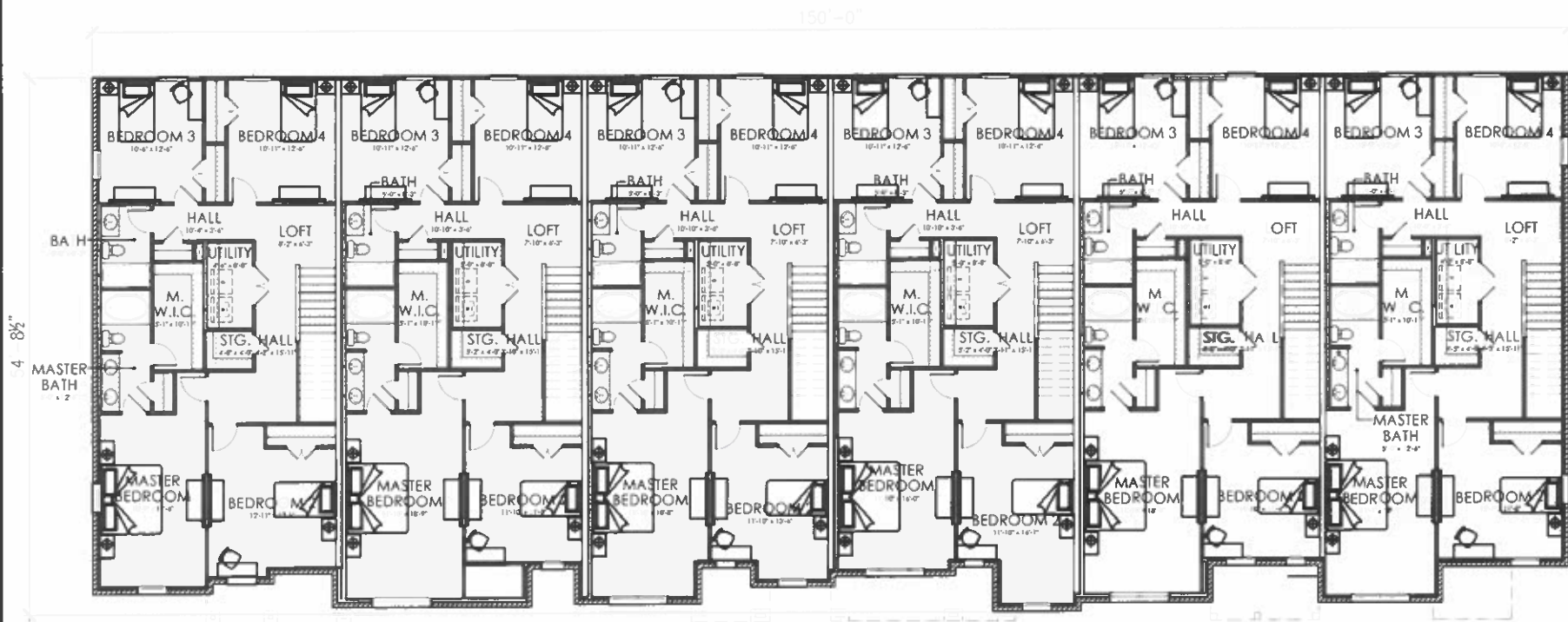
DESIGNED BY
WVS

ISSUED DATE
05-06-2021

SHEET NO.
A0.1
OF
6

(8)

Elevation/Facade Plan



1 SECOND FLOOR PLAN C-1
A0.2 SCALE: 3/32" = 1'-0"

2 SECOND FLOOR PLAN C-2
A0.2 SCALE: 3/32" = 1'-0"

3 SECOND FLOOR PLAN C-3
A0.2 SCALE: 3/32" = 1'-0"

4 SECOND FLOOR PLAN C-4
A0.2 SCALE: 3/32" = 1'-0"

5 SECOND FLOOR PLAN C-5
A0.2 SCALE: 3/32" = 1'-0"

6 SECOND FLOOR PLAN C-6
A0.2 SCALE: 3/32" = 1'-0"

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF LILLIAN CUSTOM HOMES. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY LILLIAN CUSTOM HOMES. LILLIAN CUSTOM HOMES

LILLIAN
CUSTOM HOMES

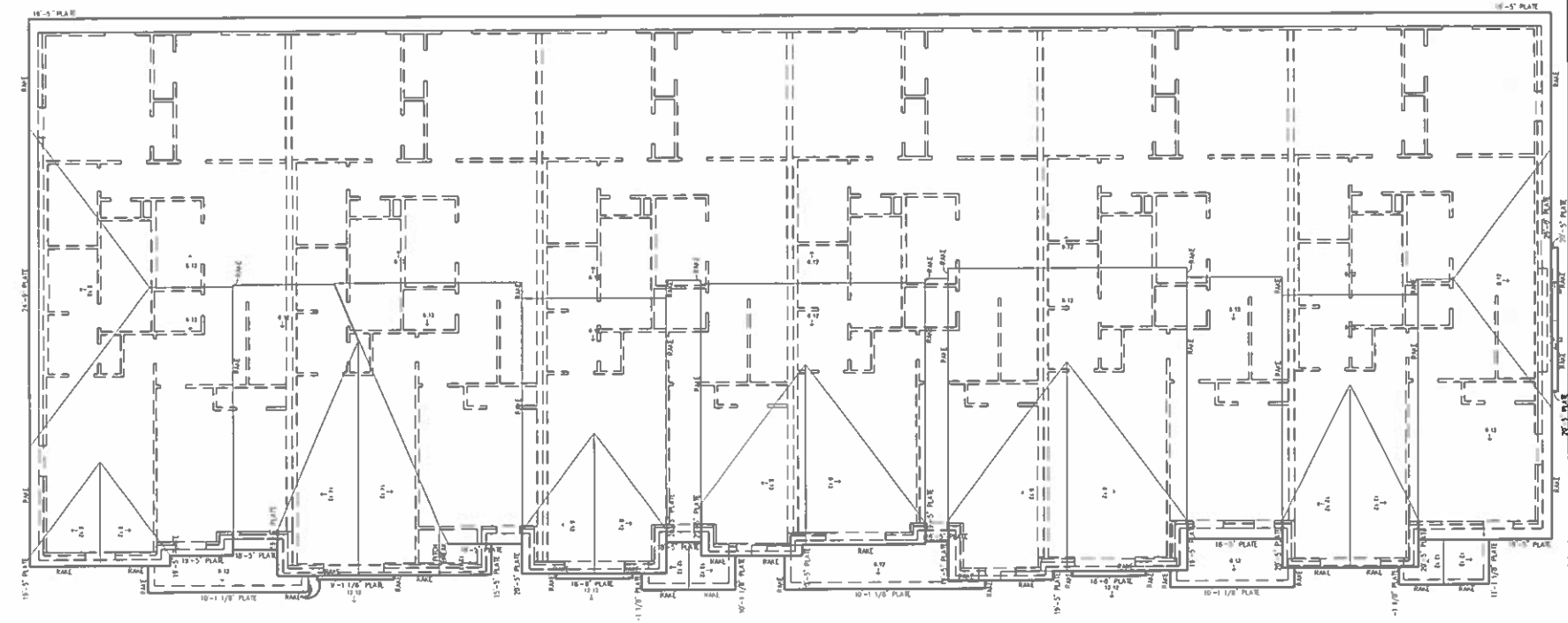
NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF LILLIAN CUSTOM HOMES. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY LILLIAN CUSTOM HOMES. LILLIAN CUSTOM HOMES

VERANDA VILLA VILLAS
BUILDING C
SECOND FLOOR
GARAGE REAR ELEVATION

DATE: 12-15-2020
BY: J. M. JONES
A0.2
C-1

(8)

Elevation/Facade Plan



1 BLOCK B - LOT 13
ROOF PLAN C-1
SCALE: 3/32" = 1'-0"

2 BLOCK B - LOT 14
ROOF PLAN C-2
SCALE: 3/32" = 1'-0"

3 BLOCK B - LOT 15
ROOF PLAN C-3
SCALE: 3/32" = 1'-0"

4 BLOCK B - LOT 16
ROOF PLAN C-4
SCALE: 3/32" = 1'-0"

5 BLOCK B - LOT 17
ROOF PLAN C-5
SCALE: 3/32" = 1'-0"

6 BLOCK B - LOT 18
ROOF PLAN C-6
SCALE: 3/32" = 1'-0"

THIS PLAN SET IS THE PROPERTY OF WILLIAM OSWALD INDUSTRIES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WILLIAM OSWALD INDUSTRIES, INC.



NEW RESIDENTIAL
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCONS LANDING

DESIGN TEAM NAME: VANDER
BUILDING C
ELEVATION C BLOCK
CABINETS: REAR ENTRY

DESIGNED BY:
WS

ISSUED ON:
05-18-2021

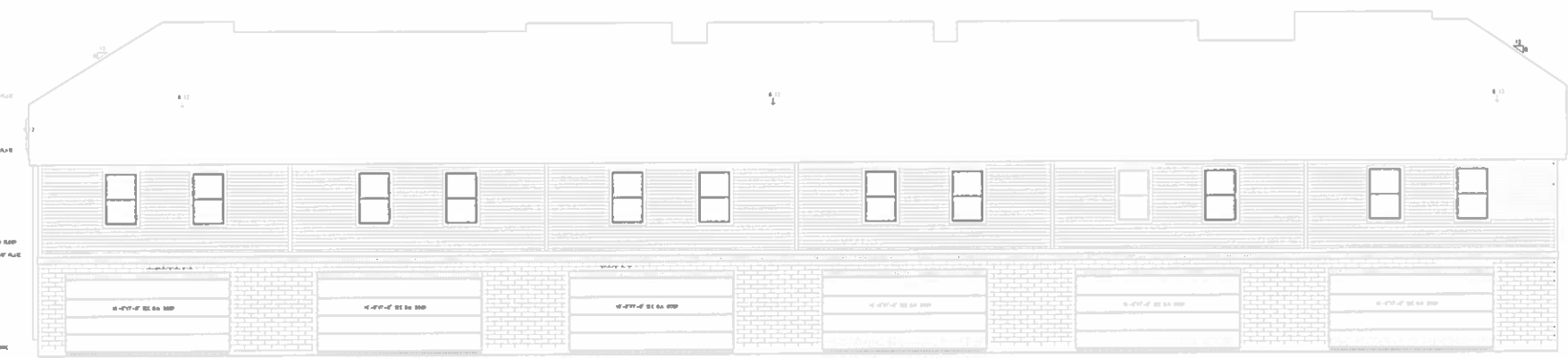
SHEET NO.
A0.3
OF
6

Elevation/Facade Plan

WATER AREA TABULATIONS				FALCON'S LANDING - BUILDING C				SYMBOL	
Item	Description	Area	Unit	Item	Description	Area	Unit	Symbol	Description
1	Front Elevation	1,154	SF	1	Front Elevation	1,154	SF	1	Front Elevation
2	Side Elevation	1,154	SF	2	Side Elevation	1,154	SF	2	Side Elevation
3	Back Elevation	1,154	SF	3	Back Elevation	1,154	SF	3	Back Elevation
4	Roof Area	1,154	SF	4	Roof Area	1,154	SF	4	Roof Area
5	Foundation	1,154	SF	5	Foundation	1,154	SF	5	Foundation
6	Garage Area	1,154	SF	6	Garage Area	1,154	SF	6	Garage Area
7	Front Porch	1,154	SF	7	Front Porch	1,154	SF	7	Front Porch
8	Side Porch	1,154	SF	8	Side Porch	1,154	SF	8	Side Porch
9	Back Porch	1,154	SF	9	Back Porch	1,154	SF	9	Back Porch
10	Roof Deck	1,154	SF	10	Roof Deck	1,154	SF	10	Roof Deck
11	Foundation	1,154	SF	11	Foundation	1,154	SF	11	Foundation
12	Garage Area	1,154	SF	12	Garage Area	1,154	SF	12	Garage Area
13	Front Porch	1,154	SF	13	Front Porch	1,154	SF	13	Front Porch
14	Side Porch	1,154	SF	14	Side Porch	1,154	SF	14	Side Porch
15	Back Porch	1,154	SF	15	Back Porch	1,154	SF	15	Back Porch
16	Roof Deck	1,154	SF	16	Roof Deck	1,154	SF	16	Roof Deck
17	Foundation	1,154	SF	17	Foundation	1,154	SF	17	Foundation
18	Garage Area	1,154	SF	18	Garage Area	1,154	SF	18	Garage Area
19	Front Porch	1,154	SF	19	Front Porch	1,154	SF	19	Front Porch
20	Side Porch	1,154	SF	20	Side Porch	1,154	SF	20	Side Porch
21	Back Porch	1,154	SF	21	Back Porch	1,154	SF	21	Back Porch
22	Roof Deck	1,154	SF	22	Roof Deck	1,154	SF	22	Roof Deck
23	Foundation	1,154	SF	23	Foundation	1,154	SF	23	Foundation
24	Garage Area	1,154	SF	24	Garage Area	1,154	SF	24	Garage Area
25	Front Porch	1,154	SF	25	Front Porch	1,154	SF	25	Front Porch
26	Side Porch	1,154	SF	26	Side Porch	1,154	SF	26	Side Porch
27	Back Porch	1,154	SF	27	Back Porch	1,154	SF	27	Back Porch
28	Roof Deck	1,154	SF	28	Roof Deck	1,154	SF	28	Roof Deck
29	Foundation	1,154	SF	29	Foundation	1,154	SF	29	Foundation
30	Garage Area	1,154	SF	30	Garage Area	1,154	SF	30	Garage Area



- 1 BLOCK B - LOT 13 FRONT ELEVATION C-1 SCALE: 3/32" = 1'-0"
- 2 BLOCK B - LOT 14 FRONT ELEVATION C-2 SCALE: 3/32" = 1'-0"
- 3 BLOCK B - LOT 15 FRONT ELEVATION C-3 SCALE: 3/32" = 1'-0"
- 4 BLOCK B - LOT 16 FRONT ELEVATION C-4 SCALE: 3/32" = 1'-0"
- 5 BLOCK B - LOT 17 FRONT ELEVATION C-5 SCALE: 3/32" = 1'-0"
- 6 BLOCK B - LOT 18 FRONT ELEVATION C-6 SCALE: 3/32" = 1'-0"



- 7 BLOCK B - LOT 13 REAR ELEVATION C-6 SCALE: 3/32" = 1'-0"
- 8 BLOCK B - LOT 14 REAR ELEVATION C-5 SCALE: 3/32" = 1'-0"
- 9 BLOCK B - LOT 15 REAR ELEVATION C-4 SCALE: 3/32" = 1'-0"
- 10 BLOCK B - LOT 16 REAR ELEVATION C-3 SCALE: 3/32" = 1'-0"
- 11 BLOCK B - LOT 17 REAR ELEVATION C-2 SCALE: 3/32" = 1'-0"
- 12 BLOCK B - LOT 18 REAR ELEVATION C-1 SCALE: 3/32" = 1'-0"

THIS DRAWING IS THE PROPERTY OF LILLIAN CUSTOM HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LILLIAN CUSTOM HOMES. LILLIAN CUSTOM HOMES, 10000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80231. (303) 751-1111. WWW.LILLIANCUSTOMHOMES.COM



NEW RESIDENTIAL
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCON'S LANDING
#4

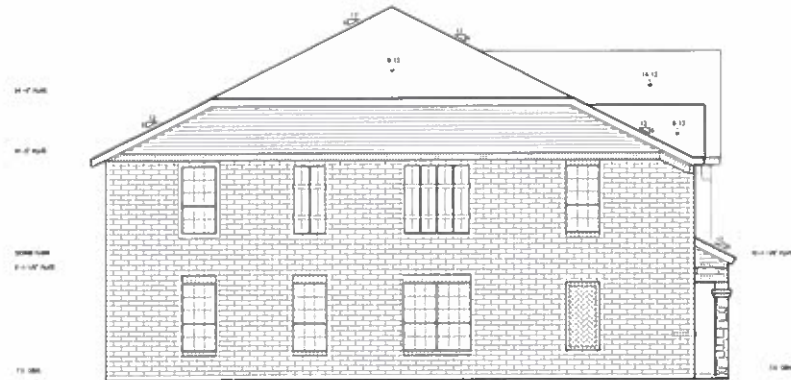
PERMANENT NUMBER
BUILDING C-6
ELEVATION C-6C
GARAGE REAR ELEVATION

ISSUED BY: WS
ISSUE DATE: 05-26-2011
SHEET NO: A0.4 OF 6

18

MATERIAL AREA TABULATIONS				FALCON'S LANDING - BUILDING C				SYMBOL				DESIGN ELEMENT DESCRIPTION			
Area	Quantity	Unit	Area	Unit	Area	Unit	Area	Symbol	Quantity	Unit	Area	Symbol	Quantity	Unit	Area
Brick	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Stone	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Wood	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Roof	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Windows	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Doors	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Other	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156
Total	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156	SF	1,156

Elevation/Facade Plan



BLOCK 8 - LOT 13
LEFT ELEVATION C-1
SCALE: 3/32" = 1'-0"



BLOCK 8 - LOT 18
RIGHT ELEVATION C-6
SCALE: 3/32" = 1'-0"

THIS PLAN AND THE PROPERTY SHOWN THEREON ARE FOR LILLIAN CUSTOM HOMES SPEC HOME ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. LILLIAN CUSTOM HOMES SPEC HOME IS A TRADE NAME. THE DESIGN AND CONSTRUCTION OF THIS HOME IS THE PROPERTY OF LILLIAN CUSTOM HOMES. NO PART OF THIS PLAN OR THE PROPERTY SHOWN THEREON IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM LILLIAN CUSTOM HOMES.



NEW RESIDENCE FOR
LILLIAN CUSTOM HOMES SPEC HOME
ADDRESS: FALCON'S LANDING

DESIGN PLAN NAME NUMBER
BUILDING C
ELEVATION C-6
GARAGE: REAR ENTRY

DRAWN BY
WS

ISSUED ON
05-16-2023

SHEET NO.
A0.5
OF
6

Elevation/Facade Plan

BUILDING D • FRONT ENTRY • LAST UPDATE: 05-26-2023



FALCON LANDING

INDEX:

- CO.1 COVER PAGE: INDEX, GENERAL NOTES & ABBRV.
- A0.1 FIRST FLOOR PLAN
- A0.2 SECOND FLOOR PLAN
- A0.3 ROOF PLAN
- A0.4 FRONT & REAR ELEVATIONS
- A0.5 RIGHT & LEFT ELEVATIONS

GENERAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
2. CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
3. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
6. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
7. CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NABG BUILDING STANDARDS.

ABBREVIATIONS:

R & S	ROD & SHELF
1-SH	SHELF/SHELVES
ABV	ABOVE
A.F.F.	FIRST FLOOR
APRX	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
COVD	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXTD	EXTENDED
FLOOR	FLUORESCENT
FX	FIXED
H6	HOSE H6
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OSB	OBSCURE
OPA	OPAQUE
OPT	OPTIONAL
PL	PLATE HEIGHT
PWR	POWDER ROOM
RAD/R	RADIUS
REF	REFERENCE
STD	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP	TYPICAL
W.C.	WATER CLOSET
WO	WOOD
WIC	WALKING CLOSET
WP	WATER PROOF

THIS PLAN SET IS THE PROPERTY OF LILLIAN HOMES. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR USE OF THIS PLAN SET IS STRICTLY PROHIBITED. LILLIAN HOMES SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN SET.



NEW RESIDENCE FOR
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCON'S LANDING
www.lillianhomes.com

DESIGN PLAN NAME/NUMBER
BUILDING D
ELEVATION: D - FRONT
CLARGE: 18x24

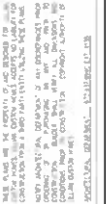
DRAWN BY
DATE: 05-26-2023

ISSUED ON
05-26-2023

SHEET NO
OF
CO.1
6

(8)

J. Comput. Graph. Stat. 14(2):149-161, 2004. © 2004 Wiley Periodicals, Inc.



LILLIAN
CUSTOM HOMES

FOR MORE INFORMATION, VISIT US AT WWW.LULLIAN.COM

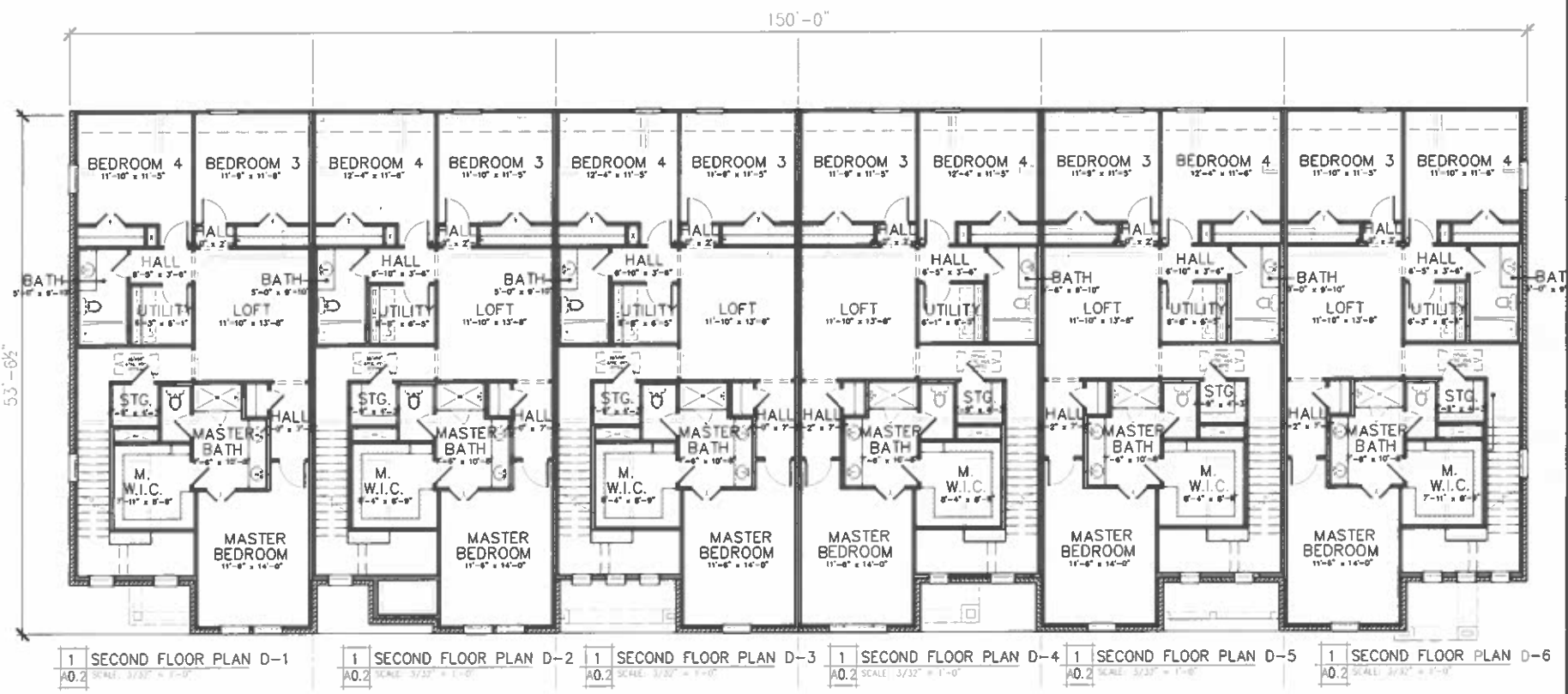
BUILDING D

ISSUED ON
05-26-2023

SHEET NO
A0.1
OF
6

3

Elevation/Facade Plan



THIS PLAN AND THE PROPERTY OF THE ARCHITECT AND LULIAN CUSTOM HOMES. NO PART OF THIS PLAN OR ANY PART OF THE PROPERTY OF THE ARCHITECT OR LULIAN CUSTOM HOMES MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND LULIAN CUSTOM HOMES.



NEW RESIDENCE FOR
LULIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FACILITY LANDING
LULIAN, MISSOURI 63051

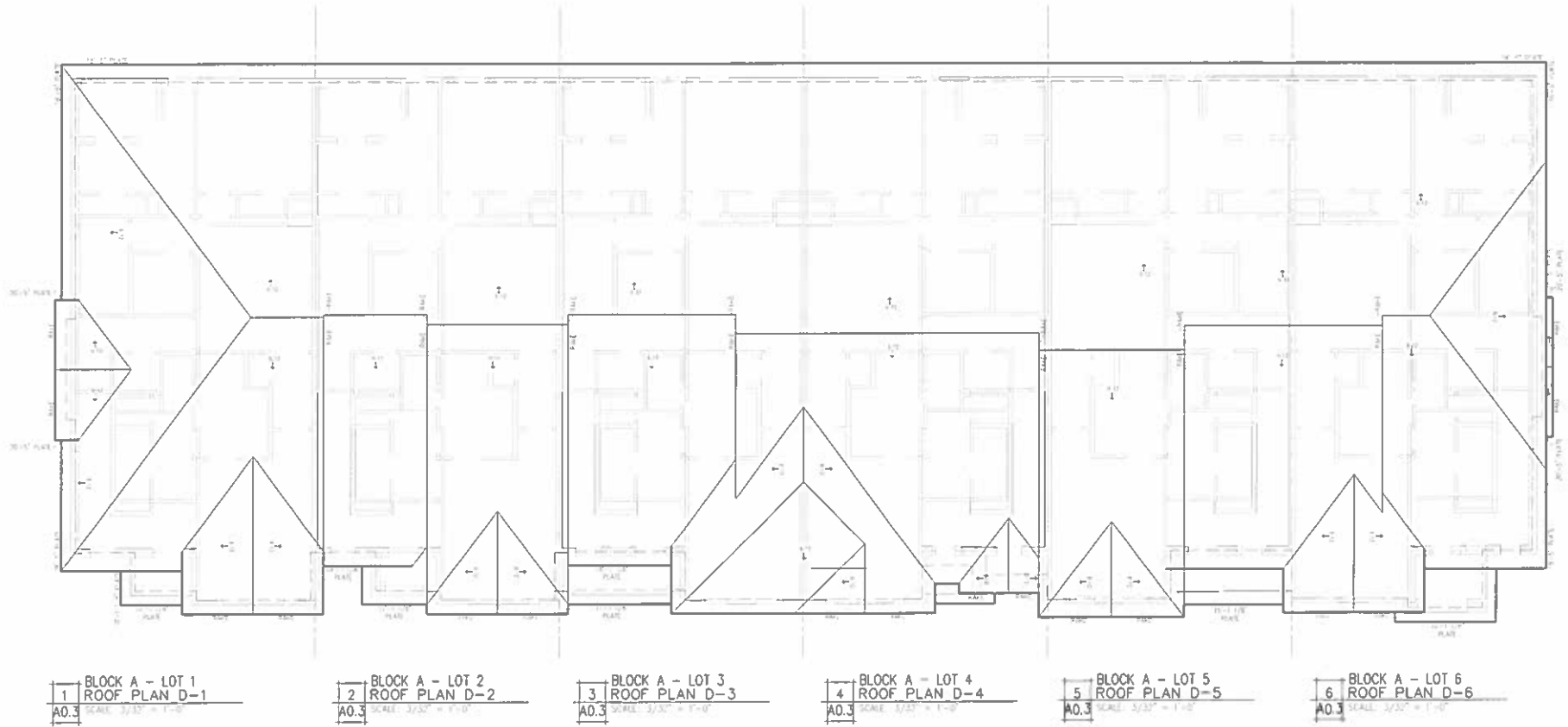
DESIGN PLAN NAME NUMBER
BUILDING D
DRAWN BY
0000000000

ISSUED ON
05-26-2023

SHEET NO
A0.2
OF
6

(8)

Elevation/Facade Plan



THIS PLAN AND ALL THE RIGHTS OF THE PROPERTY OF THE LANDLORD TO THE LAND AND THE BUILDING THEREON ARE RESERVED TO THE LANDLORD AND THE LANDLORD'S SUCCESSORS AND ASSIGNS. THE LANDLORD'S SUCCESSORS AND ASSIGNS SHALL HAVE THE RIGHT TO USE THE LAND AND THE BUILDING THEREON FOR ANY PURPOSES WHATSOEVER, INCLUDING BUT NOT LIMITED TO, THE USE OF THE LAND AND THE BUILDING THEREON AS A RESIDENTIAL DEVELOPMENT, A COMMERCIAL DEVELOPMENT, OR A MIXED-USE DEVELOPMENT. THE LANDLORD'S SUCCESSORS AND ASSIGNS SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, OR REPLACEMENT OF THE BUILDING OR THE LAND THEREON.



NEW RESIDENCE FOR
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: ALBERTA, CANADA

DESIGN PLAN NAME/NUMBER
BUILDING D
ELEVATION D - 1
SCALE: 1/8" = 1'-0"

DESIGN OFFICE NAME
DRAWN BY:
0056 G.F.

ISSUED ON
05-26-2023

SHEET NO
A0.3
OF
6

EXTERNAL AREA TABULAR DATA	FALCON'S LANDING	SYMBOL	DESIGN ELEMENT DESCRIPTION
1	1.1	1.1	1.1
2	2.1	2.1	2.1
3	3.1	3.1	3.1
4	4.1	4.1	4.1
5	5.1	5.1	5.1
6	6.1	6.1	6.1
7	7.1	7.1	7.1
8	8.1	8.1	8.1
9	9.1	9.1	9.1
10	10.1	10.1	10.1
11	11.1	11.1	11.1
12	12.1	12.1	12.1
13	13.1	13.1	13.1
14	14.1	14.1	14.1
15	15.1	15.1	15.1
16	16.1	16.1	16.1
17	17.1	17.1	17.1
18	18.1	18.1	18.1
19	19.1	19.1	19.1
20	20.1	20.1	20.1
21	21.1	21.1	21.1
22	22.1	22.1	22.1
23	23.1	23.1	23.1
24	24.1	24.1	24.1
25	25.1	25.1	25.1
26	26.1	26.1	26.1
27	27.1	27.1	27.1
28	28.1	28.1	28.1
29	29.1	29.1	29.1
30	30.1	30.1	30.1
31	31.1	31.1	31.1
32	32.1	32.1	32.1
33	33.1	33.1	33.1
34	34.1	34.1	34.1
35	35.1	35.1	35.1
36	36.1	36.1	36.1
37	37.1	37.1	37.1
38	38.1	38.1	38.1
39	39.1	39.1	39.1
40	40.1	40.1	40.1
41	41.1	41.1	41.1
42	42.1	42.1	42.1
43	43.1	43.1	43.1
44	44.1	44.1	44.1
45	45.1	45.1	45.1
46	46.1	46.1	46.1
47	47.1	47.1	47.1
48	48.1	48.1	48.1
49	49.1	49.1	49.1
50	50.1	50.1	50.1
51	51.1	51.1	51.1
52	52.1	52.1	52.1
53	53.1	53.1	53.1
54	54.1	54.1	54.1
55	55.1	55.1	55.1
56	56.1	56.1	56.1
57	57.1	57.1	57.1
58	58.1	58.1	58.1
59	59.1	59.1	59.1
60	60.1	60.1	60.1
61	61.1	61.1	61.1
62	62.1	62.1	62.1
63	63.1	63.1	63.1
64	64.1	64.1	64.1
65	65.1	65.1	65.1
66	66.1	66.1	66.1
67	67.1	67.1	67.1
68	68.1	68.1	68.1
69	69.1	69.1	69.1
70	70.1	70.1	70.1
71	71.1	71.1	71.1
72	72.1	72.1	72.1
73	73.1	73.1	73.1
74	74.1	74.1	74.1
75	75.1	75.1	75.1
76	76.1	76.1	76.1
77	77.1	77.1	77.1
78	78.1	78.1	78.1
79	79.1	79.1	79.1
80	80.1	80.1	80.1
81	81.1	81.1	81.1
82	82.1	82.1	82.1
83	83.1	83.1	83.1
84	84.1	84.1	84.1
85	85.1	85.1	85.1
86	86.1	86.1	86.1
87	87.1	87.1	87.1
88	88.1	88.1	88.1
89	89.1	89.1	89.1
90	90.1	90.1	90.1
91	91.1	91.1	91.1
92	92.1	92.1	92.1
93	93.1	93.1	93.1
94	94.1	94.1	94.1
95	95.1	95.1	95.1
96	96.1	96.1	96.1
97	97.1	97.1	97.1
98	98.1	98.1	98.1
99	99.1	99.1	99.1
100	100.1	100.1	100.1

Elevation/Facade Plan



NEW RESIDENCE FOR:
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: 1601E 15TH ST
CITY: DENVER, CO 80202

DESIGN PLAN NAME/NUMBER:
BUILDING D
ELEVATION D-104
CALLE: 1601E 15TH ST

ISSUED ON:
05-26-2023

SHEET NO:
A0.4
OF
6

Elevation/Facade Plan

MATERIAL AREA TABULATIONS		FALCOTT'S LANDING		SYMBOL		DESIGN ELEMENT DESCRIPTION	
Item #	Material	Area	Unit	Item #	Material	Area	Unit
1	Brick	1,200.00	SF	1	Brick	1,200.00	SF
2	Stone	1,200.00	SF	2	Stone	1,200.00	SF
3	Wood Siding	1,200.00	SF	3	Wood Siding	1,200.00	SF
4	Shingles	1,200.00	SF	4	Shingles	1,200.00	SF
5	Roofing	1,200.00	SF	5	Roofing	1,200.00	SF
6	Foundation	1,200.00	SF	6	Foundation	1,200.00	SF
7	Windows	1,200.00	SF	7	Windows	1,200.00	SF
8	Doors	1,200.00	SF	8	Doors	1,200.00	SF
9	Trim	1,200.00	SF	9	Trim	1,200.00	SF
10	Paint	1,200.00	SF	10	Paint	1,200.00	SF



1 BLOCK A - LOT 1
LEFT ELEVATION D-1
A0.5 SCALE 3/32" = 1'-0"



2 BLOCK A - LOT 6
RIGHT ELEVATION D-6
A0.5 SCALE 3/32" = 1'-0"

NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 2. FINISH GRADE SHALL BE DETERMINED BY THE OWNER. 3. ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. 4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 5. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. 6. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. 7. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS. 8. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS. 9. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. 10. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. 11. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS. 12. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS.



NEW RESIDENCE FOR
LILLIAN CUSTOM HOMES, SPEC HOME
ADDRESS: FALCOTT'S LANDING
DATE: 05-26-2023



DESIGN PLAN NAME/NUMBER
BUILDING D
ELEVATION D-1/06
GARAGE: FRONT (LHS)

ISSUED ON
05-26-2023




SHEET NO
A0.5
OF
6

Elevation/Facade Plan

EXTERIOR
PAINT, ROOF
SHINGLES



BRICK, FRONT
DOOR, STONE
OPTION





MATERIALS




EXTERIOR PAINT: STONE LION ROOF SHINGLES: WEATHERED WOOD SHINGLE
BRICK: MADRONO FRONT DOOR: WALNUT STAIN STONE
OPTION: AUSTIN CHALK SAW CUT

NOTE:
• ALL ROOF SHINGLES ARE MINIMUM 30 YEAR ARCHITECTURAL SHINGLES.

EXTERIOR
PAINT, ROOF
SHINGLES



BRICK, FRONT
DOOR, STONE
OPTION



MATERIALS

EXTERIOR PAINT: STONE LION ROOF SHINGLES: WEATHERED WOOD SHINGLE
BRICK: RIVERBEND FRONT DOOR: COFFEE GEL STAIN STONE
OPTION: MILLSAP CHOPPED

C:\Users\jandogba\OneDrive - Lullian Custom Homes\My Documents\Drawings

THE PLAN SET IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, NO PART OF THIS PLAN SET MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. COPYRIGHT © 2021 LULLIAN CUSTOM HOMES, INC. 12.12.2021 10:13 AM

NEW RESIDENCE FOR
LULLIAN CUSTOM HOMES, SPEC HOME

ADDRESS ---

BLK / LOT / QUANTITY

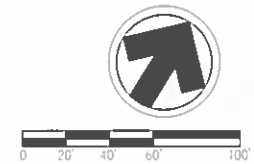
DESIGN PLAN NAME/NUMBER
LANDSCAPE PLAN
ELEVATION ---
GARAGE: FRONT ENTRY

ISSUED BY
JDN

ISSUED ON
05-14-2021

SHEET NO
D 2
OF
3

C:\USER\W4-0004\1\ANGEP\CH-EDINE - ULLAH CUSTOM HOMES\DESIGN\TOP\AL\CON'L LANDSCAPE PLAN1.dwg



- NOTE: BUILDER SHOULD PLAN TREE AS PER COMMON STANDARD AS REQUIRED.

NOTE: BUILDER SHOULD PLAN TREE AS PER COMMON STANDARD AS REQUIRED.

18

DATE: 06-27-2009 TIME: 14:08:15 USER: JAMES\JAMES - WITNESS



FBI LOUISOIS - INVESTIGATIVE

HE ■ RESIDENCE FOR
LILLIAN CUSTOM HOMES_SPEC HOME

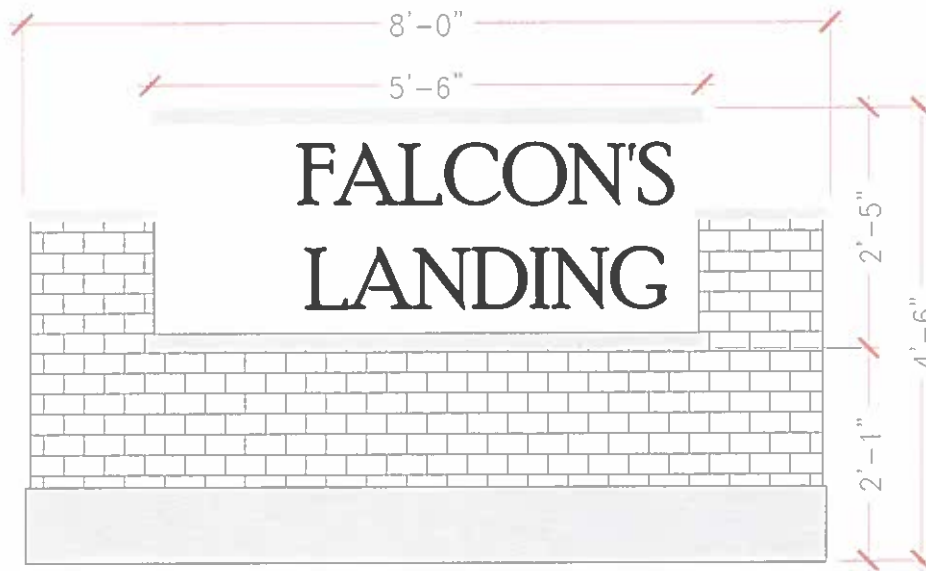
DESIGN PLAN NAME/NUMBER
LANDSCAPE PLAN
ELEVATION --
GARAGE: FRONT ENTRY

DRAWN BY
LBN

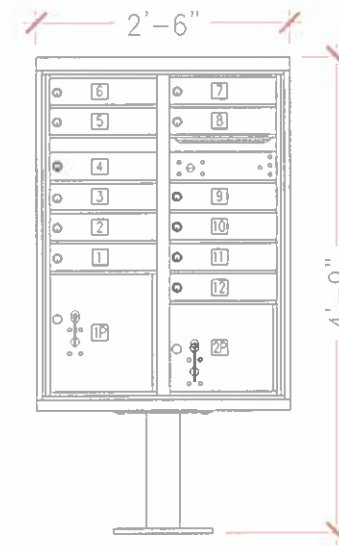
ISSUED ON
05-14-2021

SHEET NO.
D 1
OF
3

Fencing & Signage Details



MONUMENT SIGN
SCALE: NTS



CLUSTER MAILBOX
SCALE: NTS

THIS PLAN IS THE PROPERTY OF LULLAH CUSTOM HOMES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF LULLAH CUSTOM HOMES, INC., NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. LULLAH CUSTOM HOMES, INC. 10000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202. (303) 751-1000. WWW.LULLAHCUSTOMHOMES.COM

NEW RESIDENCE FOR
LULLAH CUSTOM HOMES, SPEC HOME
ADDRESS ---
--- / LOT / COMMUNITY

DESIGN PLAN NAME/NUMBER
LANDSCAPE PLAN
ELEVATION ---
GARAGE, FRONT ENTRY

ISSUED BY
LULLAH

ISSUED ON
05-14-2021

SHEET NO.
03
OF
3

Renderings



FRONT ELEVATION BUILDING A



FALCONS LANDING TOWN HOMES

Renderings



REAR ELEVATION BUILDING A



DESIGN AND DRAFT SERVICES GROUP
WWW.DDSG.US SERVICES DDSG.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST. SUITE 120
GRAND PRAIRE, TX 75050



FALCON'S LANDING TOWNHOMES

Renderings



LEFT ELEVATION BUILDING A



RIGHT ELEVATION BUILDING A



DESIGN AND DRAFT SERVICES GROUP
WWW.DDSC.US SERVICES DDSC.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST. SUITE 120
GRAND PRAIRE, TX 75050



FALCON'S LANDING TOWNHOMES

Renderings



FRONT ELEVATION BUILDING B



FALCONS LANDING TOWN HOMES

Renderings



REAR ELEVATION BUILDING B

DDS GROUP

www.ddsg.us

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSG.US SERVICES@DDSG.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRIE, TX 75050


LILLIAN
CUSTOM HOMES

FALCON'S LANDING TOWNHOMES

Renderings



LEFT ELEVATION BUILDING B



RIGHT ELEVATION BUILDING B



DESIGN AND DRAFT SERVICES GROUP
WWW.DDSC.US SERVICES DDSC.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST. SUITE 120
GRAND PRAIRE, TX 75050



FALCON'S LANDING TOWNHOMES

(8)

Renderings



FRONT ELEVATION BUILDING C



FALCONS LANDING TOWN HOMES

Renderings



REAR ELEVATION BUILDING C

DDS GROUP

www.ddsg.us

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSG.US SERVICES@DDSG.US
PH: 469-999-0800 FH: 214-999-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRIE, TX 75050


LILLIAN
CUSTOM HOMES

FALCON VILLAS TOWNHOMES

Renderings



LEFT ELEVATION BUILDING C



RIGHT ELEVATION BUILDING C

DDS GROUP

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSC.US SERVICES DDSC.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST. SUITE 120
GRAND PRAIRE, TX 75050


LILLIAN
CUSTOM HOMES

FALCON'S LANDING TOWNHOMES

Renderings



FRONT ELEVATION BUILDING D



DESIGN AND DRAFT SERVICES GROUP
WWW.DDSGROUP.COM SERVICES@DDSGROUP.COM
PH: 469-999-0800 FH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRIE, TX 75050



FALCON'S LANDING TOWNHOMES

Renderings



REAR ELEVATION BUILDING D



DESIGN AND DRAFT SERVICES GROUP
WWW.DDSC.US SERVICES DDSC.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST. SUITE 120
GRAND PRAIRE, TX 75050



FALCON'S LANDING TOWNHOMES

(8)

Renderings



LEFT ELEVATION BUILDING D



RIGHT ELEVATION BUILDING D

DDS GROUP

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSC.US SERVICES DDSC.US
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST. SUITE 120
GRAND PRAIRE, TX 75050


LILLIAN
CUSTOM HOMES

FALCON'S LANDING TOWNHOMES

(8)

Planning & Zoning Department

Plat Staff Report

Case: SUB-12-2023



MEETING DATE(S)

Planning & Zoning Commission: July 11, 2023

CAPTION

Consider request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a **Plat** of Moody 2, Lot 1, Block A, being 1.139 acres, located at 630 Boyce Road, situated in the S. Peters Survey, Abstract No. 831, an addition in the Extraterritorial Jurisdiction of the City of Waxahachie (Property ID 189308) – Owner: Tony and Debra Moody (SUB-12-2023)

RECOMMENDED MOTION

*"I move to approve SUB-12-2023 for a **Plat** of Moody 2, Lot 1, Block A, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."*

APPLICANT REQUEST

The Applicant requests to plat a 1-acre tract into one lot for residential use at 630 Boyce Road in the City of Waxahachie extraterritorial jurisdiction (ETJ).

CASE INFORMATION

<i>Applicant:</i>	Tim Jackson, Texas Reality Capture & Surveying, LLC
<i>Property Owner(s):</i>	Tony and Debra Moody
<i>Site Acreage:</i>	1.0 acres
<i>Number of Lots:</i>	1 lot
<i>Number of Dwelling Units:</i>	1 unit
<i>Park Land Dedication:</i>	Not Applicable
<i>Adequate Public Facilities:</i>	The property owner will be responsible for installing a water meter per Rocket Special Utility District (SUD) standards before recording the plat. Additionally, the property owner shall apply for an On-Site Sewage Facility (OSSF) permit with Ellis County when the property owner is ready to construct a single family residence on the subject property.

SUBJECT PROPERTY

<i>General Location:</i>	630 Boyce Road
<i>Parcel ID Number(s):</i>	189308
<i>Current Zoning:</i>	ETJ
<i>Existing Use:</i>	Undeveloped Land

Platting History:

The subject property was not previously platted.

Site Aerial:**PLANNING ANALYSIS**

The Applicant requests to plat a 1-acre tract into one lot for residential use located at 630 Boyce Road in the City of Waxahachie extraterritorial jurisdiction (ETJ). The subject property is part of a 40-acre tract. The owner is platting one acre of the overall property to sell the subject property. Per the Texas Local Government Code (Section 232.0015), the property owner is not required to plat the remainder of the tract if greater than ten acres.

Adequate public facilities are available to serve the subject property, however the property owner shall install a water meter per Rocket Special SUD standards before recording the plat. Additionally, the property owner shall apply for an OSSF permit with Ellis County when the property owner is ready to construct a single-family residence on the subject property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning Department recommends approval of the Plat.

ATTACHED EXHIBITS

1. Plat
2. Water Provider's Endorsement Form

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. The property owner shall install a water meter per Rocket SUD standards before recording the plat with the County's Clerk's office.

STAFF CONTACT INFORMATION*Prepared by:*

Eleana Tuley, AICP

Senior Planner

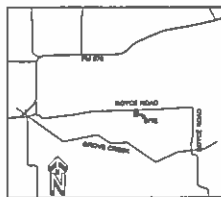
eleana.tuley@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



PROPERTY IS SUBJECT TO A ROCKET SPECIAL UTILITY DISTRICT WATERLINE EASEMENT - LIMITED TO 29" CENTERED ON THE PIPE AS INSTALLED - RECORDED IN INSTRUMENT NO. 1801321, OPRCT.

THENCE N 88°38'11"E, ALONG THE NORTH LINE OF SAID MOODY TRACT AND THE COMMON SOUTH LINE OF SAID FAYE DAVIS TRACT AND THE COMMON SOUTH LINE OF SAID ARMY DAVIS TRACT AND THE APPROXIMATE CENTERLINE OF SAID BOYCE ROAD, A DISTANCE OF 148.56 FEET TO THE POINT OF BEGINNING, AND CONTAINING 1.138 ACRES OF LAND MORE OR LESS.

APPROVED BY: PLANNING AND ZONING COMMISSION CITY OF HOLYKACHIE

DEPARTMENT OF DEVELOPMENT DIRECTOR DATE

NOTARY PUBLIC, IN AND FOR THE
STATE OF TEXAS

10

CURB = 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXC68" SET
 W/2" = IRON ROD FOUND
 OPRECT = OFFICIAL PUBLIC RECORDS, EL PASO COUNTY, TEXAS
 DE = DRAINAGE EASEMENT
 UE = DRAINAGE AND UTILITY EASEMENT
 BL = BUILDING LINE
 RSE = ROCKETT SPECIAL UTILITY DISTRICT EASEMENT

PLAT
LOT 1, BLOCK A
MOODY 2

OWNER:
DEBRA K. MOODY &
TONY A. MOODY
636 BOYCE ROAD
WAXAHACHIE, TX 75165
817.915.0785

SURVEYOR:
TEXAS REALITY CAPTURE &
SURVEYING, L.L.C.
P.O. BOX 252
WAXAHACHIE, TEXAS 75165
409.618.0338
TIPPLS FIRM NO 10194360

S. PETERS SURVEY, ABSTRACT NO. 831
ETJ, CITY OF WAXAHACHIE,
ELLIS COUNTY, TEXAS
1 RESIDENTIAL LOT
CASE NO. 2018-12-2023

JOB NO 15444

FEBRUARY 2023 PAGE 1 OF 1

(10)



PLANNING & ZONING DEPARTMENT
401 South Rogers Street | Waxahachie, Texas 75168
(469) 309-4290 | www.waxahachie.com/Departments/PlanningandZoning



WATER UTILITY PROVIDER'S ENDORSEMENT

Applicant Name: Moody Parcel ID #: 189308
Subdivision Name: Moody 2

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD (972) 937-1212
Carroll Water Company (972) 617-0817
Mountain Peak SUD (972) 775-3765
Rockett SUD (972) 617-3524
Sardis-Lone Elm WSC (972) 775-8566
Nash Foreston WSC (972) 483-3039

****Rockett SUD Notes****
Connection Not Existing= Customer approved for one (1) residential standard-size meter per hydraulic study results that expire on August 17, 2023 if connection is not set.

To be completed by the water utility provider:

	Yes	No
1. I have reviewed a copy of the proposed plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. The platted lots fall within our CCN area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. The water line size servicing the lots is <u>1 1/2</u> inches.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Jacob Morales (New Development Coordinator)
Print Name of General Manager of water provider or Designee

[Signature]
Signature of General Manager of water provider or Designee

Rockett SUD
Name of water provider company

3/2/23
Date

Planning & Zoning Department

Plat Staff Report

Case: SUB-49-2023



MEETING DATE(S)

Planning & Zoning Commission:

July 11, 2023

CAPTION

Consider a request by Serena Moir, for a **Replat** of Lots 1R and 1A-R, Cockerham Estates, and a 20.33-acre tract of land in the Charles Green Survey, Abstract No. 922, and the M.V.B Rhodes Survey, Abstract No. 950, to create Lot 1R2, 1R3, and 3, Cockerham Estates, 3 Residential Lots, being 42.770 acres, located at 4110 FM 66, in the Extraterritorial Jurisdiction (Property ID 209024, 239265, and 239266) – Owner: Serena & James Moir and Michelle Rider (SUB-49-2023)

RECOMMENDED MOTION

*"I move to approve SUB-49-2023 for a **Replat** of Lots 1R and 1A-R, Cockerham Estates, and a 20.33-acre tract of land in the Charles Green Survey, Abstract No. 922 and the M.V.B Rhodes Survey, Abstract No. 950, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."*

APPLICANT REQUEST

The Applicant requests to replat a 42.77-acre tract of land into three lots for residential use at 4110 FM 66 in the City of Waxahachie extraterritorial jurisdiction (ETJ).

CASE INFORMATION

Applicant:

Serena Moir, Property Owner

Property Owner(s):

Serena and James Moir & Michelle Rider

Site Acreage:

42.77 acres

Number of Lots:

3 lots

Number of Dwelling Units:

3 units

Park Land Dedication:

Not Applicable

Adequate Public Facilities:

Adequate facilities are available to serve the subject property.

SUBJECT PROPERTY

General Location:

4110 FM 66

Parcel ID Number(s):

209024, 239265, and 239266

Current Zoning:

ETJ

Existing Use:

A single-family residence exists on each lot.

Platting History:

A portion of the subject property was previously platted as Lots 1R and 1A-R, Cockerham Estates, recorded in Cabinet M, Slide 362.

Site Aerial:



PLANNING ANALYSIS

The Applicant requests to replat a 42.770-acre tract of land into three lots for residential use at 4110 FM 66 in the City of Waxahachie extraterritorial jurisdiction (ETJ). Lots 1R2, 1R3, and a portion of lot 3 (approximately 8 acres) were previously platted lots as part of the Cockerham Estates plat recorded in Cabinet M, Slide 362. The purpose of this plat is to incorporate an unplatted 20-acre tract of land into lot 3 and shift the property lines among lots 1R2 and 1R3.

There is an existing single-family residence in each lot and all existing structures are fully contained within the new limits of the proposed property lines. Furthermore, all lots are served by adequate water sewer facilities and no further infrastructure improvements are necessary. Staff recommends approval of the proposed plat since it complies with both the City's and County's subdivision regulations.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning Department recommends approval of the replat.

ATTACHED EXHIBITS

1. Replat

STAFF CONTACT INFORMATION

Prepared by:

Eleana Tuley, AICP

Senior Planner

eleana.tuley@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

OWNER'S CERTIFICATE

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WE, JAMES W. MOIR & SERENA N. MOIR, and MICHELLE RIDER, owners, do hereby certify and adopt this plat designating the herein above described property as BLOCK A, LOT 1R3, LOT 1R2, AND LOT 3 - COCKERHAM ESTATES, an addition to Ellis County, and do hereby dedicate to the public use forever, the streets and alleys shown thereon. The owner does herein certify the following:

1. The streets and alleys are dedicated in fee simple for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown.
5. Ellis County is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Ellis County's use thereof.
7. Ellis County and/or public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. Ellis County and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by Ellis County.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of Ellis County, Texas.

WITNESS, my hand, this the _____ day of _____, 20____.

BY:

JAMES W. MOIR, owner

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared JAMES W. MOIR, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public _____ My Commission Expires On: _____

Witness my hand on this _____ day of _____, 20____.

BY:

SERENA N. MOIR, owner

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared SERENA N. MOIR, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public _____ My Commission Expires On: _____

Witness my hand on this _____ day of _____, 20____.

BY:

MICHELLE RIDER, owner

STATE OF TEXAS §
COUNTY OF ELLIS §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared MICHELLE RIDER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public _____ My Commission Expires On: _____

Witness my hand on this _____ day of _____, 20____.

ON-SITE SEWAGE FACILITY STATEMENT

This plat has been approved by the Department of Development for an on-site sewage facility system pending any and all information as may be required by the Ellis County Department of Development.

Department of Development Director

Date

STATE OF TEXAS:
COUNTY OF ELLIS:

Certificate of approval by the Commissioners Court of Ellis County, Texas:

Approved this date, the _____ day of _____, 20____.

Todd Little, County Judge

Lane Grayson
Commissioner Precinct # 2

Randy Stinson
Commissioner Precinct # 1

Kyle Butler
Commissioner Precinct # 4

Paul Perry
Commissioner Precinct # 3

ATTEST:

Krystal Valdez, County Clerk

APPROVED BY: Planning and Zoning Commission City of Waxahachie

By: _____ Date _____
Chairperson

ATTEST: _____ Date _____

SURVEYOR'S CERTIFICATE

This is to certify that I, Stuart C. Hamilton, a Registered Public Land Surveyor of the State of Texas, have plotted the subdivision hereon from an actual survey on the ground and that all lot corners, angle points, and points of curve have been properly marked on the ground, and that this plat correctly represents that survey made by me

PRELIMINARY, THIS DOCUMENT NOT TO BE RECORDED FOR ANY PURPOSES

Stuart C. Hamilton
Registered Professional Land Surveyor
Number 4480

Date

DRAINAGE NOTES:

- (1) BLOCKING THE FLOW OF WATER OR CONSTRUCTING IMPROVEMENTS IN THE DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
- (2) THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS THE ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE COURSES ALONG OR ACROSS SAID LOTS.
- (3) ELLIS COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION.
- (4) ELLIS COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOOD CONDITIONS.

**REPLAT
COCKERHAM ESTATES
LOTS 1R2, 1R3, and 3
42.770 Acres**

Being a called 20.33 Acres tract of land in the Charles Green Survey, Abstract No. 922 and the M.V.B. Rhodes Survey, Abstract No. 950 and being a Replat of Lots 1R and 1A-R of the Cockerham Estates recorded in Cabinet M, Slide 362 PRECT in the City of Waxahachie ETJ and the City of Maypearl ETJ, in Ellis County, Texas
Zoning: ETJ / 3 Residential Lots
Case No. SUB-49-2023

Revisions	By

Davis & McDill, LLC

SURVEYING - LAND PLANNING - FLOODPLAIN MANAGEMENT
P.O. BOX 428, WAXAHACHIE, TEXAS 75168
PHONE: 972-938-1185
A Texas licensed surveying firm # 10194661



Date: 6-2-2023

Scale: N/A

Drawn: DWH/sgb

Job: 223-0047

Sheet: 2

of 2 sheets.

(11)

Planning & Zoning Department

Plat Staff Report

Case: SUB-68-2023



MEETING DATE(S)

Planning & Zoning Commission: July 11, 2023

CAPTION

Consider a request by Claudio Segovia, Johnson Volk Consulting, Inc., for a **Replat** of Lot 2, Block A, Commons at North Grove, 3 lots, being 3.001 acres, located across from 507 Country Meadows Blvd., (Property ID 290825) – Owner: Kotha Holdings Group, LLC (SUB-68-2023)

RECOMMENDED MOTION

*"I move to approve SUB-68-2023 for a **Replat** of Lot 2, Block A, Commons at North Grove, authorizing the Planning & Zoning Commissioner to sign the associated documents accordingly."*

APPLICANT REQUEST

The Applicant requests to replat one lot (approximately 3 acres) into three lots for nonresidential use across from 507 Country Meadows Boulevard.

CASE INFORMATION

Applicant:	Claudio Segovia, Johnson Volk Consulting, Inc.
Property Owner(s):	Kotha Holdings Group, LLC
Site Acreage:	3.00 acres
Number of Lots:	3 lots
Number of Dwelling Units:	0 units
Park Land Dedication:	Parkland dedication fees are waived based on the North Grove PD.
Adequate Public Facilities:	Adequate public facilities are available to serve the subject property.

SUBJECT PROPERTY

General Location:	Across from 507 Country Meadows Boulevard
Parcel ID Number(s):	290825
Current Zoning:	PD Ord. No. 2733, 2841, 2870, and 3002
Existing Use:	Undeveloped Land
Platting History:	The subject property was previously platted as Lot 2, Block A of the Commons at North Grove recorded in instrument no. 2153957.

Site Aerial:



PLANNING ANALYSIS

The Applicant requests to replat one lot (approximately 3 acres) into three lots for nonresidential use across from 507 Country Meadows Boulevard. Although the Applicant has yet to submit a formal site plan application to the Planning Department for either of the three lots, the Applicant has expressed a keen interest in constructing a daycare, a restaurant (without a drive-through), and an office building. The Applicant shall be required to obtain site plan approval and all necessary City permits to develop the property in question for said uses in the future. As proposed, the plat complies with the zoning provisions in the North Grove Planned Development (PD) ordinance, and the City's subdivision regulations, and as such, staff is recommending approval of the proposed replat.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning Department recommends approval of the replat.

ATTACHED EXHIBITS

1. Replat

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

A plat shall not be filed with the Ellis County Clerk until:

1. The Applicant has received a letter of acceptance from the Public Works Department confirming all utilities, infrastructure, and other required improvements have been installed, inspected, and accepted by the City.

STAFF CONTACT INFORMATION

Prepared by:

Eleana Tuley, AICP

Senior Planner

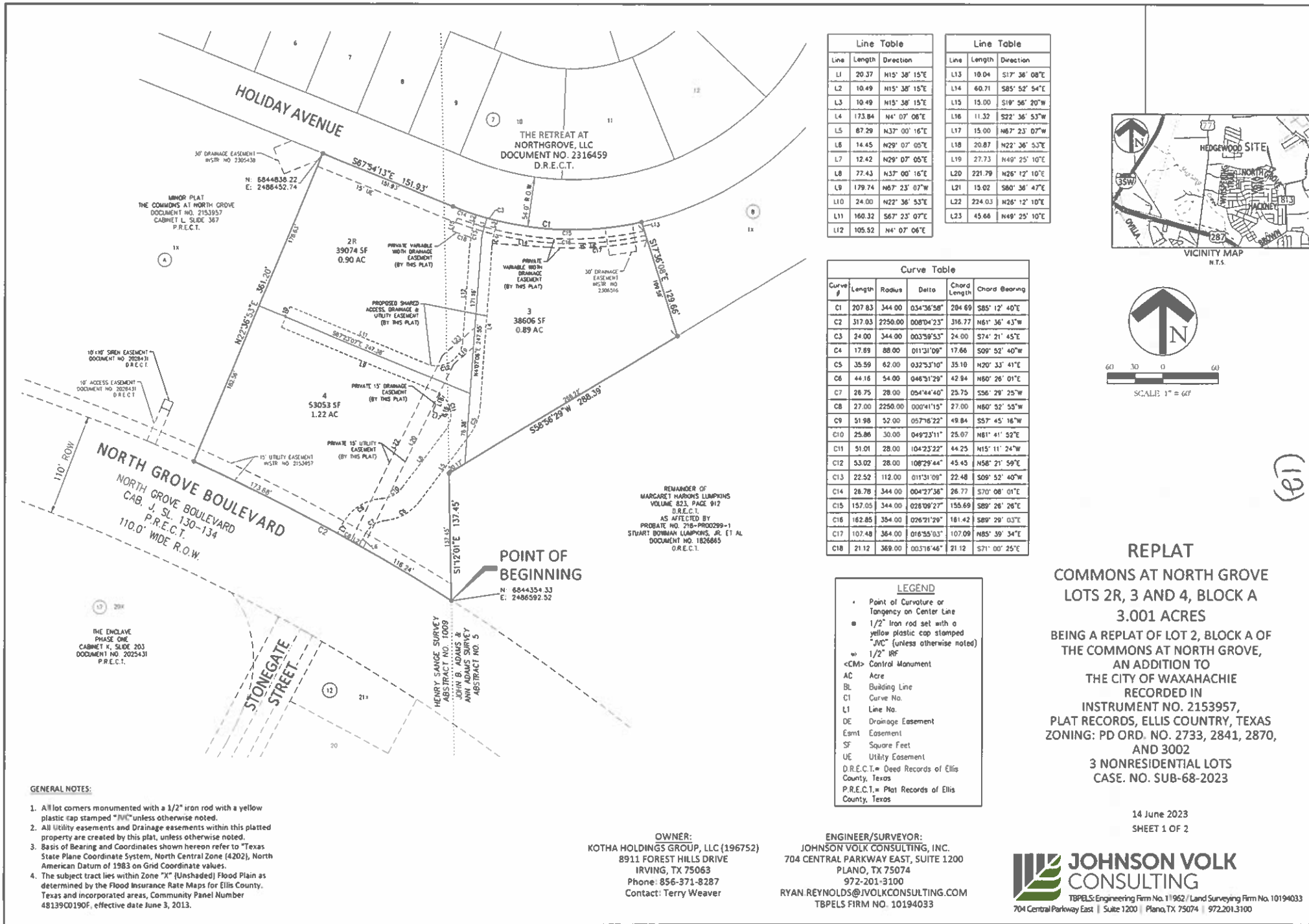
eleana.tuley@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



STATE OF TEXAS §
COUNTY OF ELLIS §

OWNER'S CERTIFICATE:

BEING a tract of land situated in the JOHN B. ADAMS & ANN ADAMS SURVEY, ABSTRACT NO. 5 and the HENRY SANGE SURVEY, ABSTRACT NO. 1009, City of Waxahachie, Ellis County, Texas and being all of Lot 2, Block A, The Commons at North Grove an addition to the City of Waxahachie according to the plat filed of record in Instrument Number 2153957, Plat Records Ellis County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found in the north line of North Grove Boulevard, a 110 feet right-of-way, for the most southerly southeast corner of said Lot 2, said point being at the beginning of a curve to the left having a central angle of 8 degrees 04 minutes 23 seconds, a radius of 2,250.00 feet and a chord bearing and distance of North 61 degrees 36 minutes 43 seconds West, 316.77 feet;

THENCE Westerly with said north line and curve to the left, an arc distance of 317.03 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for the southwest corner of said Lot 2 and common southeast corner of Lot 1 of said addition;

THENCE North 22 degrees 36 minutes 53 seconds East, leaving said north line and curve, with the common line of said Lots 1 and 2, a distance of 361.20 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for the northeast corner of said Lot 1 and common northwest corner of said Lot 2

THENCE South 67 degrees 54 minutes 13 seconds East, leaving said common corner, with the north line of said Lot 2, a distance of 151.93 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner at the beginning of a curve to the left having a central angle of 34 degrees 36 minutes 58 seconds, a radius of 344.00 feet and a chord bearing and distance of South 85 degrees 12 minutes 40 seconds East, 204.69 feet;

THENCE Easterly, with said north line and curve to the left, an arc distance of 207.83 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for the northeast corner of said Lot 2;

THENCE South 17 degrees 36 minutes 08 seconds East, a distance of 129.65 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for the most easterly corner of said Lot 2;

THENCE South 58 degrees 56 minutes 29 seconds West, a distance of 288.39 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for an interior "ell" corner of said Lot 2;

THENCE South 01 degrees 12 minutes 01 seconds East, a distance of 137.45 feet to the POINT OF BEGINNING and containing 3.001 acres of land.

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT Katha Holdings Group, LLC acting by and through its duly authorized agent, does hereby adopt this plat, designating the herein described property as Commons at North Grove, Lots 2R, 3, 4, Block A, being a replat of Lot 2, Block A of the Commons at North Grove as recorded in instrument no. 2153957, Plat Records, Ellis County, Texas, and do hereby dedicate in fee simple the streets, alleys, and common areas shown thereon. The streets, alleys are dedicated for street purposes. The Easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the Easements as shown, except that landscape improvements may be placed in Landscape Easements, if approved by the City of Waxahachie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Waxahachie's use thereof. The City of Waxahachie and public utility entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of its respective system in said Easements. The City of Waxahachie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Waxahachie, Texas

WITNESS, OUR HANDS this _____ day of _____, 20____

By: _____

Katha Holdings Group, LLC

Rama Katha, Manager

STATE OF TEXAS §
COUNTY OF ELLIS §

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared _____ Owner's Agent, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____

Notary Public in and for the State of Texas

My Commission Expires: _____

APPROVED BY PLANNING AND ZONING COMMISSION CITY OF WAXAHACHIE

BY: CHAIRPERSON _____ DATE _____
ATTEST _____ DATE _____

SURVEYORS CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the platting rules and regulations of City of Waxahachie, Texas.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared RYAN S. REYNOLDS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 20____

Notary Public in and for the State of Texas

My Commission Expires: _____

REPLAT
COMMONS AT NORTH GROVE
LOTS 2R, 3 AND 4, BLOCK A
3.001 ACRES
BEING A REPLAT OF LOT 2, BLOCK A OF
THE COMMONS AT NORTH GROVE,
AN ADDITION TO
THE CITY OF WAXAHACHIE
RECORDED IN
INSTRUMENT NO. 2153957,
PLAT RECORDS, ELLIS COUNTY, TEXAS
ZONING: PD ORD. NO. 2733, 2841, 2870,
AND 3002
3 NONRESIDENTIAL LOTS
CASE. NO. SUB-68-2023

14 June 2023
SHEET 2 OF 2

OWNER:
KOTHA HOLDINGS GROUP, LLC (196752)
8911 FOREST HILLS DRIVE
IRVING, TX 75063
Phone: 856-371-8287
Contact: Terry Weaver

ENGINEER/SURVEYOR:
JOHNSON VOLK CONSULTING, INC.
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPELS FIRM NO. 10194033

 **JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-04-2023



MEETING DATE(S)

Planning & Zoning Commission: July 11, 2023

City Council: July 17, 2023

CAPTION

Public Hearing on a request by Jake Fears, JHF Engineering for a **Specific Use Permit (SUP)** for a restaurant with a drive-through use within a General Retail (GR) and Light Industrial-1 (LI-1) zoning district located at 1995 North Highway 77 (Property ID 262424) - Owner: C&C Waxahachie, LLC (ZDC-04-2023)

RECOMMENDED MOTION

"I move to recommend approval of ZDC-04-2023, a Specific Use Permit (SUP) for a restaurant with a drive-through use, subject to the conditions the staff report with elevation option _____, authorizing the City Manager and or Mayor to execute all documents accordingly."

APPLICANT REQUEST

The Applicant is requesting a specific use permit for a restaurant with a drive-through use at 1995 North Highway 77. The restaurant is part of a multi-tenant retail building (10,354 square feet) with four suites: a sit-down restaurant, a drive-through restaurant, a nail salon, and a dental clinic. The property owner has yet to finalize contracts with the prospective tenants. Therefore, the Applicant cannot disclose the businesses occupying each suite.

CASE INFORMATION

<i>Applicant:</i>	Jake Fears, JHF Engineering
<i>Property Owner(s):</i>	C&C Waxahachie, LLC
<i>Site Acreage:</i>	1.305 acres
<i>Current Zoning:</i>	General Retail (GR) & Light Industrial-1 District (LI-1)
<i>Requested Zoning:</i>	GR and LI-1 with a specific use permit (SUP) for a restaurant with a drive-through

SUBJECT PROPERTY

<i>General Location:</i>	1995 North Highway 77
<i>Parcel ID Number(s):</i>	262424
<i>Existing Use:</i>	Undeveloped Land

Development History:

A plat (SUB-43-2023) for the subject property was approved at the Planning and Zoning Commission meeting on June 13, 2023.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	LI-1	Undeveloped Land
East	PD-GR	Undeveloped Land (Future Tom Thumb and multi-pad shopping center)
South	GR	Community National Bank & Trust of Texas
West	LI-1	Undeveloped Land

Future Land Use Plan:

Local Commercial

Comprehensive Plan:

The local commercial placetype includes areas for restaurants, shops, grocery stores, offices, and personal service establishments. This placetype was incorporated to preserve the City's commercial corridors. Where appropriate, local commercial uses should be located at the intersection or frontage of major thoroughfares (60 feet or greater). The intensity of this placetype falls between neighborhood scale commercial and regional commercial. Local commercial will consist of a single or cluster of standalone office, retail or commercial buildings with an anchor. Local commercial uses should be interconnected with sidewalks to increase walkability. In addition, a shared open space comprised of a plaza or park is encouraged for multi-pad site developments.

Thoroughfare Plan:

The primary access to the subject property is from Victory Drive (60' right-of-way) and North Town Boulevard (60' right-of-way). The Applicant is extending North Town Boulevard up to the northern property line with the proposed development of the subject property.

Site Image:

PLANNING ANALYSIS

The Applicant is requesting a specific use permit for a restaurant with a drive-through use at 1995 North Highway 77. The restaurant is part of a multi-tenant retail building (10,354 square feet) with four suites: a sit-down restaurant, a drive-through restaurant, a nail salon, and a dental clinic. The property owner has yet to finalize contracts with the prospective tenants. Therefore, the Applicant cannot disclose the businesses occupying each suite. However, the proposed development has satisfied all the requirements of the zoning ordinance, including but not limited to parking, stacking, and landscaping requirements. As such, staff recommends approval of the specific use permit, since the development complies with the City's development standards.

Proposed Elevations

The Applicant has provided two sets of architectural elevations. Both sets of elevations have the same building design and exterior finishing materials, except the color scheme for each set is different.

Option 1 – The building is mostly made of brick, with two different shades of brown (dark and light) with gray undertones, as depicted in the material sample board below. Additionally, natural stone materials are used in the lower portion of the building, and features a stucco parapet roof.



Option 1 – The building is mostly made of brick, with two different shades of brown (dark and light) with red undertones, as depicted in the material sample board below. Additionally, natural stone materials are used in the lower portion of the building, and features a stucco parapet roof.



PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 10 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun, and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents associated with the request, the Planning Department recommends approval of the SUP request with the conditions listed below.

1. The Applicant execute a mutually agreed upon Development Agreement.
2. The Applicant obtain the necessary building permits from the City of Waxahachie Building and Community Services Department.

ATTACHED EXHIBITS

1. Location Map (Exhibit A)
2. Site Plan (Exhibit B)
3. Landscape Plan (Exhibit C)
4. Architectural Elevations (Exhibit D) - Option 1
5. Architectural Elevations (Exhibit D) - Option 2
6. Operational Plan

STAFF CONTACT INFORMATION

Prepared by:

Eleana Tuley, AICP

Senior Planner

eleana.tuley@waxahachie.com

Reviewed by:

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com



EXHIBIT A - LOCATION MAP

(13)



0 20 40 60

GENERAL NOTES:

1. ALL COORDINATES ARE TO THE BACK OF CURB, UNLESS NOTED OTHERWISE.
2. DIMENSIONS SHOWN ARE TO THE BACK OF CURB, UNLESS NOTED OTHERWISE.
3. ALL PROPOSED CURB RADIUS ARE 2.5' B/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
4. SEE ARCHITECTURAL PLANS FOR BLDG.
5. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

NORTH TOWN BOULEVARD
(60' RIGHT-OF-WAY)

VICTORY DRIVE
(60' RIGHT-OF-WAY)

U.S. HIGHWAY 77
(VARIABLE WIDTH RIGHT-OF-WAY)

SITE DATA CHART

EXISTING ZONING	GENERAL RETAIL
PROPOSED USES	RETAIL/RESTAURANT W/ DRIVE THROUGH
LOT AREA	1.305 AC
BUILDING AREA TOTAL	10,354 SF (DRIVING/PATIO)
RETAIL	3,354 SF
RESTAURANT	7,000 SF (4,200 SF SEATING)
PARKING REQ'D	RETAIL=3354 SF/200 SF=17 SPACES RESTAURANT=4200 SF/100 SF=42 SPACES 59 TOTAL REQUIRED
PARKING PROVIDED	66 SPACES
BUILDING HEIGHT	25'
FLOOR AREA RATIO	0.20 FAR
IMPERVIOUS AREA	46753 SF (82%)

CAUTION!!!
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES. TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTOR'S OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTOR'S OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

NOTE:
SITE PLAN SHALL MEET CITY DRAINAGE REQUIREMENTS.

LEGEND

- PROPOSED LANDSCAPE /SEEDING AREAS
- PROPOSED CONCRETE SIDEWALK
- LIGHT DUTY CONCRETE PAVEMENT
- 6" FIRELANE PAVEMENT 3,600psi CONC. W/ #3@18
- HEAVY DUTY CONCRETE PAVEMENT
- UNIT COUNT
- E EXPANSION JOINTS
- E.Q.P. EDGE OF PAVEMENT
- B.F.R. BARRIER FREE RAMP

SUP DATA

SPECIFIC USE PERMIT
VICTORY RETAIL
DRIVE-THROUGH
1.305 ACRES
WAXAHACHIE, TEXAS
CASE NO. ZDC-4-2023

OWNER/DEVELOPER
PROJECT: LOT 2R-1, Block C
VICTORY PARK Addition
CONTACT: FOREMARK DEVELOPMENT
CHAD DUBOSE
6330 N. CENTRAL EXPRESSWAY
DALLAS, TEXAS 75206
214-561-6522
CHAD@FOREMARK.COM

ENGINEER
JHF ENGINEERING
8718 FM 225 S
LANEVIEW, TEXAS 75467
CONTACT: JAKE FEARS, P.E.
(903) 648-8340
EMAIL: jakefears@JHFEEngineering.com

JHF ENGINEERING, PLLC.
ENGINEERS LAND PLANNERS
8718 FM 225 S LANEVIEW, TEXAS 75467 PHONE (903) 648-8340

1985 N. HWY. 77
LOT 2R, BLOCK C
VICTORY PARK
ELLIS COUNTY
WAXAHACHIE, TEXAS

SITE PLAN

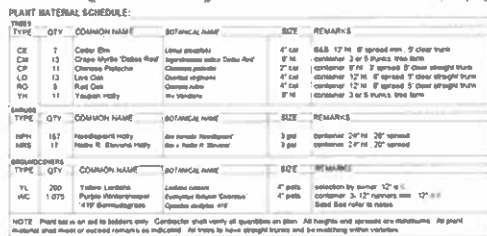
PRELIMINARY PLANS
FOR PROJECT REVIEW
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES

Prepared By/By Under
Direct Supervision Of
Jacob H. Fears, P.E.
Texas Registration
No. 95376
On Data Shown Below

DATE: MAY 1, 2023
BY: JHF

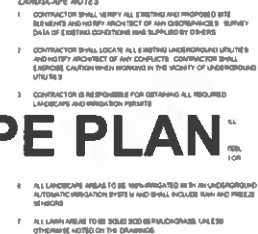
SHEET NO.
S101

EXHIBIT B - SITE PLAN

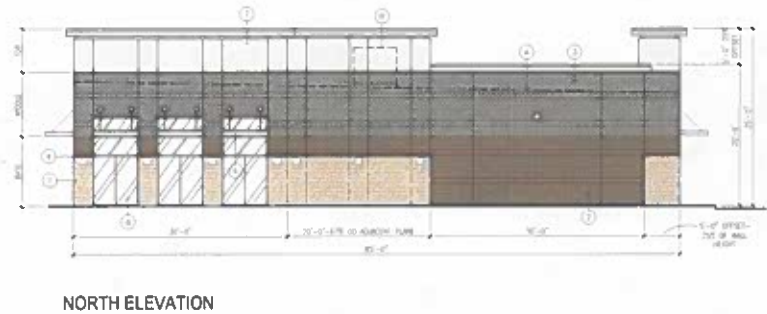
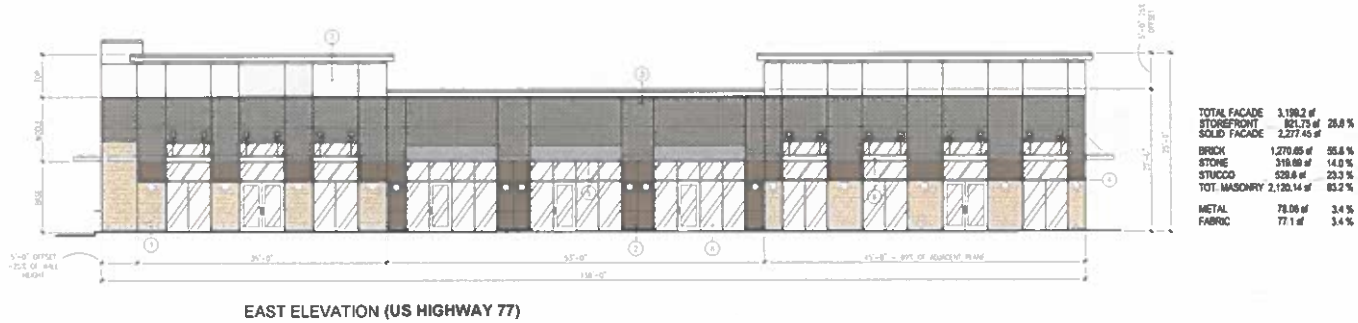


BT	BUFFER YARD TREE
IT	INTERIOR LANDSCAPE TREE
PT	PARKING LOT TREE
ST	STREET TREE

SUP DATA
SPECIFIC USE PERM
VICTORY RETAIL
DRIVE THROUGH
1.200 ACRES
WATASHACHE TEXAS
CASE NO 280-430



L.1



KEYED NOTES:
 A LINE OF ROOF DECK BEYOND
 B HVAC UNIT BEYOND

MATERIAL LEGEND
 1 COURSED STONE
 2 BRICK A - WARM BROWN
 3 BRICK B - WARM TAN
 4 CAST STONE BAND
 5 FABRIC AWNING
 6 METAL CANOPY
 7 STUCCO
 8 STOREFRONT GLASS
 9 HOLLOW METAL DOORS



EXHIBIT D - ELEVATIONS

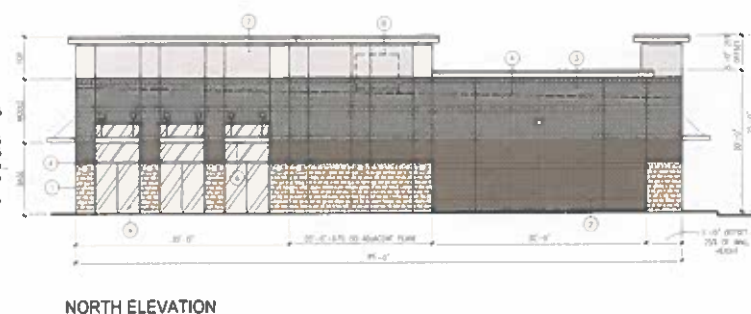
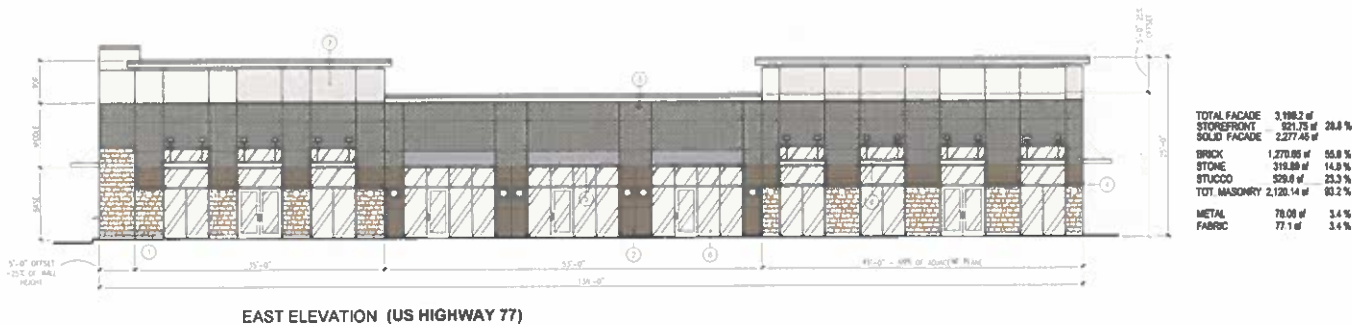


Summitvi

CAST
STONE

ALUMINUM STOREFRONT FRAMING

K



KEYED NOTES:

- A LINE OF ROOF DECK BEYOND
- B HVAC UNIT BEYOND

MATERIAL LEGEND:

- 1 COURSED STONE
- 2 BRICK A - MEDIUM WARM GRAY
- 3 BRICK B - LIGHT WARM GRAY
- 4 CAST STONE BAND
- 5 FABRIC AWNING
- 6 METAL CANOPY
- 7 STUCCO
- 8 STOREFRONT GLASS
- 9 HOLLOW METAL DOORS

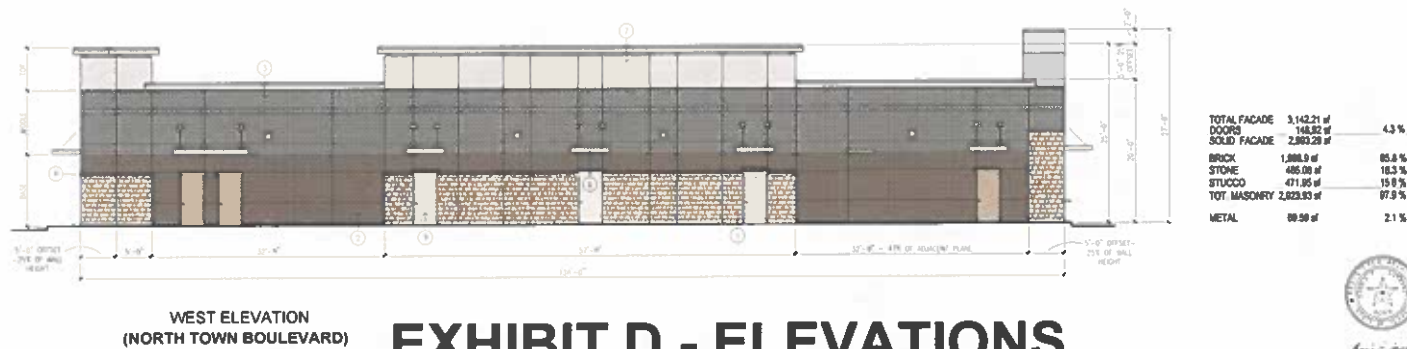


EXHIBIT D - ELEVATIONS



(21)

HEBRON
BRICK COMPANY
www.hebronbrick.com

CAST
STONE

ALL DIMENSIONS IN INCHES

OPTION B



1995 Hwy 77, Waxahachie, TX

Special Use Permit

Operational Plan

Summary:

The proposed development will include a multiple-tenant building for a dine-in restaurant, dental clinic, nail salon and drive-through restaurant. All proposed uses are by right in a General Retail Zoning, however the drive-through service requires a SUP. Currently not all tenants have finalized a lease agreement and cannot be disclosed.

Hours of operation:

The dine-in restaurant between 11am – 10pm, 7 days a week

Dental clinic 9am and 6pm, 5 days a week

Nail salon 9am and 7pm 6 days a week

Restaurants with a drive-through window between 6am-11pm, 7 days week

Number of Employees:

Each business falls within the typical range of employees and adequate parking has been provided for both employees and patrons.

Dine-in restaurant 6-8 full-time and 20 part-time employees.

Dental Clinic 8-10 full-time employees

Nail Salon 6-8 full-time employees

Restaurant with drive-through 8-10 full-time and 25 part-time employees

Compatibility with adjoining uses:

All proposed uses are consistent with the existing zoning.

Company's Business Plan:

The developer of the multi-tenant property is seeking new to market and/or well-established tenants for long-term use within the development.

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-48-2023



MEETING DATE(S)

Planning & Zoning Commission: July 11, 2023

City Council: July 17, 2023

CAPTION

Public Hearing on a request by James Dixon, Dixon & Associates, for a **Specific Use Permit (SUP)** for an Accessory Structure over 700 Square Feet use within a Single-Family Dwelling-2 (SF-2) zoning district located at 149 Country Drive (Property ID 203065) - Owner: Nicolas & Maria Sierra (ZDC-48-2023).

RECOMMENDED MOTION

"I move to recommend approval of ZDC-48-2023, a Specific Use Permit (SUP) for an Accessory Structure over 700 Square Feet use within a Single-Family 2 (SF-2), subject to the conditions the staff report."

APPLICANT REQUEST

The Applicant requests approval of a Specific Use Permit (SUP) to allow for an Accessory Structure over 700 Square Feet use for Nicolas and Maria Sierra at 149 Country Drive.

CASE INFORMATION

Applicant: James Dixon, Dixon & Associates

Property Owner(s): Nicolas & Maria Sierra

Site Acreage: 1.03 acres

Current Zoning: Single-Family 2 (SF-2)

Requested Zoning: SF-2 with a specific use permit (SUP) for an Accessory Structure over 700 square feet

SUBJECT PROPERTY

General Location: Generally located at 149 Country Drive

Parcel ID Number(s): 203065

Existing Use: Residential use

Development History: The subject property was platted as Lot 25, Block 4 of Country Place Addition Phase Five.

Adjoining Zoning & Uses:

Direction	Zoning	Current Use
North	SF2	Residential use
East	SF2	Residential use
South	PD (Ord. 2914)	Residential use
West	SF2	Residential use

Future Land Use Plan:

Residential Neighborhood

Comprehensive Plan:

This placetype serves to create neighborhoods built with a traditional walkable block/street grid network that allows some variation in housing typologies. Although this placetype will predominantly consist of traditional single family detached housing, denser housing types are encouraged such as duplex, cottage courts, and townhomes. Both residential and commercial uses need to be context-sensitive. Commercial uses in this placetype may be a small pop-up facility or a home converted to a small store front. Walkability is key for neighborhood commercial uses so that they are accessible from surrounding neighborhoods.

Thoroughfare Plan:

The primary access to the subject property is through Grove Creek Road.

Site Image:

PLANNING ANALYSIS

The applicant is requesting a specific use permit to construct an accessory structure greater over 700 square feet on the rear side of single-family residential lot at 149 Country Drive. Per the City of Waxahachie Zoning Ordinance, an accessory structure that is equal to or greater than 700 square feet requires a Specific Use Permit (SUP) to be approved by City Council.

Proposed Use:

According to the Ellis County Appraisal District, the single-family dwelling has an approximate size of 2,913 square feet, and the proposed accessory structure has an area of 725 square feet and have an exterior masonry construction to match the primary building. The owner plans to utilize the accessory structure for storing household items, tools, lawn equipment, and vehicles. The structure will be situated at the back of the property, towards the southern part of the lot.

The applicant has confirmed to staff that the structure will not be used as a dwelling and will not be metered, sold, or leased separately from the existing home.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements 14 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun, and a sign was visibly posted at the property. At the time of publishing this report, Staff received 2 letters of support.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents associated with the request, the Planning Department recommends approval of the SUP request with the conditions listed below.

1. The accessory structure shall not be used as a dwelling without a Specific Use Permit that has been approved by City Council.
2. The accessory structure shall not be used for commercial purposes.
3. The accessory structure shall not be leased or sold separately from the primary residence and shall not be separately metered.
4. The accessory structure shall obtain a permit from the City of Waxahachie Building Department before constructing the accessory structure.

ATTACHED EXHIBITS

1. Location map
2. Site layout exhibit
3. Site plan
4. Floorplan/Exterior elevations
5. PON Responses

APPLICANT REQUIREMENTS

1. If approved by City Council, the Applicant can apply for building permits from the Building and Community Services Department.

STAFF CONTACT INFORMATION*Prepared by:*

Oanh Vu

Planner

oanh.vu@waxahachie.com*Reviewed by:*

Jennifer Pruitt, AICP, LEED-AP, CNU-A

Senior Director of Planning

jennifer.pruitt@waxahachie.com

EXHIBIT A - LOCATION MAP



EXHIBIT B - SITE LAYOUT

Site Layout Exhibit ZDC-48-2023

Property Line

Proposed Accessory
Structure (1176 sq. ft.)

Existing Home

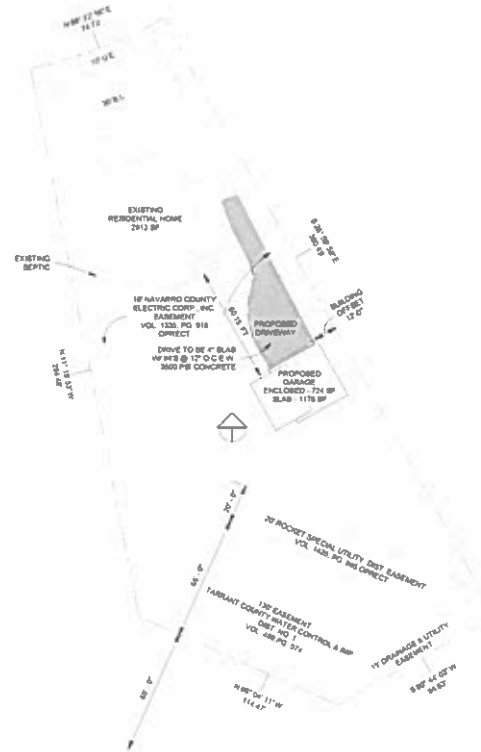
COUNTRY DR

RED MAPLE RD

0 30 60 120 Feet

(15)

EXHIBIT C - SITE PLAN



① $\frac{\text{Side}}{\text{Hyp}} = \cos \theta$



Garage Project
149 Country Drive
Waxahachie, Texas

[illegible]

Sierra Family

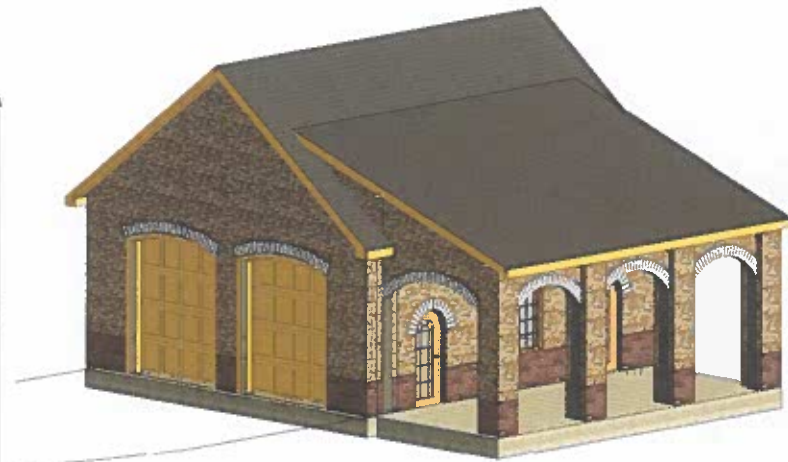
Site Plan

Project number	23016-01
Date	5/18/2023
Organ by	Au/Top
Checked by	Chenchen

C1

Scale	1" = 30'-0"
-------	-------------

**DIXON &
ASSOCIATES**
CONSULTING
STRUCTURAL ENGINEERS
803 NORTH HOOPER ST.
WAKAHAMMA, TEXAS 75162
PH. 972-523-1911
JOHN D. DIXON, ENGINEER
TX FIRM NO. 1 00 986



Garage Project
149 Country Drive
Waxahachie, Texas

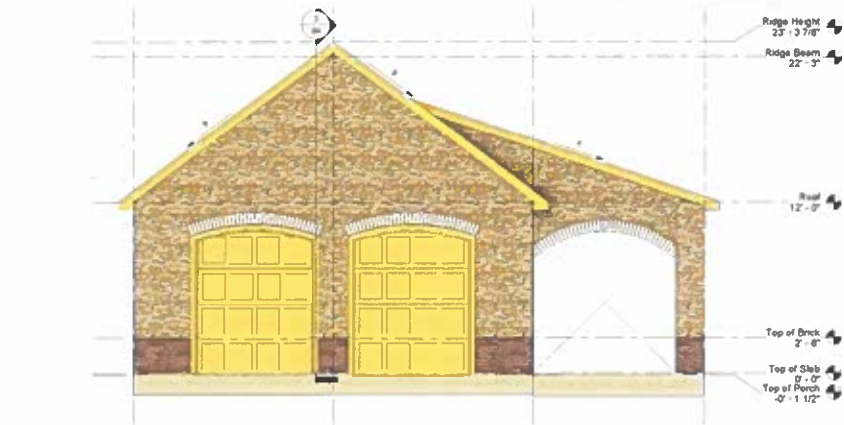
[illegible]

First Floor Framing Plan

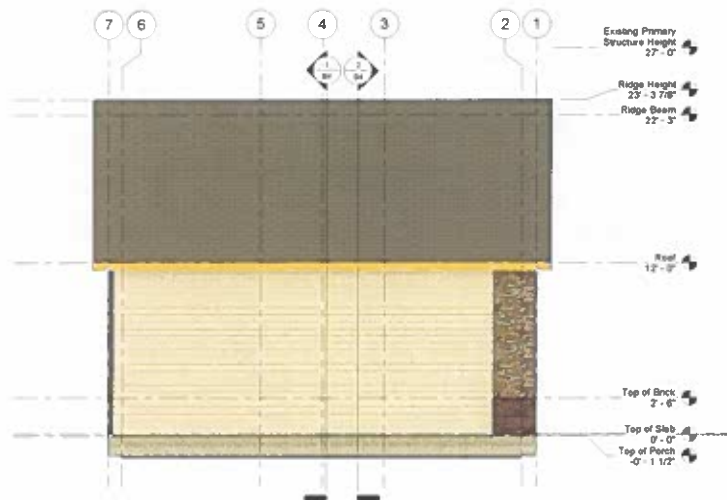
S2

(15)

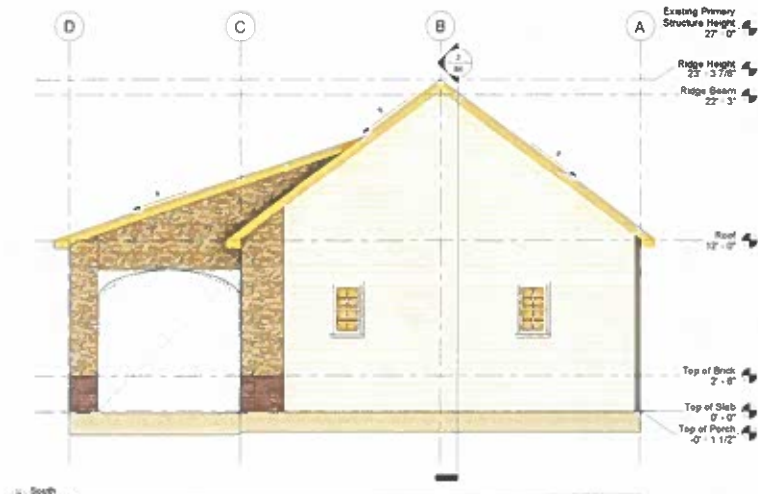
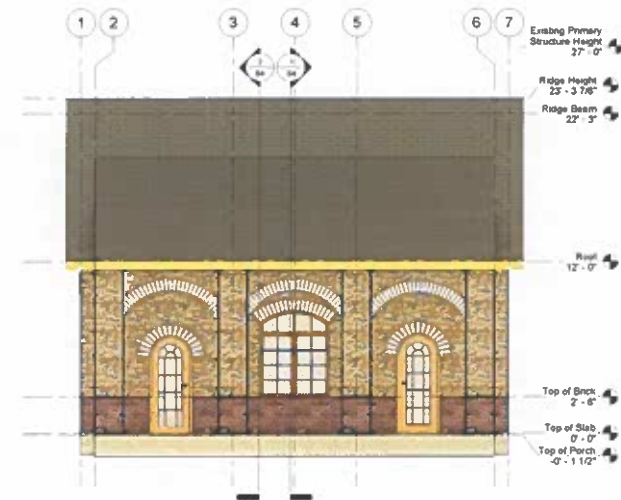
EXHIBIT D - FLOOR PLAN/EXTERIOR ELEVATIONS



① $\frac{1}{14} = 1:0$



(3) $\frac{8 \times 10^4}{1 \times 10^2} = 8 \times 10^2$


$$\left(\frac{1}{2}\right) \frac{\text{South}}{1\text{M}} = 1.45$$


(4) Viral $10^8 = 10^8$



Garage Project
149 Country Drive
Waxahachie, Texas

[illegible]

Sierra Family

Elevations

Project number	23018-01
Date	9/16/2022
Drawn by	As/Par
Checked by	Checker

SO

Scale	1:100 = 1"=10'
-------	----------------

(5)

EXHIBIT F - PON RESPONSES

(15)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: **ZDC-48-2023**



ASHDOWN MARCUS
151 COUNTRY DR
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 11, 2023 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 17, 2023 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

Request by James Dixon, Dixon & Associates, for a **Specific Use Permit (SUP)** for an **Accessory Building (Residential), Greater than or Equal to 700 Square Feet** use within the Single-Family Dwelling-2 (SF2) zoning district located at 149 Country Drive (Property ID: 203065) – Owners: NICHOLAS AND MARIA SIERRA (ZDC-48-2023) Staff: Oanh Vu

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: **ZDC-48-2023**

City Reference: 203055

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **July 5, 2023** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

☒ **SUPPORT**

☐ **OPPOSE**

Comments:

Marcus Ashdown
Signature

6/23/2023
Date

Marcus Ashdown, neighbor
Printed Name and Title

151 Country Dr, Waxahachie
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

EXHIBIT F - PON RESPONSES

(15)



City of Waxahachie, Texas
Notice of Public Hearing
Case Number: ZDC-48-2023

◇◇◇◇

HOWELL JOHN S
PO BOX 558
WAXAHACHIE, TX 75168

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, July 11, 2023 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, July 17, 2023 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

Request by James Dixon, Dixon & Associates, for a **Specific Use Permit (SUP)** for an **Accessory Building (Residential), Greater than or Equal to 700 Square Feet** use within the Single-Family Dwelling-2 (SF2) zoning district located at 149 Country Drive (Property ID: 203065) – Owners: NICHOLAS AND MARIA SIERRA (ZDC-48-2023) Staff: Oanh Vu

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-48-2023

City Reference: 173126

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on July 5, 2023 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

☐ SUPPORT

☐ OPPOSE

Comments:

If the structure is for a residence, I oppose it - I have already noted recurrent loud nighttime music from that household; If it is for storage or a workshop, I support it.

John Howell

Signature

June 27, 2023

Date

John Howell
Printed Name and Title

144 Country Drive
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

Case Number: ZDC-48-2023

City Reference: 203064

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on July 5, 2023 to ensure inclusion in the Agenda Packet. Forms can be e-mailed to Planning@Waxahachie.com or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

☒ SUPPORT

☐ OPPOSE

RECEIVED JUL 5 2023

Comments:

GW Mangham
Signature

6/27/2023
Date

GORDON MANGHAM
Printed Name and Title

147 COUNTRY DRIVE
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

EXHIBIT F - PON RESPONSES

(5)